



**City of Oskaloosa  
City Council Meeting Regular Session  
Council Chambers  
City Hall, 220 S. Market Street  
Oskaloosa IA, 52577  
Agenda  
January 5, 2015**

**Call to Order and Roll Call - 6:00 P.M.**

**1. Invocation: Mayor David Krutzfeldt**

**2. Pledge of Allegiance.**

I pledge allegiance to the Flag of the United States of America, and to the Republic for which it stands, one Nation under God, indivisible, with liberty and justice for all.

**3. Roll Call**

\_\_\_\_\_ Mayor David Krutzfeldt, Council Members:

\_\_\_\_\_ Caligiuri, \_\_\_\_\_ Jimenez, \_\_\_\_\_ Moore, \_\_\_\_\_ Van Zetten, \_\_\_\_\_ Ver Steeg,

\_\_\_\_\_ Walling, \_\_\_\_\_ Yates.

Documents: [20150105 AGENDA ITEMS 1-3.DOCX](#)

**4. Community Comments.**

This item is reserved to receive comments from the community for concerns whether or not they are included in the current agenda. The community is encouraged to come and speak before the Mayor and City Council and asked to keep statements brief. Any questions are to be asked of the City Staff, Council Members, or the Mayor prior to speaking to the full Council so concerns may be properly researched and answered away from the meeting. Comments are to be directed to the Mayor and City Council only.

Documents: [20150105 AGENDA ITEM COMMUNITY COMMENTS.DOCX](#)

**5. Consider Adoption of Consent Agenda as Presented or Amended.**

All items appearing on the Consent Agenda are considered routine by the City Council and shall be enacted by one motion. If discussion is desired, that item shall be removed, discussed separately and approved by a separate motion of the City Council.

Documents: [CONSENT AGENDA SUMMARY.DOCX](#), [20150105 - BOARD AND COMMISSION MINUTES.DOCX](#)

**A. Approval of Council Minutes and Actions, subject to corrections, as recommended by the City Clerk.**

1. December 15, 2014 Regular City Council Meeting Minutes
2. January 5, 2015 Agenda

Documents: [CITY COUNCIL MINUTES DECEMBER 15, 2014.DOC](#)

**B. Receive and file minutes of Boards and Commissions**

Any recommendations contained in minutes become effective only upon separate

Council action.

1. November 10, 2014 Water Board Minutes
2. December 9, 2014 Water Board Special Meeting Minutes
3. December 15, 2014 Water Board Minutes
4. December 16, 2014 Joint Law Enforcement Center Minutes
5. December 1, 2014 Airport Commission Minutes

Documents: [WB MINUTES 1110.DOCX](#), [WB MINUTES 1209.DOCX](#), [WB MINUTES 1215.DOCX](#), [LAW ENFORCEMENT CENTER-MINUTES DECEMBER 16, 2014.DOCX](#), [DECEMBER MEETING MINUTES AIRPORT.PDF](#)

- C. Consider approval of a renewal application for a Class E Liquor License with Carryout Beer and Wine Permit and Sunday Sales from Wal-Mart Stores, Inc. dba Wal-Mart Supercenter #1393, 2203 A Avenue West.**

Who is submitting this item. City Clerk/Finance Department

Documents: [CITY COMM-WALMART.DOCX](#)

- D. Consider approval of a renewal application for Class A Liquor License with Sunday Sales from Oskaloosa Lodge #340 B.P.O. of Elks, 202 Second Avenue East.**

Who is submitting this item. City Clerk/Finance Department

Documents: [CITY COMM-ELKS.DOC](#)

- E. Consider approval of an ownership update due to a change in officers for Class A Liquor License with Sunday Sales from Oskaloosa Lodge #340 B.P.O. of Elks, 202 Second Avenue East.**

Who is submitting this item. City Clerk/Finance Department

Documents: [20150105 - OWNERSHIP CHANGE BPO ELKS.DOC](#)

- F. Consider payment of claims for December 2014.**

Who is submitting this item. City Clerk/Finance Department

Documents: [CITY COMM-CLAIMS.DOCX](#), [COUNCIL CLAIMS LIST 12302014.PDF](#), [MANUAL CHECK REPORT 12302014.PDF](#), [CLAIMS OVER 500 20150105.PDF](#)

- G. Consider an ordinance to amend the zoning ordinance of the City of Oskaloosa, Iowa by rezoning the east portion of the property at 615 E Avenue West from Urban Family Residential (R-2) district to Limited Industrial (LI) district – 3rd reading.**

Who is submitting this item. Public Works Director

Documents: [615 E AVE W REZONE EXPLANATION.DOC](#), [ORDINANCE -](#)

[REZONE 615 E AVENUE WEST.DOC](#), [MAP.PDF](#), [TABLE 17.08B PERMITTED ZONING USES.PDF](#), [REZONE APPLICATION.PDF](#)

- H. **Consider a resolution scheduling a time for hearing for considering the matter of levying a special assessment against private property for sidewalk replacement by the city in accordance with section 12.12 of the city code of the city of Oskaloosa, Iowa and directing notice to the owner of the property to be assessed.**

Who is submitting this item. City Clerk/Finance Department

Documents: [CITY COMM-SCHEDULE PH SIDEWALKS.DOC](#), [RESOLUTION NO PH SIDEWALKS 11252014.DOCX](#), [EXHIBIT A SIDEWALK REPLACEMENTS NOVEMBER 2014.DOCX](#)

- I. **Consider approval of Pay Request No. 4 in the amount of \$8,243.15 to Norris Asphalt Paving Co. for work completed on the South 11th Street Pavement Rehabilitation Project.**

Who is submitting this item. Public Works Director

Documents: [20150105 ITEM PAY REQUEST NORRIS ASPHALT.DOC](#), [PAY APP NO 4.DOCX](#), [S 11TH ST QUANTITIES.PDF](#), [S 11TH ST TIMELINE.PDF](#)

- J. **Consider appointment to the Historic Preservation Commission.**

Who is submitting this item. City Manager Department

Documents: [20150105 - HISTORIC PRESERVATION COMMISSION APPOINTMENT.DOCX](#), [MARK TENNISON APPLICATION.PDF](#)

- K. ----- **END OF CONSENT AGENDA** -----

## 6. Announcement of Vacancies

This item is reserved to provide the most current information about existing or upcoming vacancies for Boards, Committees, or Commissions filled by appointment of the Mayor, or the City Council. Appointment to fill vacancies requires a separate action or confirmation by the City Council.

- Airport Commission - One vacancy to fill upon appointment for an unexpired term that ends December 31, 2015. This is a five member board that typically meets the first Monday of the month. (4 males currently serve with 1 vacancy)
- Building Code Board of Appeals - One vacancy to fill upon appointment to serve at the pleasure of the Mayor. This is a five member board that meets as needed. (3 males and 1 female currently serve with 1 vacancy)
- Board of Adjustment - One vacancy to fill upon appointment for an unexpired term that ends December 31, 2016. This is a five member board that typically meets as needed on the fourth Tuesday of the month. (4 males currently serve with 1 vacancy)
- Housing Trust Fund Committee - One at-large member to serve a three year term that ends January 31, 2018. There are five at-large members on the committee that typically meets every other month. (3 females and 2 males currently serve at-large)
- Water Board - One vacancy to fill upon appointment for an unexpired term that ends June 30, 2020. This is a three member board that typically meets the third Monday of

the month. (3 males currently serve)

Documents: [20150105 - BOARD AND COMMISSION VACANCIES.DOCX](#)

## 7. Regular Agenda

Documents: [20150105 AGENDA ITEM - REGULAR ACTION ITEMS.DOCX](#)

- A. **Consider a resolution levying a special assessment against private property for sidewalk replacement by the city of Oskaloosa, Iowa in accordance with Section 12.12 of the city code of the city of Oskaloosa, Iowa. (PUBLIC HEARING)**

Who is submitting this item. City Clerk/Finance Department

Documents: [CITY COMM-SIDEWALKS.DOC](#), [RESOLUTION ASSESSMENT 10212014.DOCX](#), [EXHIBIT A SIDEWALK REPLACEMENTS OCTOBER 2014.DOCX](#)

- B. **Consider an ordinance to amend the City Code of the City of Oskaloosa, Iowa by amending provisions pertaining to Title 17 – “Zoning”, Chapter 17.24 – “Supplemental Site Development Regulations,” and Chapter 17.32 – “Nonconforming Development” of the City Of Oskaloosa Zoning Ordinance regarding non-conforming residential development and discontinued nonconforming developments – 1st reading (PUBLIC HEARING)**

Who is submitting this item. Public Works Director

Documents: [EXPLANATION - NONCONFORMING RESIDENTIAL LOTS.DOC](#), [ORDINANCE - NONCONFORMING RESIDENTIAL.DOCX](#), [PROPOSED TEXT AMENDMENT - REVISE 17.24 AND 17.32.PDF](#), [TABLE 17.08B - PERMITTED USES.PDF](#), [REALTOR LETTER TO P AND Z.DOCX](#), [REALTOR LETTER ATTACHMENT.PDF](#), [MAP - NON CONFORMING LOTS.PDF](#), [STATISTICS NON CONFORMING LOTS GIS DATA.PDF](#), [CODE COMPARISON.PDF](#)

- C. **Consider a resolution adopting a policy formalizing the continued use of Complete Streets design concepts in future city improvement projects.**

Who is submitting this item. City Manager&#39;s Office

Documents: [20150105 ITEM COMPLETE STREETS POLICY.DOCX](#), [20150105 RESOLUTION COMPLETE STREETS.DOCX](#), [COMPLETE STREETS POLICY.DOCX](#)

- D. **Consider a resolution for preliminary approval of plans, specifications, form of contract, estimated cost, ordering publication of notice of hearing, notice to bidders, and setting a public hearing date on February 17, 2015 for the E Avenue East & North 12th Street Reconstruction Project, and authorizing to receive and open bids and publicly announce the results on February 10, 2015.**

Who is submitting this Public Works Director  
item.

Documents: [20150105 ITEM E AVE. AND NORTH 12 RECONSTRUCTION PROJECT.DOC](#), [20150105 RESOLUTION E AVE AND N 12TH RECONSTRUCTION PROJECT.DOCX](#), [E AVE E N 12TH ST ESTIMATE.PDF](#), [E AVE NOTICE OF PUBLIC HEARING.DOCX](#), [E AVENUE SCHEDULE.PDF](#), [E AVE E N 12TH ST PRELIMINARY PLANS.PDF](#)

#### **8. Report on Items from City Staff.**

- a) City Manager.
- b) City Clerk.
- c) City Attorney.

This item is reserved to receive reports from the City Manager, City Clerk, and/or the City Attorney.

Documents: [20150105 REPORTS FROM STAFF.DOCX](#)

#### **9. City Council Information**

This item is reserved to receive reports from the Mayor and City Council. This is an opportunity for the members of the City Council to provide updates on activities, events, or items of note to the public. This is also the opportunity for the City Council to request future agenda items, or request items to be sent to Committee for review and discussion.

Documents: [20150105 CITY COUNCIL INFORMATION.DOCX](#)

#### **10. Adjournment**

**THE REQUIREMENT THAT AN ORDINANCE BE READ THREE (3) TIMES BEFORE PASSAGE MAY BE WAIVED BY COUNCIL UPON AN AFFIRMATIVE VOTE OF SIX (6) OF THE SEVEN (7) COUNCIL MEMBERS. THE PUBLIC IS ADVISED TO TAKE NOTE OF THIS PROCESS AND BE PREPARED TO SPEAK EITHER FOR OR AGAINST ANY ORDINANCE AT THE TIME OF FIRST READING.**

**If you require special accommodations, please contact the City Manager's Office at least 24 hours prior to the meeting at (641) 673-9431.**



City Council  
Communication

Meeting Date: January 5, 2015

Requested By: Mayor & City Council

**Item Title: Call to Order and Roll Call - 6:00 p.m.**

1. Invocation: Mayor David Krutzfeldt
2. Pledge of Allegiance
3. Roll Call: \_\_\_\_\_ Mayor David Krutzfeldt, Council Members:

\_\_\_\_\_ Caligiuri, \_\_\_\_\_ Jimenez, \_\_\_\_\_ Moore, \_\_\_\_\_ Van Zetten,  
\_\_\_\_\_ Ver Steeg, \_\_\_\_\_ Walling, \_\_\_\_\_ Yates.

**Explanation:**

Not applicable.

**Budget Consideration:**

Not applicable.

**Attachments :**

None.



City Council  
Communication

Meeting Date: January 5, 2015

Requested By: Mayor & City Council

**Item Title: Community Comments**

**Explanation :**

This item is reserved to receive comments from the community for concerns whether or not they are included in the current agenda. The community is encouraged to come and speak before the Mayor and City Council and asked to keep statements brief. Time shall be limited to no more than three minutes. Any questions are to be asked of the City staff, Council Members, or the Mayor prior to speaking to the full Council so concerns may be properly researched and answered away from the meeting. Comments are to be directed to the Mayor and City Council only.

**Budget Consideration:**

Not applicable.

**Attachments:**

None.

**Consent Agenda Items: All items appearing on the Consent Agenda are considered routine in nature and no discussion is anticipated.**

- Item A. Minutes and reports from city council meetings.**  
Staff recommends council receive and file these documents.
- Item B. Board and Commission Minutes:**  
Staff recommends council receive and file these documents.
- Item C. Consider approval of a renewal application for a Class E Liquor License with Carryout Beer and Wine Permit and Sunday Sales from Wal-Mart Stores, Inc. dba Wal-Mart Supercenter #1393, 2203 A Avenue West.**
  - No complaints received.
- Item D. Consider approval of a renewal application for Class A Liquor License with Sunday Sales from Oskaloosa Lodge #340 B.P.O. of Elks, 202 Second Avenue East.**
  - No complaints received.
- Item E. Consider approval of an ownership update due to a change in officers for Class A Liquor License with Sunday Sales from Oskaloosa Lodge #340 B.P.O. of Elks, 202 Second Avenue East.**
- Item F. Consider payment of claims for December 2014.**
- Item G. Consider an ordinance amending the zoning ordinance of the City of Oskaloosa, Iowa by rezoning the east portion of the property at 615 E Avenue West from Urban Family Residential (R-2) District, to Limited Industrial (LI) District - 3rd reading.**
- Item H. Consider a resolution scheduling a time for hearing for considering the matter of levying a special assessment against private property for sidewalk replacement by the city in accordance with section 12.12 of the city code of the city of Oskaloosa, Iowa and directing notice to the owner of the property to be assessed.**

- Item I. Consider approval of Pay Request No. 4 in the amount of \$7,293.15 to Norris Asphalt Paving Co. for the South 11th Street Pavement Rehabilitation Project.
  
- Item J. Consider appointment to the Historic Preservation Commission.



## City Council Communication

Meeting Date: January 5, 2015

Requested By: City Manager's Office

### **Item Title: C ONSENT AGENDA**

#### **Explanation :**

All items appearing on the Consent Agenda are considered routine by the City Council and shall be enacted by one motion. If discussion is desired, that item shall be removed, discussed separately and approved by a separate motion of the City Council.

- A. Approval of Council Minutes and Actions, subject to corrections, as recommended by the City Clerk.
  - 1. December 15, 2014 City Council Regular Meeting Minutes
  - 2. January 5, 2015 Agenda
  
- B. Receive and file the following reports and communications from advisory and operating boards and commissions:
  - 1. November 10, 2014 Water Board Minutes
  - 2. December 9, 2014 Water Board Special Meeting Minutes
  - 3. December 15, 2014 Water Board Minutes
  - 4. December 16, 2014 Joint Law Enforcement Center Minutes
  - 5. December 1, 2014 Airport Commission Minutes

#### **Budget Consideration:**

Not applicable.

#### **Attachments :**

December 15, 2014 City Council Regular Meeting Minutes  
November 10, 2014 Water Board Minutes  
December 9, 2014 Water Board Special Meeting Minutes  
December 15, 2014 Water Board Minutes  
December 16, 2014 Joint Law Enforcement Center Minutes  
December 1, 2014 Airport Commission Minutes

OSKALOOSA CITY COUNCIL  
REGULAR MEETING  
December 15, 2014

The Oskaloosa City Council met in regular session on Monday, December 15, 2014, at 6:00 p.m. with Mayor Krutzfeldt presiding and the following members answering roll call: Caligiuri, Jimenez, Moore, Van Zetten, Ver Steeg, Walling and Yates

It was moved by Jimenez, seconded by Moore to approve the consent agenda:

1. December 1, 2014 City Council Regular Meeting Minutes
2. December 15, 2014 Agenda
3. Receive and file the following reports and communications from advisory and operating boards and commission:
  - a. December 8, 2014 Planning and Zoning Commission Minutes
  - b. November 24, 2014 Library Board of Trustees Minutes
4. Receive and file financial reports for November 2014.

The roll was called and the vote was:

AYES: Caligiuri, Jimenez, Moore, Van Zetten, Ver Steeg, Walling and Yates

NAYS: None

Whereupon the Mayor declared said motion approved.

It was moved by Jimenez, seconded by Moore to appoint Janel Campbell to the Historic Preservation Commission for a three year term that ends December 31, 2017. The roll was called and the vote was:

AYES: Caligiuri, Jimenez, Moore, Van Zetten, Ver Steeg, Walling and Yates

NAYS: None

Whereupon the Mayor declared said motion approved.

It was moved by Jimenez, seconded by Moore to appoint Lloyd Phillips and Perry T. Murry to the Board of Adjustment for five year terms that end December 31, 2019. The roll was called and the vote was:

AYES: Caligiuri, Jimenez, Moore, Van Zetten, Ver Steeg, Walling and Yates

NAYS: None

Whereupon the Mayor declared said motion approved.

Jimenez introduced Resolution No. 14-12-106 entitled "RESOLUTION ADOPTING REVISED FEE SCHEDULE FOR THE CITY OF OSKALOOSA" and moved its approval. Moore seconded the motion. The roll was called and the vote was:

AYES: Caligiuri, Jimenez, Moore, Van Zetten, Ver Steeg, Walling and Yates

NAYS: None

Whereupon the Mayor declared said resolution duly adopted.

Jimenez introduced Resolution No. 14-12-107 entitled "RESOLUTION SETTING THE DATE FOR A PUBLIC HEARING TO AMEND THE ZONING ORDINANCE OF

THE CITY OF OSKALOOSA, IOWA BY AMENDING TITLE 17, "ZONING", CHAPTER 17.24, "SUPPLEMENTAL SITE DEVELOPMENT REGULATIONS," SECTION 17.24.020 – "USE OF EXISTING LOTS OF RECORD"; AMENDING CHAPTER 17.32, "NONCONFORMING DEVELOPMENT," SECTION 17.32.030 – RESIDENTIAL DISTRICTS," SUBSECTION C – "NON CONFORMING STRUCTURES"; AND ADDING A NEW SECTION 17.32.070 – "DISCONTINUANCE CONFORMANCE REQUIRED" and moved its approval. Moore seconded the motion. The roll was called and the vote was:

AYES: Caligiuri, Jimenez, Moore, Van Zetten, Ver Steeg, Walling and Yates

NAYS: None

Whereupon the Mayor declared said resolution duly adopted.

Attorney Matt Moore, representing Daryl Fisher, Terryl Wolfswinkel, owner of 211 North J, and Gary Fisher, owner of Quality Car Wash, addressed City Council regarding the vacation and sale of the public alley adjacent to 211 North J. Street.

Ver Steeg introduced "AN ORDINANCE VACATING THE NORTH-SOUTH PUBLIC ALLEY ADJACENT TO 211 NORTH J STREET, AND THE SALE OF SAID PUBLIC ALLEY RIGHT-OF-WAY" and moved its approval on the second reading. Yates seconded the motion. The roll was called and the vote was:

AYES: Caligiuri and Ver Steeg

NAYS: Jimenez, Moore, Van Zetten, Walling and Yates

Whereupon the Mayor declared said ordinance defeated.

It was moved by Van Zetten, seconded by Yates to return the \$100 fee paid by Terryl Wolfswinkel for vacation and sale of the alley adjacent to 211 North J. Street. The roll was called and the vote was:

AYES: Caligiuri, Jimenez, Moore, Van Zetten, Ver Steeg, Walling and Yates

NAYS: None

Whereupon the Mayor declared said motion approved.

Gordon Anderson addressed City Council regarding the 28E Agreement with Forest Cemetery.

Caligiuri introduced Resolution No. 14-12-108 entitled "RESOLUTION APPROVING A 28E AGREEMENT BETWEEN THE CITY OF OSKALOOSA, IOWA AND FOREST CEMETERY ASSOCIATION" and moved its approval. Ver Steeg seconded the motion. The roll was called and the vote was:

AYES: Caligiuri, Jimenez, Moore, Van Zetten, Ver Steeg, Walling and Yates

NAYS: None

Whereupon the Mayor declared said resolution duly adopted.

Caligiuri introduced "AN ORDINANCE AMENDING THE ZONING ORDINANCE OF THE CITY OF OSKALOOSA, IOWA BY CHANGING THE ZONING OF CERTAIN PROPERTY LOCATED AT 615 E AVENUE WEST FROM R-2, URBAN FAMILY RESIDENTIAL DISTRICT, TO LI, LIMITED INDUSTRIAL DISTRICT" and moved its

approval on the second reading. Ver Steeg seconded the motion. The roll was called and the vote was:

AYES: Caligiuri, Jimenez, Moore, Van Zetten, Ver Steeg, Walling and Yates

NAYS: None

Whereupon the Mayor declared said ordinance approved on the second reading.

Dylan Mulfinger, Management Analyst, gave a presentation on Complete Streets design concepts.

It was moved by Caligiuri, seconded by Ver Steeg that the meeting adjourn. Motion carried unanimously. The meeting adjourned at 7:08 p.m.

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David Krutzfeldt, Mayor

ATTEST:

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Amy Miller, City Clerk

**OSKALOOSA WATER BOARD**  
**REGULAR MEETING**  
11/10/14

**Members Present:**

Joe Ryan (via phone)  
Jon Zobel  
Mike Vore

**Others Present:**

Chad Coon  
Crystal Breuklander  
Jim Anderson

The Oath of Office was administered to Mike Vore at the start of the meeting. One copy will be filed with OMWD minutes and the original will be sent to City Hall.

A motion was made by Mike Vore and 2<sup>nd</sup> by Joe Ryan to approve the agenda with amendment, Item 7b, Consideration and Discussion of Marketing Agreement with HomeServe. The motion carried with all members voting yes.

Minutes of the 10/13/14 regular meeting, 10/23/14 and 10/30/14 Wastewater/Water Working Committee Meeting were read. A motion was made by Mike Vore to approve the minutes. The motion was 2<sup>nd</sup> by Joe Ryan. The motion carried with all members voting yes.

The attached vouchers totaling \$277,982.12 were presented for approval. A motion was made by Mike Vore to approve the vouchers for payment. The motion was 2<sup>nd</sup> by Joe Ryan. The motion carried with members Vore and Zobel voting yes, and Ryan abstaining as he was not able to see the bills in-person. The Balance Statements were also reviewed. Motion by Mike Vore and second by Joe Ryan to approve balance statements. The motion carried with members Vore and Zobel voting yes, and Ryan abstaining as he was not able to see the bills in-person.

1. The first item on the agenda was Customer Forum. There were no items presented.
2. The next agenda item was Consideration and Discussion of Health Insurance Premiums. Chad presented information to the Board showing only a 2.55% increase in premiums for 2015. Jim Anderson was on hand to discuss the specifics of the plan. He noted that due to the dramatic decrease last year and the nominal increase this year, OMWD was still well below the rates they were paying three years ago. It was noted that ACA compliant plans increased 19% for 2015 and if OMWD had chosen to switch last year that is what the increase would have been. Chad stated that he would like to see OMWD remain with the current plan as long as Wellmark will continue to offer it. Motion by Mike Vore and second by Joe Ryan to renew existing

policy. Ayes all, motion passed.

3. Next item was Consideration and Discussion of Board of Trustee Meeting Dates. Chad talked to the Board about the request from the Mayor that OMWD's Board of Trustees look at moving their regular meeting date to a time that would not have possible conflicts with City Council meetings. After looking at alternative days of the month and times, there was a motion by Mike Vore and a second by Joe Ryan to move regularly scheduled Board of Trustee meetings to the third Monday of the month at 4:00 PM. Ayes all, motion passed.
4. The next agenda item was one that was added as an amendment. 7b. Consideration and Discussion of Marketing Agreement with HomeServe. Chad presented the agreement to the Board. There was discussion as to the merits of entering into an agreement of this nature and with this company. Mike asked that Chad gather more information from the company before the Board decided to move forward. Chad was instructed to gather financial information, as well as business credit rating from AM Best or Fitch or another company of the like. He was also instructed to gather information from competitive companies. This issue was tabled.
5. General Manager's Update was next on the agenda. Chad talked about a variety of issues. He discussed the leak audit that was performed by Westrum Leak Detection, the work on the CDBG application that was stalled out due to specific requirements for applying, logging in the wellfield to help offset expenses incurred as a result of the lawsuit this summer, roofing the shed at the north tower lot, and the progress on the sidewalk for the office. He also updated them on an incident earlier in the day that had occurred involving one of OMWD's employees where the safety of that employee was threatened by a citizen.
6. Miscellaneous was the last agenda item. Chad updated the Board on the two leaks that had occurred in the last month. He also let the Board know that staff had assisted waste water personnel with a couple of projects on their system. Joe asked Chad to update the Board on the status of OMWD's website and the cost to produce it in-house versus putting it on the City's website. Also discussed was the need for further talks about OMWD's rate structure and getting a breakdown for usage on all accounts for a whole year and not just a single billing.

There being no further items to discuss, it was moved by Mike Vore and second by Joe Ryan to adjourn.

ATTEST

Meeting Adjourned 6:04 PM

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Joe Ryan – Chairman

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Jon Zobel – Secretary

**OSKALOOSA WATER BOARD**  
**SPECIAL SESSION**  
12/09/14

The Oskaloosa Water Department Board of Trustees met in special session Tuesday, December 9, 2014 at 4:00 PM with board members Zobel, Vore and Ryan present.

There were several agenda items discussed with no action taken on any item.

Motion was made for adjournment by Mike Vore. Jon Zobel second the motion. Ayes all, meeting adjourned. 5:55 PM.

Jon Zobel, Secretary

**OSKALOOSA WATER BOARD**  
**REGULAR MEETING**  
12/15/14

The Oskaloosa Water Department Board of Trustees met in regular session Monday December 15, 2014, at 5:00 PM with board members Ryan, Vore and Zobel present. The agenda was approved as presented. Minutes of the 11/10/14 regular meeting, 11/20/14 and 12/4/14 Wastewater/Water Working Committee Meeting were approved as presented, all ayes.

Following Warrants Allowed: (see attached sheet)

The first item on the agenda was Customer Forum. There were no items presented. Next on the agenda was Consideration and Discussion of Marketing Agreement with HomeServe. Motion by Zobel to postpone indefinitely. Second by Vore. Ayes all, motion passed.

The next two agenda items saw discussion by the Board of Trustees with no action taken. Motion was made for adjournment by Zobel. Vore seconded the motion. Ayes all, meeting adjourned. 5:36 PM.

Jon Zobel, Secretary

Mahaska County - City of Oskaloosa  
Joint Law Enforcement Center  
Working Committee  
December 16, 2014

The Joint Law Enforcement Working Committee met on December 16, 2014 in the third floor conference room of the Mahaska County Court House at 1:30 p.m. The following were present: Greg Gordy, Mahaska County Supervisor; Paul DeGeest, Mahaska County Sheriff; Sue Brown, Mahaska County Auditor; Aaron Ver Steeg, Oskaloosa Council Member; Michael Schrock, Oskaloosa City Manager; Jake McGee, Oskaloosa Police Chief and Amy Miller, Oskaloosa City Clerk.

The committee reviewed the previous year and year to date revenues and expenditures. The Auditor's fund balance as of June 30, 2014 for the general budget for the Law Enforcement Center was \$83,182 and \$24,931 in the Maintenance/Repair Fund.

The committee discussed the aging heating and air conditioning units. Repairs have been made to the outside of the building but there is still a leak in the weight room. There is no plan at this time for fixing this leak. The committee also discussed the exterior of the building. Painting or some exterior maintenance will need to be done in the next couple of years. The police chief asked about key fobs for all the doors at the law enforcement center. It was recommended that proposals for these items be brought back to the committee next year. The city and county will each contribute \$5,000 towards the maintenance/repair funds in fiscal year 2016.

The committee recommended for fiscal year 2016 the amounts to be contributed to the general budget by the City and County will be the same as last year. The City will contribute \$25,000 and the County will contribute \$105,000 for a total of \$130,000. The balance of operating costs will come from the existing fund balance.

The meeting adjourned at 2:05 p.m.

Amy Miller  
City Clerk

MINUTES  
OSKALOOSA AIRPORT COMMISSION

December 1, 2014

Meeting of the Oskaloosa Airport Commission was called to order at 4:34 p.m. on Monday, December 1, 2014.

1. ROLL CALL: Roll was taken with the following present: Steve Brown, Kraig Van Hulzen, James Johnson, Larry Lewis, Jerry Strunk [Midwest Aviation] and Brad Uitermarkt [Garden & Associates]
2. APPROVAL OF THE MINUTES: Moved by Kraig Van Hulzen and seconded by Larry Lewis to approve the minutes of the November 3, 2014 meeting and the November 17, 2014 Special Meeting. Motion carried.
3. FINANCIAL REPORT: Moved by James Johnson and seconded by Kraig Van Hulzen to approve the financial report. Motion carried.
4. REVIEW AND APPROVE BILLS: Moved by Kraig Van Hulzen and seconded by James Johnson to pay bills totaling \$2,880.80. Motion carried.
5. MANAGER'S REPORT: See attached.
6. OLD BUSINESS:
  - a. FY2016 pre-application for capital improvement plan: The FAA rejected the plan approved at the November 3<sup>rd</sup> meeting due to the inclusion of a snow removal equipment project. Brad Uitermarkt submitted a revised plan that did not include this project. Kraig Van Hulzen moved to approve it. Larry Lewis seconded. Motion carried.
  - b. Pavement rehabilitation project: The FAA reviewed the engineering agreement approved at the November 17<sup>th</sup> meeting and requested some changes in wording. Brad Uitermarkt presented a revised agreement that included the requested changes. Larry Lewis moved to approve it. James Johnson seconded. Motion carried.
  - c. Security lights: Atwood Electric has ordered a brighter LED light to install over the fuel pumps.
  - d. Co-Rayvac heating system: The parts are in, but some were damaged in shipment. The work has not started yet.
  - e. Insulate and repair old door on maintenance hangar: The weather stripping has been installed and the project is complete.

- f. Access door on Pepsi hangar: The door has been repaired. New glass has been ordered.
  - g. Based aircraft report: Jerry Strunk has submitted the report to the Iowa DOT.
7. NEW BUSINESS:
- a. Tiling repair: Craig Hall has been asked to look at the areas in need of repair and submit a proposal.
  - b. Runway end identifier lights: The lights are often in need of repair, and since it is an older system, parts are becoming difficult to find. Jerry Strunk will get a proposal from Atwood Electric on rebuilding the old system and a proposal to install a new LED system.
  - c. January meeting date: The date of January 5, 2015 was acceptable to everyone.
8. Adjourn: It was moved by James Johnson to adjourn at 5:06 p.m. Kraig Van Hulzen seconded. Motion carried.

# **MWA@OOA**

**November 30, 2014**

## **Oskaloosa, IA. Municipal Airport Monthly Report**

**Fuel sales: 100LL (\$5.89)1341 gal; Jet A (\$5.40) 0 gal.**

**Total fuel sales for November 2014= 1341 gal. X .05=67.05**

**Plus Tel: \$15.28.**

**Total owed OOA= \$82.33.**

- **Shop has slowed some.(waiting on parts).**
- **Flight ops are down due to weather and Holiday.**
- **Starting to install new heating system in shop. Should be completed within 4 to 5 days.**
- **Moved snow.**
- **OOA snow plows are working very well.**
- **Fuel prices are coming down.**
- **Merry Christmas.**

# **UP, UP AND AWAY@OOA**



City Council  
Communication  
Meeting Date: January 5, 2015  
Requested By: City Clerk/Finance

**Item Title: CONSENT AGENDA**

Consider approval of a renewal application for a Class E Liquor License with Carryout Beer and Wine Permit and Sunday Sales from Wal-Mart Stores, Inc. dba Wal-Mart Supercenter #1393, 2203 A Avenue West.

**Explanation :**

The application is complete and in order for approval.

Staff recommends approval.

**Budget Consideration:**

\$300.00 revenue to the General Fund

**Attachments :**

None



City Council  
Communication  
Meeting Date: January 5, 2015  
Requested By: City Clerk/Finance

**Item Title:**

Consider approval of a renewal application for Class A Liquor License with Sunday Sales from Oskaloosa Lodge #340 B.P.O. of Elks, 202 Second Avenue East.

**Explanation:**

The application is complete and in order for approval.

Staff recommends approval.

**Budget Consideration:**

\$390.00 revenue to the General Fund

**Attachments :**

None



City Council  
Communication  
Meeting Date: January 5, 2015  
Requested By: City Clerk/Finance

**Item Title: CONSENT AGENDA**

Consider approval of an ownership update due to a change in officers for Class A Liquor License with Sunday Sales from Oskaloosa Lodge #340 B.P.O. of Elks, 202 Second Avenue East.

**Explanation:**

The application is complete and in order for approval.

Staff recommends approval.

**Budget Consideration:**

None

**Attachments :**

None



## City Council Communication

Meeting Date: January 5, 2015

Requested By: City Clerk/Finance

**Item Title: CONSENT AGENDA**

Consider payment of claims for December 2014.

**Explanation :**

A list of claims for December is included in your agenda packet. An additional list will be distributed at the council meeting. Also included in the packet is a detailed list of most claims over \$500.

Staff recommends approval.

**Budget Consideration:**

Totals will appear on the claims lists.

**Attachments :**

Claims lists



City of Oskaloosa, IA

## COUNCIL CLAIMS LIST

Access Systems	Server rack	735.90
	Shelves	293.54
Allied Gas & Chemical	Fill tank	75.00
	Fill tank	75.00
Altorfer Inc.	Uniform coats - Street Dept	307.65
American Public Works Association	Building code books	370.72
AmSan	Light bulbs	22.95
	Supplies	74.30
Aramark Uniform Services	Rubber mats	80.40
	Rubber mats	80.40
Arnold Motor Supply	Filters	39.15
	Filters	18.96
	Supplies	67.23
	Filters	67.04
	Supplies	27.19
Bill & Ray's Auto Service Inc	Vehicle repair	710.03
Brick, Gentry, Bowers, Swatz & Levis, PC	Legal services- Waste Water/Water	300.00
Brown's Shoe Fit Company	Boots - R Kauffman	100.00
Butler-Brown Insurance	Public Employee Bond	1,427.00
Certified Pest Control	Pest control	30.00
	Pest control	30.00
Clemons Inc.	Vehicle repair	128.25
Crow Shooting Supply	Ammunition	68.60
Culligan Water Conditioning	Water services	30.95
D.J. Gongol & Associates	RAS building pump	6,301.17
DeBruin Electric Inc	Street light repair	223.80
Dickinson Co. Inc	Street signal repair	205.00
Disc Golf Wholesale	Anchor assembly - disc golf	440.04
Environmental Edge	Remove asbestos 207 N G St & 204 N C St	3,380.00
Fisher Scientific	Microscope - Waste Water plant	1,484.84
Gall's Inc.	Uniforms	137.62
	Uniforms	91.72
	Uniforms	31.14
	Uniforms	93.40
Gran's Sewing & Mending	Uniform repair	30.00
Hach Company	Lab supplies - Waste Water	459.25
Haines Auto Supply	Supplies	32.49
	Brakes	60.77
	Oil	100.95
	Supplies	21.64
	Supplies	50.11
	Oil	211.26
	Tools	23.47
Harvest Point LLC	Golf irrigation system parts/repairs	822.14
Heslinga, Dixon, Moore & Hite	October legal services	25.00
	Legal expenses	222.17
Hy Vee Accounts Receivable	DARE cake	91.98

	Meeting supplies	13.97
IA Munic Workers Comp Assoc	Work comp payment #7	7,083.00
IMFOA	Certification renewal	5.00
Interstate Battery Systems	Batteries	195.90
Iowa Association of Building Officials	Annual membership dues	50.00
Iowa Police Chiefs Association	Dues renewal - McGee	75.00
Iowa Prison Industries	Street signs	18.10
John Deere Financial	Supplies	2.10
Kelly Supply Company	Supplies	13.49
	Returned item	-12.17
Kiesler's Police Supply Inc	Weapons - Police Dept	1,320.00
L-3 Communications Mobile Vision, Inc	Yearly maintenance	494.00
Lappin Tire Inc	Vehicle maintenance	35.00
	Tire repair	35.00
	Tire repair	30.00
	Replace tires - Police Dept	467.68
Law Enforcement Targets Inc.	Targets	89.96
Lawson Products Inc.	Street sign supplies	196.72
Mahaska Co Highway Dept	Fuel	165.65
	Fuel	1,064.77
	Fuel	2,102.69
	Fuel	2,311.97
	Fuel	354.06
	Fuel	32.89
Mahaska Communication Group, LLC	Telephone services	150.45
	Telephone services	1,216.57
	Telephone services	62.14
Mahaska County E911 Service	Quarterly contribution	39,242.00
Mahaska Drug	Medications	11.00
	Professional services	23.00
Malcom Lumber Window & Door Center	Supplies	11.90
	Supplies	35.70
	Plywood	224.53
	Supplies	7.68
	Supplies	39.12
Matheson Tri-Gas Inc	Welding supplies	49.85
MidAmerican Energy	Utilities	138.31
	Utilities	1,487.53
	Utilities	1,325.74
	Utilities	10,232.83
	Utilities	132.19
Midwest Breathing Air LLC	Quarterly testing - Fire Dept	270.80
Midwest Safety Counselors Inc	Instrument calibration - Waste Water	233.00
Midwest Sanitation Service	Waste removal - City Hall	65.00
Midwest Wheel Companies	Emergency lighting - brine truck	270.28
	Running boards - Parks truck	305.74
	Mounting bracket kit	224.94
Musco Sports Lighting, LLC	Banners - Fire Station	460.80
	Decals - Street Dept	290.00
	Decals - Waste Water	180.00
	Decals - Waste Water	300.00
Norris Asphalt Paving Inc	Cold patch	2,562.15

Orscheln Farm & Home	Supplies	3.98
	Supplies	0.99
Oskaloosa Area Chamber	Quarterly contribution	9,375.00
Oskaloosa Area Chamber & Development Group Inc	Christmas decorations	100.00
Oskaloosa Herald/Shopper	Publications	651.05
Oskaloosa Quality Rental	Platform rental	25.00
Oskaloosa Service Center Inc	Quick lube	30.20
	Quick lube	30.20
	Quick lube	71.60
	Replace wiper blades	64.36
	Quick lube	30.20
	Quick lube	30.20
Oskaloosa Water Dept	October credit card fees	192.68
Precise Imaging	Name plates	46.18
Premier Office Equipment Inc.	Copier maintenance	262.56
	Copier maintenance	183.57
ProPet Distributors Inc	Dog park supplies	675.00
	Dog park supplies	225.00
Quill Corporation	Office supplies	68.77
	Office supplies	33.26
Racom Corporation	Pager battery	84.00
Rockmount Research & Alloys Inc	Cutting wheels	322.96
Rohrbach Associates PC Architects	Professional service - Fire Station	4,989.25
Ryken Concrete Lifting	Lift curb and gutter on N 3rd	8,000.00
Schumacher Elevator Company	Scheduled maintenance	197.99
Spring Creek Arms	Weapons - Police Dept	3,829.00
Staples Credit Plan	Office supplies	35.25
	Office supplies	61.74
	Office supplies	59.98
Stephens Memorial Animal	City contribution	21,500.00
Swim's Sports	Longevity plaques	120.00
The Office Center Inc.	Office supplies	15.44
	Office supplies	28.00
Tompkins Industries Inc.	Supplies	68.93
	Supplies	78.46
Tom's Tree Service	Tree removal	1,700.00
	Tree removal - South H St	3,000.00
Trans-Iowa Equipment LLC	Parts for Kubota broom	235.79
	Parts for Parks broom	232.80
True Value Hardware	Supplies	9.58
	Supplies	14.57
	Flashlights	59.97
	Supplies	6.58
	Supplies	2.29
	Supplies	41.13
	Rope	8.49
	Flashlights	39.98
	Padlocks for parks	454.65
	Supplies	9.90
	Supplies	12.48
	Supplies	12.29
	Supplies	8.98

	Supplies	17.86
	Supplies	33.05
	Supplies	12.78
U.S. Cellular	Telephone services	27.03
UnityPoint Clinic-Occupational Medicine	Professional services	37.00
USA Blue Book	Tools	154.44
Van Hulzen Appraisal Services	Property appraisal	500.00
Vermeer Corporation	Tools	432.95
Walmart Community/GECRB	Supplies	29.97
	Supplies	87.68
	Supplies	18.96
	Supplies	24.88
Wellington Tools Sales Inc	Tools	96.50
Windstream	Telephone services	35.03
		<hr/>
		154,246.66



# MANUAL CHECK REPORT

Amazon	Library materials	2,315.57
Brandon Blanchard	Reimburse travel expense	8.87
David D. Dixon	December legal fees - Dixon	2,200.00
Delta Dental of Iowa	Dental insurance	524.00
Edward D Jones	Savings Edward Jones	400.00
Edward D Jones	Savings Edward Jones	400.00
Fidelity Security Life Insurance Company	Vision insurance	254.67
Gary McClun	Reimburse travel expense	20.00
I.U.P.A.T. District Council 81	Union dues	250.26
Iowa State University	Work zone safety workshop	810.00
Iowa Workforce Development	4th quarter unemployment contribution	948.44
Ken DeBoef & TD Sitework LLC	Demolition loan - 816 B Ave W	4,000.00
Lawrence M/Megan A Wallace and Bank Iowa	First time home buyers loan	3,500.00
Local 636, IAFF	Fire union	225.00
Madison National Life	December life insurance premiums	406.00
Mahaska Comm Recreation Foundation Inc.	December hotel/motel tax	40,931.40
Mahaska County Recorder	Record 28E Agreement - Forest Cemetery	17.00
Mahaska County Recorder	Record utility easement	12.00
Mark Neff	Reimburse meal expense	24.88
Misty Dawne White-Reinier	December legal fees - White	1,800.00
Nathan Willey	Reimburse meal expense	11.73
Norris Asphalt Paving Inc	Payment #3 - S 11t St project	47,087.70
Oskaloosa Community Schools	December local option sales tax	85,562.77
PPME 2003 IBPAT	Police union dues	305.75
Russ Van Renterghem	Reimburse travel expense	10.00
Steve Watts	Reimburse fuel expense	50.00
Sunlife Financial	December stop-loss premium	16,316.22
Terry Wolfswinkel	Refund alley vacation fee	100.00
United Way	United Way	25.83
Visa Card Center	Library postage	25.96
Wyatt Russell	Reimburse test fee	168.00
		208,712.05
	December payroll	297,498.26
Alexander, Craig	Cell phone reimbursement	20.00
Boston, Troy	Cell phone reimbursement	20.00
Calzaretta, Michael	Cell phone reimbursement	20.00
McGee, John	Cell phone reimbursement	20.00
Neff, Mark	Cell phone reimbursement	20.00
Pal, Akhilesh	Cell phone reimbursement	20.00
Schrock Jr, Michael	Cell phone reimbursement	20.00
Vroegh, Gary	Cell phone reimbursement	20.00
Vroegh, Grant	Cell phone reimbursement	20.00
Willey, Nathan	Cell phone reimbursement	20.00

## MOST CLAIMS OVER \$500.00

Department	Supplier/Vendor	Amount	Explanation
Dog Park Fund	ProPet Distributors Inc.	\$675.00	Dog park supplies.
Police Dept.	Kiesler's Police Supply Inc	\$1,320.00	3 Duty Weapon Glock 22 40 cal. S&W with front & rear sights & 3 Mags
Police Dept.	Professional Computer Solutions	\$5,948.81	Computer Managed Services
Police Dept.	Lappin Tire	\$1,228.76	Replaced tires on 62-41 & 62-42
Police Dept.	Iowa Methodist Occupational Health	\$809.51	Physical for new hire Landgrebe
Police Dept.	Lappin Tire	\$642.36	Replaced tires on 62-43
Public Works-Streets	Norris Asphalt Paving Co.	\$2,562.15	17.67 tons of hot patch for pothole repairs
Public Works-Streets	Lappin Tire	\$1,461.84	4 new tires for 1998 International truck
Public Works-Streets	Matheson Trigas	\$1,750.00	Plasma metal cutter for the street shop
Public Works-Streets	Dultmeier Sales, LLC	\$2,115.30	Brine tank and cradle hoops for old fire truck/new brine truck
Public Works-Streets	Bill & Ray's Auto Service Inc.	\$710.03	Diagnostic testing on 2003 International Truck/removed battery/replaced antifreeze
Public Works-Streets	Double B Blasting	\$800.00	Sandblast and paint new brine truck frame
Public Works-Streets	Dickinson Company, Inc.	\$1,625.00	Wal-Mart traffic signals/replaced conflict monitor
Public Works-Streets	Dickinson Company, Inc.	\$535.00	Replaced aluminum pedestal pole at the corner of A Avenue W & L Street
Public Works-Streets	Dickinson Company, Inc.	\$678.00	Wal-mart traffic signals/ signal wire replaced due to being chewed up by mice
Public Works-Streets	Lappin Tire	\$969.12	4 new tires for skid loader
Public Works-Engineer	Environmental Edge	\$3,380.00	Asbestos removal at 207 North G Street and 204 North C Street
Public Works-Engineer	Safe Building Compliance and Technology	\$2,633.74	Building Official services for the month of November 2014
Public Works-Engineer	Ryken Concrete Lifting	\$8,000.00	Raise curb and gutter on North 3rd Street near the high school
Public Works-Wastewater	Fisher Scientific	\$1,484.84	Microscope for the Southwest Wastewater Plant
Public Works-Wastewater	D.J. Gongol & Associates, Inc.	\$6,301.17	Scum pump for RAS building
Public Works-Wastewater	Tom's Tree Service	\$4,700.00	tear down and clean up 7 trees in the ROW
Public Works-Wastewater	Keystone Laboratories, Inc.	\$614.20	Fecal bacteria samples in sludge
Public Works-Wastewater	Hol Drainage Inc.	\$1,294.25	fill old storm water line located on South 11th Street project
City Hall	Access Systems	\$735.90	Portable server rack with casters and lifting handles.
Golf Department	Harvest Point LLC	\$822.14	Reimbursement for golf irrigaton system parts/repairs.
Fire Department	Rohrbach Associates PC Architects	\$4,989.25	Professional services on Fire Station No. 1.
Police Dept.	Spring Creek Arms	\$3,829.00	5 Remington shotguns less credit for five traded in.
City Council	Van Hulzen Appraisal Services	\$500.00	Property appraisal - 204 North C Street.



## City Council Communication

Meeting Date: January 5, 2015

Requested By: Public Works Dept.

### **Item Title: CONSENT AGENDA**

Consider an ordinance to amend the zoning ordinance of the City of Oskaloosa, Iowa by rezoning the east portion of the property at 615 E Avenue West from Urban Family Residential (R-2) district to Limited Industrial (LI) district - 3<sup>rd</sup> reading.

### **Explanation:**

The Mahaska County Emergency Management Agency (contract holder) and the Oskaloosa Community School District (deed holder) have submitted a rezoning request for the property located at 615 E Avenue West. The parcel in consideration is 0.77 acres in area. Presently, the western portion of the property is zoned (LI) Limited Industrial district, while the east portion is zoned (R-2) Urban Family Residential district. The Mahaska County Emergency Management Agency wants the entire parcel to be in zoning compliance for vehicle storage purposes.

Table 17.08B, Permitted Uses by Zoning Districts, in the Oskaloosa Municipal Code indicates that both long-term and short-term vehicle storage is permitted within an LI district. Short-term and long-term vehicle storage are both not permitted within an R-2 district.

The Planning & Zoning Commission considered this item at their November 10, 2014 meeting and recommended by a vote of 7 to 0 that city council approve the request to rezone the above mentioned parcels to LI District.

### **Recommended Action:**

Approve the rezone ordinance as presented.

### **Budget Consideration:**

Revenue of \$250.00 for the rezoning application fee.

**Attachments :**

Ordinance, Location Map, Table 17.08 - Permitted Uses, and Rezone Application Form

ORDINANCE NO. \_\_\_\_\_

AN ORDINANCE AMENDING THE ZONING ORDINANCE OF THE CITY OF OSKALOOSA, IOWA BY CHANGING THE ZONING OF CERTAIN PROPERTY LOCATED AT 615 E AVENUE WEST FROM R-2, URBAN FAMILY RESIDENTIAL DISTRICT, TO LI, LIMITED INDUSTRIAL DISTRICT.

BE IT ENACTED by the City Council of the City of Oskaloosa, Iowa:

SECTION 1. The purpose of this ordinance is to change the zoning of the following described parcel of land located at 615 E Avenue West from R-2, Urban Family Residential District, to LI, Limited Industrial District, legally described as follows:

Lot 7 and 8 of Block 1 and the east half of the alley between Lot 6 and 7 of Myers' Modified Addition of the City of Oskaloosa, Mahaska County, Iowa

SECTION 2. REPEALER. All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION 3. SEVERABILITY CLAUSE. If any section, provision, or part of this ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the ordinance as a whole or any section, provision, or part thereof not adjudged invalid or unconstitutional.

SECTION 4. WHEN EFFECTIVE. This ordinance shall be in effect from and after its final passage, approval, and publication by law.

Passed by the Council the \_\_\_\_ day of \_\_\_\_\_ 2014, and approved this \_\_\_\_ day of \_\_\_\_\_ 2014.

\_\_\_\_\_

\_\_\_\_\_

David Krutzfeldt, Mayor

ATTEST: \_\_\_\_\_  
Amy Miller, City Clerk

I certify that the foregoing was published as Ordinance No. \_\_\_\_\_ on the \_\_\_\_ day of \_\_\_\_\_ 2014.

Signed

\_\_\_\_\_



Table 17.08b

Permitted Uses by Zoning Districts

Use Types	AG	RR	R- 1	R- 2	R- 3	R-4	UC	LC	CC	DC	GC	HC	BP	LI	GI	Additional Regulations
<b>Agricultural Uses</b>																
Horticulture	P	P	C	C	C	C		C	P	C	C	C				<a href="#">17.22.020(A)</a>
Crop production	P	P														
Animal production	P															<a href="#">17.22.020(B)</a>
Commercial feedlots																<a href="#">17.22.020(C)</a>
Livestocks sales																
<b>Residential Uses</b>																
Single-family Detached	P	P, L(1)	P, L(1)	P, L(1)	P, L(1)	P	P, L(1)	C								<a href="#">17.22.030(A)</a>
Single-family Attached	C	C	C	P	P	P	P	C								<a href="#">17.22.030(B)</a>
Duplex				P	P		P	C								
Two-family				P	P		P	C								<a href="#">17.22.030(D)</a>
Townhouse				P	P		P	P		P						<a href="#">17.22.030(C)</a>
Multiple-family					P		C	P	C	P	C					
Downtown residential										P						<a href="#">17.22.030(E)</a>
Group residential	C	C			P			C	C							<a href="#">17.22.030(F)</a>
Manufactured housing	P	P, L(1)	P, L(1)	P, L(1)	P, L(1)	P, L(2)		C								
Mobile home park						P, L(2)										<a href="#">17.22.030(G)</a>
Mobile home subdivision						P, L(2)										<a href="#">17.22.030(H)</a>
Retirement residential	C	C	C	P	P		P	P	C	P	C					

L(1) = Single-family detached dwellings provided that:

All single-family detached dwellings for which a building permit has been issued (date of enactment), shall comply with the following minimum design standards

1. The dwelling shall have a minimum width facing the street of twenty-four feet.
2. The minimum horizontal dimension of the main body of the dwelling unit shall not be less than twenty feet.
3. A minimum of fifteen percent of the facade of the building facing the street shall consist of windows, doors and other building openings.
4. Any foundation skirting material shall have the appearance of masonry or poured concrete typical of site-built homes.

Installation of the skirting must be installed within thirty days following the installation of the home, or the first day of May if the ground is frozen at the time the home is placed.

L(2) = Applies to all factory built homes (Refer to Section 17.04.030 for definitions), Any foundation skirting material shall have the appearance of masonry or poured concrete typical of site-built homes. Installation of the skirting must be installed within thirty days following the installation of the home, or the first day of May if the ground is frozen at the time the home is placed.

P = Uses permitted by right

C = Uses permitted by conditional use permit

Blank = Use not permitted

Table 17.08B

Permitted Uses by Zoning Districts (Continued)

Use Types	AG	RR	R- 1	R- 2	R- 3	R- 4	UC	LC	CC	DC	GC	HC	BP	LI	GI	Additional Regulations
<b>Civic Uses</b>																
Administration		C	C	C	C	C	P	P	P	P	P	P	P	P	P	
Cemetery	P	C	C	C	C	C										
Clubs	C	C	C	C	P	C	P	P		C	P	P	C	P	P	<a href="#">17.22.040(A)</a>
Clubs (social)	C	C	C	C	P	C	P	P	P	P	P	P	P	P	P	<a href="#">17.22.040(A)</a>
College/University	C	C	C	C	P	C	P	P	P	P	P	P	P	P		
Convalescent services	C	C		C	P	C	P	P	P	C						
Cultural services	C	C	P	P	P	P	P	P	P	P	P	P	P	P		
Day care (limited)	P	P	P	P	P	P	P	P	P	P	C	C	C	C	C	<a href="#">17.22.040(B)</a>
Day care (general)	C	C	C	C	P	C	P	P	P	P	P	P	P	C	C	<a href="#">17.22.040(B)</a>
Detention facilities											C	C		C	C	
Elder home	P	P	P	P	P	P	P									
Emergency residential	P	P	P	P	P	P	P	P	P	P						
Family home	P	P	P	P	P	P	P	P								
Group care facility					P		P	P	P	P	P	P				<a href="#">17.22.040(D)</a>
Group home	C			C	P		P	P	P	P	P	P				<a href="#">17.22.040(D)</a>
Guidance services					P		P	P	P	P	P	P	P	P	P	
Health care					P		P	P	P	P	P	P	P	P	P	
Hospitals					C		C	C	C	P	P	P	P	C	C	
Maintenance facility	S	S					C		C		P	P		P	P	
Park and recreation	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	
Postal facilities							C	P	P	P	P	P	P	P	P	
Primary education	C	P	P	P	P	P	P	P	P	P	C	C				<a href="#">17.22.040(C)</a>
Public assembly							C	C	C	P	P	P	C			
Religious assembly	P	P	P	P	P	P	P	P	P	P	P	P		C		<a href="#">17.22.040(E)</a>
Safety services	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	
Secondary Education	C	C	C	C	P	C	P	C	C	C	C	C				<a href="#">17.22.040(C)</a>
Utilities	P	C	C	C	C	C	C	C	C	C	P	P		P	P	

P = Uses permitted by right  
 C = Uses permitted by conditional use permit  
 Blank = Use not permitted

Table 17.08B

Permitted Uses by Zoning Districts (Continued)

Use Types	AG	RR	R- 1	R- 2	R- 3	R- 4	UC	LC	CC	DC	GC	HC	BP	LI	GI	Additional Regulations
<b>Office Uses</b>																
Corporate offices					C		P	P	P	P	P	P	P	P	P	
General offices					C		P	P	P	P	P	P	P	P	P	
Financial offices							P	P	P	P	P	P	P	P	P	
Medical offices					C		P	P	P	P	P	P	P	P	C	
<b>Commercial Uses</b>																
Ag sales/service									C	C	P	P		P	P	
Auto rental/sales							P		C	P	P	P		C		17.22.050(C)
Auto services							C	C	P	P	P	P		P	P	17.22.050(A), (B)
Body repair									C	C	P	P		P	P	17.22.050(A)
Equip rental/sales										C	P	P		P	P	17.22.050(C)
Equipment repair											P	P		P	P	17.22.050(A)
Bed and breakfast	C	C	C	C	C		P	P	P	P	P	P				17.22.050(D)
Business support services							P	P	P	P	P	P	P	P	P	
Business/trade school									P	P	P	P	P	P	P	
Campground									C		C	C				17.22.050(E)
Cocktail lounge							C		P	C	P	P	C	P	P	17.22.050(F)
Commercial rec (indoor)							C	C	P	P	P	P	P	P	P	17.22.050(F)
Commercial rec (outdoor)											P	P		P	P	
Communication service							P	C	P	P	P	P	P	P	P	
Construction sales/service							C		C	C	P	P		P	P	
Consumer service							P	P	P	P	P	P	P	P		
Convenience storage									C		C	C		P	P	17.22.050(G)
Crematorium							C	C	C	C	C	C		C	C	
Food sales (convenience)							P	C	P	P	P	P	P	P	P	
Food sales (limited)							P	P	P	P	P	P	P	P	P	
Food sales (general)							C	C	P	P	P	P				

P = Uses permitted by right  
 C = Uses permitted by conditional use permit  
 Blank = Use not permitted

Table 17.08B

Permitted Uses by Zoning Districts (Continued)

Use Types	AG	RR	R- 1	R- 2	R- 3	R-4	UC	LC	CC	DC	GC	HC	BP	LI	GI	Additional Regulations
<b>Commercial Uses (Cont.)</b>																
Food sales (supermarkets)									P	P	C	C				
Funeral service					C		P	P	P	P	P	P	P	P	P	
Kennels	P	C									C	C		P	P	
Laundry services										C	P	P		P	P	
Liquor sales									P	P	P	P		C		
Lodging							P		P	P	P	P	P	C		
Personal							P	P	P	P	P	P	P	P	P	
Personal services							P	P	P	P	P	P	P	P	P	
Pet services	C						P	P	P	P	P	P	P	P		
Research services							P	P	P	P	P	P	P	P	P	
Restaurants (drive-in)							C		P	C	P	P		C	C	17.22.050(H)
Restaurants (general)							P	P	P	P	P	P	P	C	C	17.22.050(H)
Restricted business											C			C	P	17.22.050(I)
Retail services (limited)							P	P	P	P	P	P	C			
Retail services (large)								C	P	C	P	P				
Retail services (mass)									C	C	P	P				
Stables	C	C														
Surplus sales										C	P			P	P	
Trade services							C		C	C	P	P	P	P	P	
Vehicle storage (short-							C				P			P	P	
Veterinary services	C	C					P	C	C	C	P	P		P	P	
Parking uses																
Off-street parking							C		C	P	P	P	C	P	P	
Parking structure									C	P	C	C	C	P	P	

P = Uses permitted by right

C = Uses permitted by conditional use permit

Blank = Use not permitted

Table 17.08B

Permitted Uses by Zoning Districts (Continued)

Use Types	AG	RR	R- 1	R- 2	R- 3	R-4	UC	LC	CC	DC	GC	HC	BP	LI	GI	Additional Regulations
<b>Industrial Uses</b>																
Agricultural industry														C	P	17.22.070
Construction yards														P	P	17.22.070
Custom							C		C	P	P	P	P	P	P	17.22.070
Light industry													C	P	P	17.22.070
General industry														P	P	17.22.070
Heavy industry															C	17.22.070
Recycling collection									C	C	P			P	P	17.22.070
Recycling processing														P	P	17.22.070
Resource extraction															C	17.22.060(A), 17.22.070
Salvage services															P	17.22.060(B), 17.22.070
Vehicle storage (long-term)											C			P	P	17.22.070
Warehousing (enclosed)										C	C	C	P	P	P	17.22.070
Warehousing (open)														C	P	17.22.070
Transportation uses																
Aviation													C	C	P	
Railroad facilities										C	C		C	P	P	
Truck terminal											C			C	P	17.22.070
Transportation terminal									P	P	P	P		P	P	
<b>Miscellaneous Uses</b>																
Alternative energy	C	C	C	C	C	C	C	C		C	C	C	P	P	P	
Amateur radio tower	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	
Communications tower	C	C	C	C	C	C	C	C	C	C	C	C	P	P	P	17.22.080(A)

P = Uses permitted by right  
 C = Uses permitted by conditional use permit  
 Blank = Use not permitted

Table 17.08B

Permitted Uses by Zoning Districts (Continued)

Use Types	AG	RR	R- 1	R- 2	R- 3	R-4	UC	LC	CC	DC	GC	HC	BP	LI	GI	Additional Regulations
<b>Industrial Uses (Continued)</b>																
Construction batch plant											P	P		C	P	
Landfill (nonputrescible)															C	17.22.080(B)
Landfill (putrescible)																
WECS	C	C	C	C	C		C	C		C	C	C	P	P	P	17.22.070(C)

P = Uses permitted by right

C = Uses permitted by conditional use permit

Blank = Use not permitted

REZONING APPLICATION

APPLICANT NAME: Jamey Robinson

APPLICANT ADDRESS: 214 High Ave East Oskaloosa IA 52577

OWNER NAME: Mahaska County Emergency Management Agency

PHONE NUMBER: 641-672-1209

ADDRESS OF PROPERTY: 615 E Ave West Oskaloosa IA 52577

LEGAL DESCRIPTION: (Please provide a copy of the legal description from the Mahaska County Recorder's Office.)

REQUEST REZONING FROM R2  
TO LI

REASON FOR REZONING APPLICATION AND THE NATURE AND OPERATING CHARACTERISTICS OF THE PROPOSED USE:

The Mahaska County Emergency Management Commission aquired this property to centrally locate emergency response equipment. The intentions of rezoning the lot would allow MCEMA to park equipment on the lot that is currently zoned as R2

**NOTE: ANY GRAPHIC INFORMATION, INCLUDING SITE PLANS, ELEVATIONS, OTHER DRAWINGS, OR OTHER MATERIALS DETERMINED BY ZONING ADMINISTRATOR TO BE NECESSARY TO DESCRIBE THE PROPOSED USE TO THE PLANNING AND ZONING COMMISSION AND/OR THE CITY COUNCIL WILL BE INCLUDED WITH THIS APPLICATION.**

PLEASE SUBMIT THE \$250.00 APPLICATION FEE WITH THIS REQUEST.



Jamey Robinson  
SIGNATURE OF OWNER

DATE: 10/07/2014



City Council  
Communication  
Meeting Date: January 5, 2015  
Requested By: City Clerk/Finance

**Item Title: CONSENT AGENDA**

Consider a resolution scheduling a time for hearing for considering the matter of levying a special assessment against private property for sidewalk replacement by the city in accordance with section 12.12 of the city code of the city of Oskaloosa, Iowa and directing notice to the owner of the property to be assessed.

**Explanation:**

This resolution schedules the public hearing for February 2, 2015 for levying a special assessment against private property for sidewalk replacement. A notice will be published in the Oskaloosa Herald and certified notices will be sent to the property owners.

**Budget Consideration:**

\$1,455.00 Revenue to the Sidewalk Improvement Fund to offset expenses related to the work performed.

**Attachments :**

Resolution  
Sidewalk Replacement Assessments Exhibit "A"

RESOLUTION NO. \_\_\_\_\_

RESOLUTION SCHEDULING A TIME FOR HEARING FOR CONSIDERING THE MATTER OF LEVYING A SPECIAL ASSESSMENT AGAINST PRIVATE PROPERTY FOR SIDEWALK REPLACEMENT BY THE CITY IN ACCORDANCE WITH SECTION 12.12 OF THE CITY CODE OF THE CITY OF OSKALOOSA, IOWA, AND DIRECTING NOTICE TO THE OWNER OF THE PROPERTY TO BE ASSESSED

WHEREAS, the City of Oskaloosa, Iowa, under authority of the Ordinance of Sidewalk Maintenance and Use Regulations (Chapter 12.12) has on certain properties within the City of Oskaloosa, Iowa, replaced sidewalks; and

WHEREAS, the City of Oskaloosa, Iowa, desires to levy a special assessment against the properties concerned for said sidewalk replacement by the City; and

WHEREAS, Section 12.12.150 of the City Code of the City of Oskaloosa, Iowa provides that the City Clerk shall send a notice of such facts to the owner of the abutting property. This notice shall indicate that the person may object to such assessment and give the place and time at which the council will hear such objections. This time set for the hearing shall be at least fifteen days after the service of mailing the notice; and

WHEREAS, thirty days after the council's decision, the City Clerk shall certify any unpaid amounts to the county auditor. The unpaid assessments shall constitute a lien against the property and shall be collected by the county treasurer in the same manner as other taxes. Any assessment that exceeds five hundred dollars may be paid in installments as set by the council, not exceeding fifteen, in the same manner and at the same interest rates as for special assessments under Chapter 384, Code of Iowa. The interest rate is set at nine percent. No interest shall be charged for assessments, or parts thereof, paid within thirty days of the time the council determined the final amounts.

WHEREAS, attached hereto marked Exhibit "A" and by this reference incorporated herein are the names of the owners, the properties, and the amounts of the claims to be assessed for sidewalk replacement.

NOW, THEREFORE, BE IT RESOLVED BY THE City Council of the City of Oskaloosa, Iowa, as follows:

SECTION 1. That the City Council of the City of Oskaloosa, Iowa shall meet at City Hall Council Chambers in Oskaloosa, Iowa on the 2<sup>nd</sup> day of February, 2015 at 6:00 p.m. at which time a hearing shall be held on the matter of levying a special assessment against the properties listed in Exhibit "A" for sidewalk replacement by the City of Oskaloosa, Iowa, at which hearing the owner of said premises or anyone liable to pay such assessment may appear with the same rights as given by law before Boards of Review, in reference to assessments for general taxation, and at said time and place the Council shall consider and dispose of all objections made thereto; after which hearing the City Council shall by Resolution levy such assessment as may be appropriate against said properties.

SECTION 2. That the City Clerk of the City is hereby directed to give notice of said hearing, the time when and place where said hearing will be held by publication in

the Oskaloosa Herald, a newspaper published and having a general circulation within the City, no later than December 15, and at least twenty (20) days prior to the time herein fixed for such hearing; or by other means provided under said Sidewalk Maintenance Ordinance.

SECTION 3. That officials of the City are hereby authorized to take such further action as may be necessary to carry out the intent and purpose of this Resolution.

PASSED AND APPROVED this 5<sup>th</sup> day of January, 2015.

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David Krutzfeldt, Mayor

ATTEST:

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Amy Miller, City Clerk

EXHIBIT "A"  
SIDEWALK REPLACEMENT ASSESSMENTS

OWNER	ADDRESS/LEGAL	COST
Michael P/Elizabeth Burke Parcel ID 1118328011	1113 C Ave E Lots 8 & 9 Blk A Myers & Smiths Add	\$350.00
C & J Enterprise LLC Parcel ID 1024232004	514 S 2 <sup>nd</sup> St S 80' Lot 5 W 20' S 80' Lot 6 Blk 15 Montgomery's Add	\$1,105.00



City Council  
 Communication  
 Meeting Date: January 5, 2015  
 Requested By: Public Works Dept.

**Item Title: CONSENT AGENDA**

Consider approval of Pay Request No. 4 in the amount of \$8,243.15 to Norris Asphalt Paving Co. for work completed on the South 11th Street Pavement Rehabilitation Project.

**Explanation:**

The City of Oskaloosa has received Pay Request No. 4 from Norris Asphalt Paving Co. for \$8,243.15. This amount reflects the work completed as of Friday, December 19, 2014 for a total of \$158,583.45 minus the 5% retainage of \$7,929.17 and previous payments of \$142,411.13.

The items on this pay application are related to concrete construction only. They include all work associated with new curb and gutter, new 8" thick concrete street sections, new sidewalk and ADA sidewalk ramps. As of December 19, all street patches and curb and gutter sections had been completed from 15<sup>th</sup> Avenue to 1<sup>st</sup> Avenue. Street and driveway approaches, intake rebuilds, sidewalk and ADA ramps, and the mill and asphalt overlay still remain, along with street patches and curb and gutter from A Avenue to 1st Avenue.

On November 26 the street was reopened to traffic. Some additional concrete work was completed after that date near both the 1<sup>st</sup> Avenue and 9<sup>th</sup> Avenue intersections. The project was temporarily suspended for the winter season on December 18. As of the suspension, 64 out of 70 working days had been used. Work will resume on or before April 15, 2015 when favorable weather conditions return.

<u>Summary of Contract</u>	<u>Amount</u>	<u>Council</u>
<u>Approval Date</u>		
Original Bid	\$696,087.00	August 4,
2014		
Change Order No. 1**	\$40,300.00	
Total Contract Amount	\$736,387.00	
<u>Summary of Pay Requests</u>	<u>Amount</u>	<u>Council</u>
<u>Approval Date</u>		
Pay Request No. 1	\$31,191.83	October 6,
2014		

Pay Request No. 2 3, 2014	\$64,131.60	November
Pay Request No. 3 1, 2014	\$47,087.70	December
Pay Request No. 4* 2015*	\$8,243.15*	January 5,
Total Amount Paid:	\$150,654.28*	
Amount Remaining from Approved Contract:	\$577,803.55*	
Retainage (5% of Completed Work):	\$7,929.17*	
<p>*Applies only if Pay Request No. 4 is approved by City Council on January 5, 2015.  **Change Order No. 1 is within the 10% contingency requiring only City Manager approval.</p>		

**Budget Consideration:**

\$8,243.15 for Pay Request No. 4 from the South 11th Street Pavement Rehabilitation Project Fund.

**Attachments :**

Application for Payment No. 4, Pay Estimate No. 4, and Project Timeline

**APPLICATION FOR PARTIAL PAYMENT NO. 4**

SUBMITTED BY (CONTRACTOR): Norris Asphalt Paving Co.

TO (OWNER): City of Oskaloosa

PROJECT: **SOUTH 11TH STREET Pavement Rehabilitation Project**

OWNER'S PROJECT NO. 2010-13

FOR WORK ACCOMPLISHED THROUGH THE DATE OF: Friday, December 19, 2014

- A. a. Original Contract Amount:  
\$696,087.00
- b. Amount increased or decreased by Change Order:  
+ \$40,300.00
- c. Adjusted Contract Amount (a +/- b):  
\$736,387.00
  
- B. Total Amount of Work Completed to Date:  
\$158,583.45
- C. Less Retainage (5% of Completed Work):  
\$7,929.17
- D. Total Amount of Work Completed to Date Less Retainage (B - C):  
\$150,654.28
- E. Material stored on job site:  
\$0.00
- F. Total Amount of Work Completed and Stored to Date Less Materials (D - E):  
\$150,654.28
- G. Less Previous Payments:  
\$142,411.13
- H. **AMOUNT DUE THIS APPLICATION (F - G) :**  
\$8,243.15

Accompanying Documentation: Attachment No. 4 to Partial Payment No. 4

**CONTRACTOR'S Certification:**

The undersigned CONTRACTOR certifies that:

~~(1) All progress payments received from JURISDICTION on account of Work under the Contract referred to above have been applied on account to discharge CONTRACTOR'S legitimate obligations incurred in connection with Work covered by prior Applications for Payment numbered - through - inclusive;~~

~~(2) title of all Work, materials and equipment incorporated in said Work or otherwise listed in or covered by this Application of Payment will pass to JURISDICTION at time of payment free and clear of all Liens, security interests and encumbrances (except such as are covered by a Bond acceptable to JURISDICTION indemnifying JURISDICTION against any such Lien, security interest or encumbrance); and~~

~~(3) All Work covered by this Application for Payment is in accordance with the Contract Documents and not defective.~~

Signature	Signature	Signature
_____	_____	_____
Name	Name	Name

APPLICATION FOR PARTIAL PAYMENT NO. 4

Date: \_\_\_\_\_

Date: \_\_\_\_\_

Date: \_\_\_\_\_

Pay Estimate No. 4  
 South 11th Street Pavement Rehabilitation Project

Attachment to Pay Application No. 4  
 Contractor: Norris Asphalt Paving Co.

Date: 12/31/2014

No.	Item	Unit Price	August 4, 2014		Change Order #1 Quantities	Contract Totals		Completed to Date			Pay Application #1			Pay Application #2			Pay Application #3			Pay Application #4			
			Contract Quantity	Schedule of Values		Quantity	Schedule of Values	%	Qty.	\$ Amount	%	Qty.	\$ Amount	%	Qty.	\$ Amount	%	Qty.	\$ Amount	%	Qty.	\$ Amount	
1	Mobilization	\$12,000.00	1	LS	\$12,000.00	0	1	\$12,000.00	25%	0.25	\$3,000.00	25%	0.25	\$3,000.00	0%	0	\$0.00	0%	0	\$0.00	0%	0	\$0.00
2	Excavation - Class 10, 12, or 13	\$14.00	500	CY	\$7,000.00	50	550	\$7,700.00	23%	125.00	\$1,750.00	0%	0	\$0.00	0%	0	\$0.00	18%	100	\$1,400.00	5%	25	\$350.00
3	Subbase, Granular	\$21.00	850	TON	\$17,850.00	200	1,050	\$22,050.00	52%	550.45	\$11,559.45	6%	66.31	\$1,392.51	46%	484.14	\$10,166.94	0%	0	\$0.00	0%	0	\$0.00
4	Storm Sewer Intake Rebuild	\$3,000.00	12	EA	\$36,000.00	0	12	\$36,000.00	4%	0.50	\$1,500.00	0%	0	\$0.00	0%	0	\$0.00	0%	0	\$0.00	4%	0.5	\$1,500.00
5	Manhole Adjustments	\$1,000.00	12	EA	\$12,000.00	0	12	\$12,000.00	33%	4.00	\$4,000.00	0%	0	\$0.00	25%	3	\$3,000.00	8%	1	\$1,000.00	0%	0	\$0.00
6	PCC Pavement, 8" Thick	\$48.00	1,800	SY	\$86,400.00	425	2,225	\$106,800.00	69%	1536.00	\$73,728.00	4%	81	\$3,888.00	29%	641	\$30,768.00	35%	775	\$37,200.00	2%	39	\$1,872.00
7	2.5' Curb and Gutter, 8" Thick	\$25.00	1,150	LF	\$28,750.00	450	1,600	\$40,000.00	41%	660.00	\$16,500.00	15%	234	\$5,850.00	16%	263.5	\$6,587.50	8%	120.5	\$3,012.50	3%	42	\$1,050.00
8	PCC Pavement Samples and Testing	\$4,000.00	1	LS	\$4,000.00	0	1	\$4,000.00	25%	0.25	\$1,000.00	0%	0	\$0.00	0%	0	\$0.00	0%	0	\$0.00	25%	0.25	\$1,000.00
9	HMA Interlayer Base (PG 64-34)	\$155.30	625	TON	\$97,062.50	0	625	\$97,062.50	0%	0.00	\$0.00	0%	0	\$0.00	0%	0	\$0.00	0%	0	\$0.00	0%	0	\$0.00
10	HMA Surface (PG 64-22)	\$108.19	1,050	TON	\$113,599.50	0	1,050	\$113,599.50	0%	0.00	\$0.00	0%	0	\$0.00	0%	0	\$0.00	0%	0	\$0.00	0%	0	\$0.00
11	HMA Pavement Samples and Testing	\$4,000.00	1	LS	\$4,000.00	0	1	\$4,000.00	0%	0.00	\$0.00	0%	0	\$0.00	0%	0	\$0.00	0%	0	\$0.00	0%	0	\$0.00
12	Sidewalk Removal	\$10.00	250	SY	\$2,500.00	0	250	\$2,500.00	18%	45.00	\$450.00	0%	0	\$0.00	0%	0	\$0.00	5%	13	\$130.00	13%	32	\$320.00
13	Driveway Removal	\$10.00	575	SY	\$5,750.00	0	575	\$5,750.00	0%	0.00	\$0.00	0%	0	\$0.00	0%	0	\$0.00	0%	0	\$0.00	0%	0	\$0.00
14	PCC Sidewalk, 4" Thick	\$35.00	100	SY	\$3,500.00	0	100	\$3,500.00	13%	13.00	\$455.00	0%	0	\$0.00	0%	0	\$0.00	0%	0	\$0.00	13%	13	\$455.00
15	PCC Sidewalk & Ramps, 6" Thick	\$45.00	200	SY	\$9,000.00	0	200	\$9,000.00	21%	42.00	\$1,890.00	0%	0	\$0.00	0%	0	\$0.00	7%	13	\$585.00	15%	29	\$1,305.00
16	PCC Paved Driveway, 6" Thick	\$45.00	250	SY	\$11,250.00	30	280	\$12,600.00	0%	0.00	\$0.00	0%	0	\$0.00	0%	0	\$0.00	0%	0	\$0.00	0%	0	\$0.00
17	Granular Surfacing	\$30.00	100	TON	\$3,000.00	0	100	\$3,000.00	0%	0.00	\$0.00	0%	0	\$0.00	0%	0	\$0.00	0%	0	\$0.00	0%	0	\$0.00
18	Full Depth Concrete Patching	\$85.00	550	SY	\$46,750.00	0	550	\$46,750.00	60%	332.00	\$28,220.00	22%	121	\$10,285.00	32%	174	\$14,790.00	7%	37	\$3,145.00	0%	0	\$0.00
19	Full Depth Asphalt Patching	\$150.00	25	SY	\$3,750.00	0	25	\$3,750.00	0%	0.00	\$0.00	0%	0	\$0.00	0%	0	\$0.00	0%	0	\$0.00	0%	0	\$0.00
20	Transverse Crack Cleaning and Filling	\$3.75	4,000	LF	\$15,000.00	0	4,000	\$15,000.00	0%	0.00	\$0.00	0%	0	\$0.00	0%	0	\$0.00	0%	0	\$0.00	0%	0	\$0.00
21	Pavement Milling	\$6.75	6,100	SY	\$41,175.00	0	6,100	\$41,175.00	0%	0.00	\$0.00	0%	0	\$0.00	0%	0	\$0.00	0%	0	\$0.00	0%	0	\$0.00
22	Pavement Removal	\$15.00	1,100	SY	\$16,500.00	125	1,225	\$18,375.00	33%	407.00	\$6,105.00	16%	202	\$3,030.00	0%	0	\$0.00	12%	150	\$2,250.00	4%	55	\$825.00
23	Curb and Gutter Removal	\$7.00	1,150	LF	\$8,050.00	75	1,225	\$8,575.00	55%	668.00	\$4,676.00	19%	234	\$1,638.00	26%	313.5	\$2,194.50	10%	120.5	\$843.50	0%	0	\$0.00
24	Conventional Seeding, Fertilizing, and Mulching	\$6,500.00	1	LS	\$6,500.00	0	1	\$6,500.00	0%	0.00	\$0.00	0%	0	\$0.00	0%	0	\$0.00	0%	0	\$0.00	0%	0	\$0.00
25	Traffic Control	\$15,000.00	1	LS	\$15,000.00	0	1	\$15,000.00	25%	0.25	\$3,750.00	25%	0.25	\$3,750.00	0%	0	\$0.00	0%	0	\$0.00	0%	0	\$0.00
26	Water Valve Adjustments	\$200.00	11	EA	\$2,200.00	0	11	\$2,200.00	0%	0.00	\$0.00	0%	0	\$0.00	0%	0	\$0.00	0%	0	\$0.00	0%	0	\$0.00
27	Fabric Matting	\$7.00	12,500	LF	\$87,500.00	0	12,500	\$87,500.00	0%	0.00	\$0.00	0%	0	\$0.00	0%	0	\$0.00	0%	0	\$0.00	0%	0	\$0.00
<b>TOTALS:</b>					<b>\$696,087.00</b>			<b>\$736,387.00</b>			<b>\$158,583.45</b>			<b>\$32,833.51</b>			<b>\$67,506.94</b>			<b>\$49,566.00</b>			<b>\$8,677.00</b>

### CURRENT TIMELINE FOR THE SOUTH 11TH STREET REHABILITATION PROJECT

	Aug 2014	Sep 2014	Oct 2014	Nov 2014	Dec 2014	Jan 2015	Feb 2015	Mar 2015	Apr 2015	May 2015	June 2015
Concrete Street Patches						<b>Project Temporarily Suspended</b>					
Curb & Gutter Repair											
Re-building Intakes											
Asphalt Mill & Overlay											
Street & Driveway Approaches											
Sidewalk Ramps											
Seeding											



City Council  
Communication

Meeting Date: January 5, 2015

Requested By: City Manager  
Department

**Item Title: CONSENT AGENDA**

Consider appointment to the Historic Preservation Commission.

**Explanation :**

The term of Margaret Ademeit on the Historic Preservation Commission expired December 31, 2014. Ademeit did not want to be considered for reappointment at the December 15, 2014 city council meeting. The city has received an application from Mark Tennison. This is a seven member board. Terms are for three years. Currently one male and five females serve on the Historic Preservation Commission with one vacancy. Appointments to the commission are made by the City Council.

Recommended Action: Appoint Mark Tennison to the Historic Preservation Commission to a term that ends December 31, 2017.

**Budget Consideration:**

Not applicable.

**Attachments :**

Application from Mark Tennison.

## Application for Board or Commission

---

Board or commission applying for (choose one from list):\*      Historic Preservation Committee

Board or commission not listed above:

Name of applicant:\*

Address of Applicant\*

Phone number (day)\*

Phone number (evening)

Email address:\*

Would you like to be interviewed for this position?\*

Yes

No

Why are you interested in this position?\*

Your experience that would be beneficial to the board or commission:\*

Other civic experience:

\* indicates required fields.



## City Council Communication

Meeting Date: January 5, 2015

Requested By: Mayor & City Council

**Item Title: ANNOUNCEMENT OF VACANCIES. APPLICANTS MUST RESIDE IN OSKALOOSA AND BE 18 YEARS OF AGE UNLESS SPECIFIC SPECIFICATIONS ARE STATED.**

- a) Airport Commission - One vacancy to fill upon appointment for an unexpired term that ends December 31, 2015. This is a five member board that typically meets the first Monday of the month. (4 males currently serve with 1 vacancy)
- b) Building Code Board of Appeals - One vacancy to fill upon appointment to serve at the pleasure of the Mayor. This is a five member board that meets as needed. (3 males and 1 female currently serve with 1 vacancy)
- c) Board of Adjustment - One vacancy to fill upon appointment for an unexpired term that ends December 31, 2016. This is a five member board that typically meets as needed on the fourth Tuesday of the month. (4 males currently serve with 1 vacancy)
- d) Housing Trust Fund Committee - One at-large member to serve a three year term that ends January 31, 2018. There are five at-large members on the committee that typically meets every other month. (3 females and 2 males currently serve at-large)
- e) Water Board - One vacancy to fill upon appointment for an unexpired term that ends June 30, 2020. There are three members on the board that typically meets the third Monday of the month. (3 males currently serve)



City Council  
Communication  
Meeting Date: January 5, 2015

**Item Title: REGULAR AGENDA**

**Explanation :**

The following agenda items require specific action by the City Council.

**Budget Consideration:**

Not applicable.

**Attachments :**

None.



City Council  
Communication  
Meeting Date: January 5, 2015  
Requested By: City Clerk/Finance

**Item Title:**

Consider a resolution levying a special assessment against private property for sidewalk replacement by the city of Oskaloosa, Iowa in accordance with Section 12.12 of the city code of the city of Oskaloosa, Iowa. (PUBLIC HEARING)

**Explanation:**

This is the time for the public hearing on levying a special assessment against private property for sidewalk replacement as outlined in Exhibit A. Certified notices were sent to each property owner and a notice was published in the Oskaloosa Herald. If approved, the property owner will have 30 days to pay for sidewalk replacement in the City Clerk's office. After the 30 days it will be assessed to their property taxes with a payment schedule at 9% interest.

Staff recommends opening the public hearing, receive oral and written comments, close hearing and approve resolution.

**Budget Consideration:**

\$2,616 revenue to the Sidewalk Improvement Fund to offset expenses related to the work performed, plus \$1,410 in interest.

**Attachments :**

Resolution  
Exhibit A

RESOLUTION NO. \_\_\_\_\_

RESOLUTION LEVYING A SPECIAL ASSESSMENT AGAINST PRIVATE PROPERTY FOR  
SIDEWALK REPLACEMENT BY THE CITY OF OSKALOOSA, IOWA, IN ACCORDANCE  
WITH SECTION 12.12 OF THE CITY CODE OF THE CITY OF OSKALOOSA, IOWA.

WHEREAS, The City of Oskaloosa, Iowa under authority of the Ordinance for Sidewalk Maintenance and Use Regulations, Chapter 12.12, has on certain properties within the City of Oskaloosa, Iowa, replaced sidewalks; and

WHEREAS, the City of Oskaloosa, Iowa desires to levy a special assessment against properties concerned for said sidewalk replacement by the City; and

WHEREAS, public hearing on said assessments was duly scheduled for the 5<sup>th</sup> day of January, 2015 at 6:00 p.m. and proper notice was given; and

WHEREAS, hearing before the City Council of the City of Oskaloosa, Iowa was held at the above mentioned date and time, and all objections to said assessments were heard; and

WHEREAS, thirty days after the council's decision, the City Clerk shall certify any unpaid amounts to the county auditor. The unpaid assessments shall constitute a lien against the property and shall be collected by the county treasurer in the same manner as other taxes. Any assessment that exceeds five hundred dollars may be paid in installments as set by the council, not exceeding fifteen, in the same manner and at nine percent interest. No interest shall be charged for assessments, or parts thereof, paid within thirty days after the time the council determined the final amounts.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Oskaloosa, Iowa that special assessments for sidewalk replacement are hereby levied against the properties described in Exhibit "A" attached hereto and by this reference incorporated herein, in the amount set forth in said Exhibit "A".

PASSED AND APPROVED this 5<sup>th</sup> day of January, 2015.

---

David Krutzfeldt, Mayor

ATTEST:

---

Amy Miller, City Clerk

EXHIBIT "A"  
SIDEWALK REPLACEMENT ASSESSMENTS

OWNER	ADDRESS/LEGAL	COST
Peluche Quang/Ien Van Quang Parcel ID 1118352004	510 A Avenue East N 120' Lot 6 East Add	\$200.00
Jeffrey L/Tina L Wilford Parcel ID 1118376006	906 A Avenue East N ½ Lot 6 W T Smiths Add	\$200.00
Karen Sauer/Jerry Smith Parcel ID 1118335008	1009 A Avenue East Lot 13 & W 9' Lot 12 Blk 3 Meyer & Smiths Add	\$200.00
David L Batman Parcel ID 1013434018	310 C Avenue East W 61.5' Lot 1 & N 45' W 53.25' E ½ Lot 3 O L 17 O P	\$1,904.00
David Lee Batman Parcel ID 1013434004	329 North 3 <sup>rd</sup> Street E 75' Lot 1 O L 17 O P	\$112.00



## City Council Communication

Meeting Date: January 5, 2015

Requested By: Public Works Dept.

### **Item Title: PUBLIC HEARING**

Consider an ordinance to amend the City Code of the City of Oskaloosa, Iowa by amending provisions pertaining to Title 17 - "Zoning", Chapter 17.24 - "Supplemental Site Development Regulations," and Chapter 17.32 - "Nonconforming Development" of the City Of Oskaloosa Zoning Ordinance regarding non-conforming residential development and discontinued nonconforming developments - 1<sup>st</sup> reading (PUBLIC HEARING)

### **Explanation:**

The Public Works Department Staff received a request from the board of realtors to update the zoning code regarding non-conforming residential development. The board of realtors indicated that the non-conforming single-family and two-family residential structures are restricting the sale of properties within Oskaloosa. The existing zoning regulations do not permit single family residential development in most commercial and industrial zoning districts. These non-conforming residential structures cannot be enlarged or altered. These non-conforming residential structures also cannot be reconstructed if the structure is destroyed by any means to an extent of 60% or more of its replacement cost.

The proposed code updates include, but are not limited to, the following:

- Revise code sections 17.24.020 and 17.32.030 to permit reconstruction of existing single and two-family non-conforming structures in all zoning districts. This will bring all non-conforming single and two-family structures into compliance. This option will only be valid if an approved building permit is obtained within six months of destruction and pursued to completion.
- Introduce a new code section for discontinued non-conforming developments. In the event that a non-conforming use of any building or premises is discontinued, or its normal operation stopped for a period of one year, then the property will be required to conform to the existing zoning code regulations.

The Planning & Zoning Commission considered this item at their December 8, 2014 meeting and recommended by a vote of 7:0 (yes : no) that the City Council approve the ordinance amendments regarding non-conforming residential development.

**Recommended Action:**

Open public hearing, receive comments, close the public hearing and approve the first reading of the ordinance.

**Budget Consideration:**

There will be minimal impact to the City Budget for the cost associated with drafting revisions to Chapter 17 of the Oskaloosa Municipal Code.

**Attachments :**

Ordinance, Proposed text amendments to City Code, Table 17.08b, Letter from Realtors, Code comparison, Map, Statistics, and Code Comparison.

ORDINANCE NO. \_\_\_\_\_

AN ORDINANCE TO AMEND THE ZONING ORDINANCE OF THE CITY OF OSKALOOSA, IOWA BY AMENDING TITLE 17, "ZONING", CHAPTER 17.24, "SUPPLEMENTAL SITE DEVELOPMENT REGULATIONS," SECTION 17.24.020 - "USE OF EXISTING LOTS OF RECORD"; AMENDING CHAPTER 17.32, "NONCONFORMING DEVELOPMENT," SECTION 17.32.030 - RESIDENTIAL DISTRICTS," SUBSECTION C - "NON CONFORMING STRUCTURES"; AND ADDING A NEW SECTION 17.32.070 - "DISCONTINUANCE CONFORMANCE REQUIRED."

The City Council of the City of Oskaloosa, Iowa hereby ordains as follows:

SECTION 1. The title for "Chapter 17.24 - Supplemental Site Development Regulations" is hereby amended by revising the title as "Chapter 17.24 - Exceptions and Supplemental Site Development Regulations."

SECTION 2. Section 17.24.020, entitled "Use of existing lots of record" is hereby deleted in its entirety and amended by substituting the following in lieu thereof:

17.24.020 Exceptions for existing single-family and two-family dwellings.

In any zoning district where they are otherwise permitted, a single-family or two-family dwelling may be located or reconstructed on a lot which, at the time of passage of this Ordinance, is non-conforming development in terms of lot area, width, yards, lot coverage, or other characteristics of the structure or its location on the lot; provided, however, that the following shall apply:

- A. The sum of the side yard widths of any such lot or plot shall not be less than thirty percent of the width of the lot, but in no case less than ten percent of the width of the lot for any one side yard.
- B. The depth of the rear yard of any such lot need not exceed twenty percent of the depth of the lot, but in no case less than twenty feet.
- C. Notwithstanding the setback requirements set forth above, a nonconforming single-family dwelling or two-family dwelling on such a lot can be used, maintained and reconstructed, provided however that if the dwelling is destroyed or damaged, excluding purposeful destruction, to an extent of 60 percent or more of its replacement cost at the time of destruction, it shall not be reconstructed unless such reconstruction work shall be consistent with applicable codes at the time of new construction, an approved building permit is obtained within six months of such happening and diligently pursued to completion. Such reconstruction shall also comply with the restrictions on nonconforming development set forth in section 17.32.030. This exception shall not apply in cases where the owner of a non-conforming lot also owns two or more abutting vacant lots of record. Such lot shall also meet all of the following requirements:

1. The dwelling should meet the requirements set forth in Table 17.08C except the minimum lot area; however, if setbacks cannot be met from Table 17.08C, then the dwelling shall be allowed to be built on the original footprint without an increase in the gross floor area.
2. The dwelling shall have a minimum width facing the street of the smaller of twenty-four feet or the width of the dwelling prior to such destruction;
3. The dwelling shall have a minimum depth perpendicular to the street of the smaller of 20 feet or the depth of the dwelling prior to such destruction.
4. A minimum of fifteen percent of the facade of the building facing the street shall consist of windows, doors and other building openings;
5. Any foundation skirting material shall have the appearance of masonry or poured concrete typical of site-built homes. Installation of the skirting must be installed within thirty days following the installation of the home, or the first day of May if the ground is frozen at the time the home is placed;

SECTION 3. Section 17.32.030 C. entitled “Nonconforming Structures” is hereby deleted in its entirety and amended by substituting the following in lieu thereof:

C. Nonconforming Structures. Where a structure exists at the effective date of adoption or amendment of the ordinance codified in this title that could not be built under the terms of this title by reason of restrictions on area, lot coverage, height, yards, or other characteristics of the structure or its location on the lot, such structure may be continued so long as it remains otherwise lawful, subject to the following provisions:

1. No such structure may be enlarged or altered in a way which increases its nonconformity.
2. Should such structure be destroyed by any means to an extent of sixty percent or more of its replacement cost at time of destruction, it shall not be reconstructed except in conformity with the provisions of this title. Any single-family or two-family dwelling which was a conforming structure at the time of passage of this Ordinance may be structurally altered, and if destroyed may be reconstructed and used as before, provided the work shall be consistent with applicable codes at the time of new construction, an approved building permit is obtained within six months of such happening and diligently pursued to completion. Such reconstruction shall also comply with the restrictions set forth in section 17.24.020.

SECTION 4. A new Section 17.32.070, entitled “Discontinuance Conformance required” is hereby added as follows:

17.32.070 Discontinuance Conformance required.

A. In the event that a nonconforming use of any building or premises is discontinued or its normal operation stopped for a period of one year, the use of the same shall thereafter conform to the regulations of the district in which it is located.

SECTION 5. REPEALER. All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION 6. SEVERABILITY CLAUSE. If any section, provision, or part of this ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the ordinance as a whole or any section, provision, or part thereof not adjudged invalid or unconstitutional.

SECTION 7. WHEN EFFECTIVE. This ordinance shall be in effect from and after its final passage, approval, and publication by law.

Passed by the Council the \_\_\_\_\_ day of \_\_\_\_\_ 2015, and approved this \_\_\_\_\_ day of \_\_\_\_\_ 2015.

\_\_\_\_\_  
David Krutzfeldt, Mayor

ATTEST: \_\_\_\_\_  
Amy Miller, City Clerk

I certify that the foregoing was published as Ordinance No. \_\_\_\_\_ on the \_\_\_\_\_ day of \_\_\_\_\_ 2015.

Signed \_\_\_\_\_

## Chapter 17.24 -- EXCEPTIONS AND SUPPLEMENTAL SITE DEVELOPMENT REGULATIONS

### Sections:

#### 17.24.010 - Purpose.

The supplemental site development regulations establish basic requirements for developable lots, including frontage requirements, recognize the existence of special conditions that cannot comply literally with the site development regulations set out for each zoning district. Therefore, these regulations qualify or modify the district regulations of this title and provide for specific areas of exception.

(Ord. 1086 §17.701, 2000)

Exceptions for single-family and two-family dwellings.

#### 17.24.020 - ~~Exceptions for existing single-family and two-family dwellings. Use of existing lots of record.~~

In any zoning district where they are otherwise permitted, a single-family or two-family dwelling may be located or reconstructed on ~~any a lot or plot of official record as of the effective date of the ordinance codified in this title irrespective of its area or width~~ which, at the time of passage of this Ordinance, is non-conforming development in terms of lot area, width, yards, lot coverage, or other characteristics of the structure or its location on the lot; provided, however, that the following shall apply:

- A. The sum of the side yard widths of any such lot or plot shall not be less than thirty percent of the width of the lot, but in no case less than ten percent of the width of the lot for any one side yard.
- B. The depth of the rear yard of any such lot need not exceed twenty percent of the depth of the lot, but in no case less than twenty feet.
- C. ~~Notwithstanding the setback requirements set forth above, a nonconforming single-family dwelling or two-family dwelling on such a lot can be used, maintained and reconstructed, provided however that if the dwelling is destroyed or damaged, excluding purposeful destruction, by natural disaster any means to an extent of 60 percent or more of its replacement cost at the time of destruction, it shall not be reconstructed unless such reconstruction work shall be consistent with applicable codes at the time of new construction, an approved building permit is obtained within six months of such happening and diligently pursued to completion. Such reconstruction shall also comply with the restrictions on nonconforming development set forth in section 17.32.030. This exception shall not apply in cases where the owner of a non-conforming lot also owns two or more abutting vacant lots of record. Such lot shall also meet all of the following requirements:~~
  1. ~~The dwelling should meet the requirements set forth in Table 17.08C except the minimum lot area; however, if setbacks cannot be met from Table 17.08C, then the dwelling shall be allowed to be built on the original footprint without an increase in the gross floor area. -~~
  2. ~~The dwelling shall have a minimum width facing the street of the smaller of twenty-four feet or the width of the dwelling prior to such destruction;~~

3. The dwelling shall have a minimum depth perpendicular to the street of the smaller of 20 feet or the depth of the dwelling prior to such destruction.
4. A minimum of fifteen percent of the facade of the building facing the street shall consist of windows, doors and other building openings;
5. Any foundation skirting material shall have the appearance of masonry or poured concrete typical of site-built homes. Installation of the skirting must be installed within thirty days following the installation of the home, or the first day of May if the ground is frozen at the time the home is placed;

(Ord. 1086 §17.702, 2000)

## Chapter 17.32 – NONCONFORMING DEVELOPMENT

### *Sections:*

#### 17.32.010 - Purpose.

Within the various districts established by this title or amendments that may later be adopted, there exist structures and uses of land and structures which were lawful prior to the adoption of the ordinance codified in this title but which would be prohibited, regulated, or restricted under the provisions of this title. It is the intent of this title to permit these nonconformities to continue until they are removed, but not to encourage their survival. Such uses are declared by this title to be incompatible with permitted uses in the districts involved.

(Ord. 1086 §17.1101, 2000)

#### 17.32.020 - Regulations additive.

Regulations for nonconforming uses are in addition to regulations for nonconforming structures. In the event of a conflict, the most restrictive regulation shall apply.

(Ord. 1086 §17.1102, 2000)

#### 17.32.030 - Residential districts.

- A. Nonconforming Use of Land. The lawful use of land upon which no building or structure is erected or constructed which becomes nonconforming under the terms of this title as adopted or amended may be continued so long as it remains otherwise lawful, subject to the following provisions:
1. No such nonconforming use shall be enlarged or increased nor extended to occupy a greater area of land than was occupied at the effective date of adoption or amendment of the ordinance codified in this title.
  2. No such nonconforming use shall be moved in whole or in part to any other portion of the lot or parcel which was not occupied by such use at the effective date of adoption or amendment of the ordinance codified in this title.
  3. If any such nonconforming use of land ceases for any reason for a period of more than six months, any subsequent use of such land shall conform to the district regulations for the district in which such land is located.
- B. Nonconforming Use of Structures. If a lawful use of a structure, or of a structure and land in combination, exists at the effective date of adoption or amendment of the ordinance codified in this title, that would not be allowed in the district under the terms of this title, the use may be continued so long as it remains otherwise lawful, subject to the following provisions:
1. No existing structure devoted entirely or in part to a use not permitted by this title in the district in which it is located, except when required by law, shall be enlarged, extended, reconstructed, moved, or structurally altered, unless the use is changed to a use permitted in the district in which such structure is located.
  2. Any nonconforming use may be extended throughout any parts of a building which were manifestly arranged or designed for such use at the time of adoption or amendment of the ordinance codified in this title. No such use shall be extended to occupy any land outside such building.
  3. If no structural alterations are made, a nonconforming use of a similar nature within the same or a more restricted classification. Whenever a nonconforming use has been changed to a more restricted use or to a conforming use, such use shall not thereafter be changed to a less restrictive use.

4. In the event that a nonconforming use of a structure, or structure and land in combination, is discontinued or abandoned for a period of two years, the use of the same shall thereafter conform to the uses permitted in the district in which it is located. Where nonconforming use status applies to a structure and land in combination, removal or destruction of the structure shall eliminate the nonconforming status of the land.
  5. Any structure devoted to a use made nonconforming by this title that is destroyed by any means to an extent of sixty percent or more of its replacement cost at the time of destruction, exclusive of the foundations, shall not be reconstructed and used as before such happening. If the structure be less than sixty percent destroyed above the foundation, it may be reconstructed and used as before, provided it be done within six months of such happening, and be built of like or similar materials.
- C. Nonconforming Structures. Where a structure exists at the effective date of adoption or amendment of the ordinance codified in this title that could not be built under the terms of this title by reason of restrictions on area, lot coverage, height, yards, or other characteristics of the structure or its location on the lot, such structure may be continued so long as it remains otherwise lawful, subject to the following provisions:
1. No such structure may be enlarged or altered in a way which increases its nonconformity.
  2. Should such structure be destroyed by any means to an extent of sixty percent or more of its replacement cost at time of destruction, it shall not be reconstructed except in conformity with the provisions of this title. **Any single-family or two-family dwelling which was a conforming structure at the time of passage of this Ordinance may be structurally altered, and if destroyed may be reconstructed and used as before, provided the work shall be consistent with applicable codes at the time of new construction, an approved building permit is obtained within six months of such happening and diligently pursued to completion. Such reconstruction shall also comply with the restrictions set forth in section 17.24.020.**

(Ord. 1086 §17.1103, 2000)

17.32.040 - Nonresidential districts.

- A. Nonconforming Use of Land. The regulations described in Section 17.32.030 shall also apply to this section with the following exception:
1. A structure devoted to a nonconforming use in a non-residential zoning district may be structurally altered or enlarged if the addition satisfies the following conditions:
    - a. The enlargement or addition, when considered independently of the existing building, complies with all applicable setback, height, off-street parking, and landscaping requirements.
    - b. The building, after the addition, conforms to height, off-street parking, and building and impervious surface coverages applicable to its zoning district.
    - c. The construction is limited to buildings on land owned of record by the owner of the nonconforming use prior to the effective date of the ordinance codified in this title.
  2. A lawful nonconforming use may be changed only to a use type permitted in a zoning district that is equal to or less intensive than that normally required for the previous use.

(Ord. 1086 §17.1104, 2000)

17.32.050 - Repair of nonconforming structures.

- A. Nothing in this title shall be deemed to prevent the restoring to a safe condition of any building or part thereof declared to be unsafe by any official charged with protecting the public safety, upon order of such official.

- B. A lawful nonconforming building damaged by fire, explosion, storm or other calamity, except flood damages, may be repaired and reconstructed provided there is no increase in the degree of nonconformity. Repair and reconstruction within the designated floodplain shall be in conformance with Floodplain development regulations.

(Ord. 1086 §17.1105, 2000)

#### 17.32.060 - Recognition of nonconformances.

- A. Unauthorized Nonconformances. Any use of land or structure which was not an authorized nonconformity under any previous zoning ordinance or similar regulations shall not be authorized to continue its nonconforming status pursuant to this title.
- B. Nonconforming Uses and Conditional Use Permits. A lawful pre-existing use which would require a conditional use permit in its zoning district shall be presumed to have the appropriate permit and shall be considered a conforming use. The use shall be subject to the regulations governing lapses or revocation of permits, set forth in Chapter 17.34.

(Ord. 1086 §17.1106, 2000)

#### 17.32.070 Discontinuance Conformance required.

- A. In the event that a nonconforming use of any building or premises is discontinued or its normal operation stopped for a period of one year, the use of the same shall thereafter conform to the regulations of the district in which it is located.

Table 17.08b  
Permitted Uses by Zoning Districts

Use Types	AG	RR	R- 1	R- 2	R- 3	R- 4	UC	LC	CC	DC	GC	HC	BP	LI	GI
<b>Agricultural Uses</b>															
Horticulture	P	P	C	C	C	C		C	P	C	C	C			
Crop production	P	P													
Animal production	P														
Commercial feedlots															
Livestocks sales															
<b>Residential Uses</b>															
Single-family Detached	P	P, L(1)	P, L(1)	P, L(1)	P, L(1)	P	P, L(1)	C							
Single-family Attached	C	C	C	P	P	P	P	C							
Duplex				P	P		P	C							
Two-family				P	P		P	C							
Townhouse				P	P		P	P		P					
Multiple-family					P		C	P	C	P	C				
Downtown residential										P					
Group residential	C	C			P			C	C						
Manufactured housing residential	P	P, L(1)	P, L(1)	P, L(1)	P, L(1)	P, L(2)		C							
Mobile home park						P, L(2)									
Mobile home subdivision						P, L(2)									
Retirement residential	C	C	C	P	P		P	P	C	P	C				

L(1) = Single-family detached dwellings provided that:

All single-family detached dwellings for which a building permit has been issued (date of enactment), shall comply with the following minimum design standards

1. The dwelling shall have a minimum width facing the street of twenty-four feet.
2. The minimum horizontal dimension of the main body of the dwelling unit shall not be less than twenty feet.
3. A minimum of fifteen percent of the facade of the building facing the street shall consist of windows, doors and other building openings.
4. Any foundation skirting material shall have the appearance of masonry or poured concrete typical of site-built homes.

Installation of the skirting must be installed within thirty days following the installation of the home, or the first day of May if the ground is frozen at the time the home is placed.

L(2) = Applies to all factory built homes (Refer to Section 17.04.030 for definitions). Any foundation skirting material shall have the appearance of masonry or poured concrete typical of site-built homes. Installation of the skirting must be installed within thirty days following the installation of the home, or the first day of May if the ground is frozen at the time the home is placed.

To Whom It May Concern,

September 17, 2014

The Oskaloosa Board of Realtors are an active part of the Oskaloosa community, both individually and collectively as a vital component of the economy. We strive to bring quality homeownership and development into the Oskaloosa area.

It has been brought to our attention that zoning for R1 and R2 (in regard to lot size, etc.) changed to increase the lot size (8400 sq. ft.) for future home construction/reconstruction. The Oskaloosa Municipal Code

(Section 17.32.030.C.2)

states that where a structure exists it will need to be reconstructed in compliance with city code if it is destroyed more than 60%. A minimum lot size of 8400 Sq. ft. is required (per table 17.08C of the Oskaloosa Municipal Code). Approximately 2,000 residences are affected by this due to the city having been originally platted for 60 x 120 lot size (7200 sq. ft.). In light of this zoning code, bank appraisals of any lot/home for the purpose of selling said property will need to be classified as "legal nonconforming" if they are smaller than the required 8400 sq. ft..

Furthermore, this situation is hindering the ability of the buyer to obtain a loan, since bank underwriters have begun to deny loans due to the zoning compliance issue.

It is the hope of the Oskaloosa Board of Realtors that an addendum could be added to/or a change made to the zoning code so this issue could be resolved for the betterment of the home owner and buyer of Oskaloosa real estate. This has been initiated due to recent real estate transactions failing to close (sale) after it was determined the lot size was too small for reconstruction per city code and therefore did not meet lender's requirements. **Our recommendation is that properties/structures with lot sizes at least 7000sq. ft. would have an automatic rebuild in the case of destruction of 60% or greater.**

Thank you for your consideration,

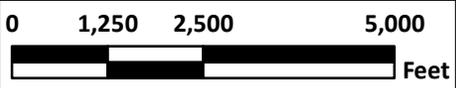
Oskaloosa Board of Realtors



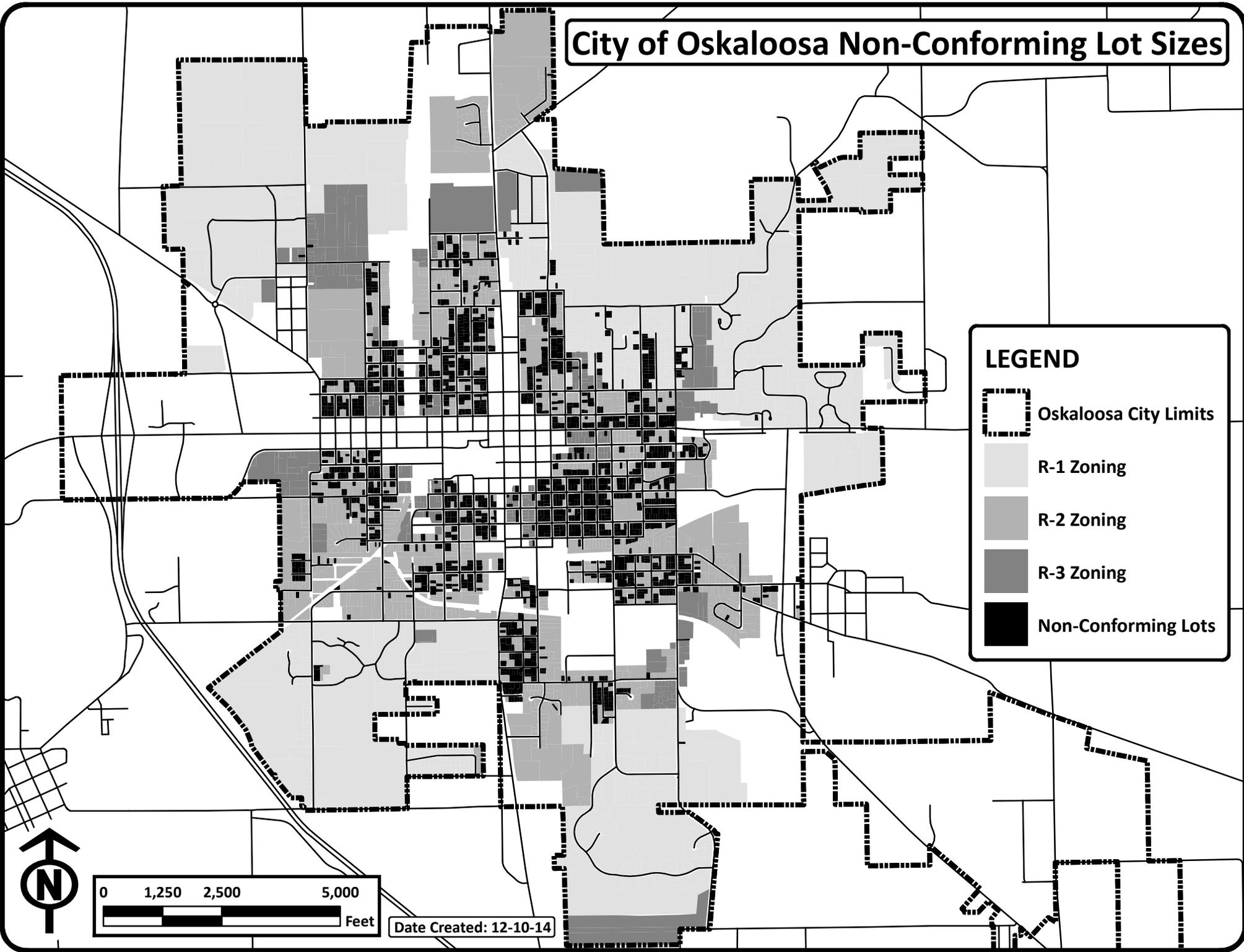
# City of Oskaloosa Non-Conforming Lot Sizes

## LEGEND

-  Oskaloosa City Limits
-  R-1 Zoning
-  R-2 Zoning
-  R-3 Zoning
-  Non-Conforming Lots



Date Created: 12-10-14



	<b>ZONING</b>		
	<b>R-1 (Single Family)</b>	<b>R-2 (Urban Family)</b>	<b>R-3 (Multiple Family)</b>
Minimum Lot Area Per City Code (1 Family)	8400 SF	8400 SF	7200 SF
Approx. Total Number of Non-Conforming Lots:	1,000	2,950	400
<b>LOT SIZE</b>	<b>PERCENTAGE OF NON-CONFORMING LOTS</b>		
< 8400 SF	8%	56%	N/A
< 7200 SF	1.5%	24%	16%
< 7000 SF		20%	15%
< 6800 SF		18%	14%
< 6600 SF		16%	13%
< 6400 SF		13%	12%
< 6200 SF		11%	11%
< 6000 SF	0.5%	9%	10%
< 5800 SF		8%	9%
< 5600 SF		7%	8%
< 5500 SF		7%	8%
< 5400 SF		6%	8%
< 5000 SF		5%	7%

City	Minimum Sq Ft of Lot R-1 Width	Minimum Sq Ft of lot R-2 Width	Minimum Sq Ft of lot R-3 Width	Exceptions for Single and two family lot area or width
Oskaloosa	8,400 None specified	8,400 For single family, 10,000 for Duplex 70ft for single family, 80ft for duplex	7,200 for single family, 8,400 for Duplex, 10,000 for town house, multifamily & other 60ft for single family, 70ft for duplex, 20ft town houses, 80ft multi-family	Presently in review
Ottumwa	7,000 60ft	5,000 for single family 6,000 for a two family 60ft	5,000 for single, 6,000 for two family, 6,500 for three family 60ft	None found
Centerville	10,000 70ft	8,500 for Single Family 12,00 for two family 65ft	7,500 for single, add 1,250 for each other dwelling 60ft	None found
Mount Pleasant	9,000 70ft	7,500 For single Family, 10,000 for two family 70ft for single family/ 80ft for two family	6,000 for single, 7,200 for two family, 10,000 for multiple or other permitted uses Not stated	None found
Pella	10,000 80ft	7,500 For single Family, 10,000 for two family 60ft	7,000 for Single Family, 8,000 for Duplex, townhouses, multi family 50ft	Yes - Pella 165.30 "Located" single or two-family
Spencer	6,000 50ft	5,000 for multi family 50ft	No R-3 Zoning present	None found
Waukee	10,000 80ft	8,000 for single Family, 10,000 for two Family 65ft for single family/ 80ft for two family	10,000 75ft	Yes -306.26 (H) "Located" Single family only
Altoona	8,750 70ft	8,750 for Single Family, 10,500 for two Family 70ft for single family/ 85ft for two family	9,000 85 ft	Yes - 166.02 "Erected" Single family only
Boone	11,000 80ft	8,500 for single family and 12,000 for two Family 65ft for single family / 70ft for two family	7,000 for single Family and 8,000 for two family 60ft for single and two family	None found
Clive	10,000 80ft	8,500 for single family and 10,000 for Duplex 70ft for single family and 75ft for duplex	No R-3 Zoning present	None Found
Davenport	R1- Low density 20,000 / R2 "LD" 10,00 100ft -R1 / 60ft - R2	R3- Moderate density 7,500 / R4- "MD" 6,000 One Family R3 60ft / One Family R4 50ft	R5 -Medium Density 8,000 one or two family / R5M - "MD" 6,000 one family / R6M "MD" 6,000 one family 65ft R5 / 50 Ft R5M / 50ft R6M	None Found
Other Cities that Have exceptions: Marshalltown: Section 6 small lot exception. Des Moines 134-1296-b5				



Oskaloosa City Council  
Meeting Date: January 5, 2015  
Requested By: City Manager's Office

**Item Title:**

Consider a resolution adopting a policy formalizing the continued use of Complete Streets design concepts in future city improvement projects.

**Explanation :**

The City of Oskaloosa is working to formalize the process of street design by continuing use of Complete Streets design concepts through the Complete Streets Policy. This will allow staff to determine the best streets and roads for Complete Streets design concepts.

Implementation of the Complete Streets Policy will guide the process of planning, funding, design, construction, operation, and maintenance of all new and modified streets in the City of Oskaloosa.

The City of Oskaloosa partnered with Oskaloosa Blue Zones to bring in a consultant that provided a workshop and presentation on Complete Streets for City Council, City staff, and community members. This item was presented and discussed at the December 15, 2014 City Council Meeting. At the December 8, 2014 Planning and Zoning Commission meeting the Planning and Zoning Commission recommended approval of the resolution by a vote of 5-2.

Complete Streets are considered a best practice for infrastructure improvements, and will assist the community in its efforts to become a certified Blue Zones Community.

**Budget Consideration:**

The cost to incorporate Complete Streets design concepts is minimal compared to the overall project cost. The Complete Streets Policy states an exception to the policy can be made when the cost to accommodate the Complete Streets design concepts is excessively disproportionate to the cost of the project; more than 20 percent of the total cost.

**Attachments :**

Complete Streets Resolution, Complete Streets Policy

RESOLUTION NO. \_\_\_\_\_

A RESOLUTION ADOPTING A POLICY FORMALIZING THE CONTINUED USE OF COMPLETE STREETS DESIGN CONCEPTS IN FUTURE CITY IMPROVEMENT PROJECTS

WHEREAS, The City of Oskaloosa wishes to ensure that all users of our transportation system are able to travel safely and conveniently on all streets and roadways within the public right-of-way in Oskaloosa; and

WHEREAS, a complete street is defined as one which provides safe, attractive, convenient and comfortable access and travel for all users, including pedestrians, bicyclists, motorists and public transport users of all ages and abilities; and

WHEREAS, complete streets have public health benefits, such as encouraging physical activity and improving air quality, by providing the opportunity for more people to bike and walk safely; and

WHEREAS, complete streets improve access and safety for those who cannot or choose not to utilize motorized vehicles; and

WHEREAS, complete streets are essential in providing safe routes to school for children; and

WHEREAS, it is the desire of the City of Oskaloosa to formalize a commitment to the principles of complete streets for all of our streets through the adoption of a Complete Streets Policy;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF OSKALOOSA, IOWA, that the Council supports Complete Streets design concepts by adopting the Complete Streets Policy.

PASSED AND APPROVED this 5th day of January, 2015.

\_\_\_\_\_  
David Krutzfeldt, Mayor

ATTEST:

\_\_\_\_\_  
Amy Miller, City Clerk

## Complete Streets Policy

Adopted:  
Resolution:



### Overview

This policy will set forth guiding principles and practices for use in all transportation projects, where practicable, economically feasible, and otherwise in accordance with applicable laws. This policy is intended to enable safe and efficient walking, bicycling, and other non-motorized forms of transportation, in addition to motorized transportation, including personal, freight, and public transit vehicles. All uses must be designed to allow safe operation for all users regardless of age or ability.

### Purpose

The purpose of this policy is to provide staff, its consultants, and contractors with direction to consider the application of Complete Streets concepts in street and road improvements.

### Scope

This policy formalizes the existing street design and improvement process for the City of Oskaloosa and all road, street, and improvement projects that fall within the influence and control of the City of Oskaloosa.

### Policy

**Section 1:** The City of Oskaloosa commits to a Complete Streets Policy which has the following guiding principle and practices:

#### Vision

The Complete Streets Policy is written to use as an interdisciplinary approach into the design and construction of roadway projects. In using this policy, the City of Oskaloosa will seek to enhance the safety, access, convenience and comfort of all users of all ages and abilities, including pedestrians (including people requiring mobility aids), bicyclists, transit users, motorists and freight drivers, through the design, operation and maintenance of a transportation network. This will enable the further development of a connected network accommodating each mode of travel that is consistent with and supportive of the local community. This policy provides a basis for recognizing that all streets are different and that the needs of various users will need to be balanced in a flexible manner.

## **Background**

The City of Oskaloosa has a historic grid like system that encompasses its current transportation network. The current grid like system is generally recognized as optimal for all modes of transportation.

The City Currently has several components of complete streets including curb extensions, roundabouts, street trees, road diet, and a trail system.

The benefits of Complete Streets are many and varied:

- Complete Streets improve safety for pedestrians, bicyclists, children, senior citizens, non -drivers, and the mobility challenged.
- Provide bicycling and walking connections to trip generators such as employment, education, residential recreation, retail centers, and public facilities.
- Promote healthy lifestyles.
- Create more livable communities.

## **Specifies all Users**

Transportation improvements will include facilities and amenities that are recognized as contributing to Complete Streets, which may include street and sidewalk lighting; sidewalks and pedestrian safety improvements such as crosswalk improvements; improvements that provide ADA (Americans with Disabilities Act) compliant accessibility; transit accommodations including improved pedestrian access to transit stops; bicycle accommodations including bicycle storage, bicycle parking, bicycle routes, share-use lanes, narrowing of travel lanes as appropriate; and street trees, medians reduced, reconfigure parking, permanent re-striping to include bike lanes, curb extensions, countdown pedestrian signals, and adequate drainage facilities.

## **Projects Included**

When the planning the design of street projects, the City of Oskaloosa shall consider bicycle, pedestrian, and transit facilities from the very start of planning, maintenance and operations, and design work. This Policy will apply to all roadway projects, including those involving new construction, privately constructed roads intended for public use, reconstruction, resurfacing, or changes in the allocation of pavement space on an existing roadway (such as the reduction in the number of travel lanes or removal of on-street parking).

## **Exceptions**

This policy will be followed unless written documentation determines that the current street project falls within the listed expectations. Exceptions to the Complete Streets policy must be documented in writing by the Public Works Director with supporting data that indicates the reason for the decision. The documented decision(s) shall be reviewed by the City Manager and Public Works Director and any other designated appointee as named by the City Manager and Public Works Director. Exceptions are limited to the following:

- A. Ordinary maintenance activities designed to keep assets in serviceable condition, such as mowing, cleaning, sweeping, spot repair, concrete joint repair, or pothole filling, or when interim measures are implemented on temporary detour or haul road.
- B. There are significant topographic or natural resource constraints
- C. There is insufficient right of way to safely accommodate new facilities.

- D. There are relatively high safety risks.
- E. Cost of accommodations is excessively disproportionate to the cost of the project; more than 20 percent of total cost.
- F. Detrimental environmental or social impacts outweigh the needs for these accommodations.
- G. The project involves a roadway on which non-motorized use is prohibited by law. In this case, an effort shall be made to accommodate pedestrians and bicyclists elsewhere.
- H. There is documentation that there is an absence of use by all except motorized users now and would be in the future even if the street were a complete street.

### **Creates a Network through Connectivity**

A connected, integrated network that provides transportation options to many destinations is critical. The project development process shall include early consideration of the land use, the identification of gaps or deficiencies in the network for various user groups that could be addressed by the project, and an assessment of the tradeoffs to balance the needs of all users. The factors that shall be given high priority include the following:

- A. Whether the corridor provides a primary access to significant destinations such as parks, recreational areas, schools, shopping/commercial zones, activity centers, employment or community services centers;
- B. Whether the corridor provides access across a natural or man-made barrier such as a river or major roadway,
- C. Whether the corridor is in an area where a relatively high number of non-motorized transportation users can be anticipated;
- D. Whether a road corridor provides important continuity or connectivity links for an existing trail or path network; or
- E. Whether nearby routes provide a similar level of convenience and connectivity already exist.

### **Jurisdictional and Agency Coordination**

The City of Oskaloosa will work with other jurisdictions and transportation agencies to incorporate Complete Streets principles through existing planning efforts.

### **Design Criteria**

The City of Oskaloosa will generally follow the latest and best design standards, policies, guidelines based upon resources identifying best practices in urban design and street design, construction, operations and maintenance when implementing improvements intended to fulfill this Complete Streets policy.

### **Context Sensitivity**

Application of design standards will be flexible to permit context-sensitive design, fitting the roadway design within the context of the neighborhood, land use, traffic volume, speed and current and projected demand. Each project must be considered both separately and as part of a connected network, recognizing that all streets are different and user needs will be balanced.

## Performance Measures

The City shall measure the success of Complete Streets policy by using, but not limited to, the following measures:

- Motorized Transportation
  - Number of lane miles considered and reviewed for Complete Streets design concepts
  - 100 percent of street improvement projects are considered candidates for improvements in alignment with Complete Streets design concept
- Bicycle Transportation
  - Miles of bike lanes and bike routes
  - Number of locations offering bicycle racks and associated amenities
- Pedestrian Transportation
  - Number of marked pedestrian crossings
  - Lineal feet of sidewalks

## Implementation

The City will develop implementation strategies that may include:

- Evaluate and revise the Comprehensive Plan, Zoning and Subdivision Ordinances and Oskaloosa Standard Specifications and the Oskaloosa Municipal Code
- Identify all current and future sources of funding for street improvements
- Promote project coordination among city departments and agencies with an interest in the activities that occur within the public right-of-way in order to better use fiscal resources

**Section 2:** This Complete Streets Policy will apply to the scope development, design, and construction of all projects undertaken or affiliated with the city of Oskaloosa.

**Section 3:** The Public Works Department will review current design standards, including the design standards embodied in the most recent version of the subdivision regulations which apply to new roadway construction, to assure that they reflect the best available design standards and guidelines, and effectively implement this policy.

**Section 4:** This policy will also serve as guidance for all existing roadway rehabilitation, reconstruction, or resurfacing, to the extent that the work required is reasonably proportional to the scale of the proposed rehabilitation, reconstruction, or resurfacing.

**Section 5:** The City Council affirms its commitment to continue the consideration of Complete Streets design concepts in all future city projects.

## Enforcement

Not Applicable



## City Council Communication

Meeting Date: January 5, 2015

Requested By: Public Works Dept.

### **Item Title:**

Consider a resolution for preliminary approval of plans, specifications, form of contract, estimated cost, ordering publication of notice of hearing, notice to bidders, and setting a public hearing on February 17, 2015 for the E Avenue East & North 12<sup>th</sup> Street Reconstruction Project, and authorizing to receive and open bids and publicly announce the results on February 10, 2015.

### **Explanation:**

Staff has prepared plans and specifications for the E Avenue East & North 12<sup>th</sup> Street Reconstruction Project. This item allows staff to proceed with scheduling a public hearing on plans and specifications, and a bid letting date for the project. The scope of this project includes new concrete pavement with curb and gutter, ADA sidewalk and ramps, storm sewer improvements, and driveway replacement along E Avenue East, from North 11th Street to North 12th Street, and North 12th Street from E Avenue East to F Avenue East. The preliminary engineering cost estimate for this project is \$363,750.00.

If the project is awarded, construction is proposed to commence in April of this year. The anticipated work completion time is 50 working days. Bids will be received and opened on Tuesday, February 10, 2015, at 10:30 a.m. and presented to the City Council for a public hearing on Tuesday, February 17, 2015.

### **Recommended Action:**

Staff recommends approval of this item as presented and approval of the resolution scheduling a public hearing for February 17, 2015.

### **Budget Consideration:**

No financial impact is associated with scheduling the public hearing. Minimal charges will be incurred as a result of printing the notice.

### **Attachments :**

Resolution, Engineers Estimate, Notice to bidders, Schedule, and Preliminary Plans



RESOLUTION NO. \_\_\_\_\_

**RESOLUTION FOR PRELIMINARY APPROVAL OF PLANS,  
SPECIFICATIONS, AND ESTIMATED COST; SETTING DATE OF PUBLIC  
HEARING ON PLANS, SPECIFICATIONS, AND ESTIMATED COST; AND  
ORDERING THE ADVERTISEMENT FOR BIDS ON THE E AVENUE EAST &  
NORTH 12<sup>TH</sup> STREET RECONSTRUCTION PROJECT**

WHEREAS, the Council has authorized the preparation of the proposed plans, specifications, contract documents, and estimate of cost for the E Avenue East & North 12<sup>th</sup> Street Reconstruction Project, which are hereby preliminarily approved and ordered filed in the office of the City Clerk for public inspection, and

WHEREAS, said plans and specifications along with the Notice of Hearing and Notice to Bidders have been filed by the Engineer with the City Clerk of Oskaloosa, Iowa.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Oskaloosa, Iowa, as follows:

- Section 1. That this Council will meet on the 17<sup>th</sup> day of February, 2015, at 6:00 p.m., at which time it will hold a public hearing on the proposed plans and specifications for the aforementioned project. At the hearing, any interested person may appear and file objections to the proposed plans, specifications, form of contract, or estimated cost of the project.
- Section 2. The preliminary plans and specifications, notice of hearing, notice to bidders, and estimate of cost are hereby approved for the purpose of enabling the solicitation of bids.
- Section 3. That the amount of the bid security to accompany each bid shall be in an amount which shall conform to the provisions of the notice to bidders as part of said specifications.
- Section 4. That the Clerk shall publish Notice of Hearing and Notice to Bidders, the same being in the form herein above specified, which publication shall be made in the Oskaloosa Herald, a legal newspaper printed wholly in the English language, printed in Oskaloosa, Iowa, and of general circulation therein, which publication shall be in accordance with the State Code of Iowa.
- Section 5. That bids will be received by the City of Oskaloosa at the Office of the City Clerk at City Hall at 220 South Market Street until 10:30 a.m. on the 10<sup>th</sup> day of February, 2015, in connection with the aforementioned project.

Section 6. That this Council will meet at the City Council Chambers, Oskaloosa City Hall, Oskaloosa, Iowa, on the 17<sup>th</sup> day of February, 2015, at 6:00 p.m., and subsequent to the public hearing on said documents it will consider all bids filed pursuant to the plans, specifications, form of contract, and cost for the aforementioned project.

Section 7. That all resolutions or parts of resolutions thereof in conflict herewith be and same hereby repealed.

PASSED AND APPROVED this \_\_\_\_\_ day of January, 2015.

\_\_\_\_\_  
ATTEST:

David Krutzfeldt, Mayor

\_\_\_\_\_  
Amy Miller, City Clerk

**Engineers Opinion of Probable Cost**

**E Avenue East & North 12th Street Reconstruction Project - 2015**

**Bid Date:**

<b>Item No.</b>	<b>Bid Item Description No.</b>	<b>Bid Item Description</b>	<b>Unit</b>	<b>Estimated Quantity</b>	<b>Unit Price</b>	<b>Amount</b>
1	1090-105-D	Mobilization	LS	1	\$15,000.00	\$15,000.00
2	2010-108-E-0	Excavation - Class 10, 12, or 13	CY	1,900	\$10.00	\$19,000.00
3	2010-108-G-0	Subgrade Preparation, 12" Thick	SY	3,700	\$5.00	\$18,500.00
4	2010-108-H-0	Subgrade Treatment, Fly Ash	SY	1,000	\$10.00	\$10,000.00
5	2010-108-I-0	Modified Granular Subbase, 6" Thick	SY	3,900	\$10.00	\$39,000.00
6	2010-108-L-0	Compaction Testing	LS	1	\$5,000.00	\$5,000.00
7	3010-108-C-0	Trench Foundation	TON	50	\$35.00	\$1,750.00
8	3010-108-F-0	Trench Compaction Testing, Sanitary & Storm Sewer	LS	1	\$5,000.00	\$5,000.00
9	4010-108-A-1	Sanitary Sewer Gravity Main, Trenched, PVC, 8"	LF	75	\$50.00	\$3,750.00
10	4020-108-A-1	Storm Sewer, Trenched, RCP, 15"	LF	540	\$40.00	\$21,600.00
11	4040-108-A-0	Subdrain, Perforated PE, 4"	LF	1,700	\$10.00	\$17,000.00
12	4040-108-D-0	Subdrain Outlets and Connections, CMP, 4"	EA	10	\$200.00	\$2,000.00
13	6010-108-A-0	Sanitary Sewer Manhole, SW-301, 48" Diameter	EA	1	\$5,000.00	\$5,000.00
14	6010-108-B-0	SW-501 Single Grate Intake	EA	3	\$3,000.00	\$9,000.00
15	6010-108-B-0	SW-503 Single Grate Intake with Manhole	EA	1	\$4,000.00	\$4,000.00
16	6010-108-H-0	Remove Sanitary Sewer Manhole	EA	1	\$500.00	\$500.00
17	6020-108-A-0	Infiltration Barrier, Chimney Seal	EA	1	\$500.00	\$500.00
18	7010-108-A-0	PCC Pavement, 7" Thick	SY	3,265	\$30.00	\$97,950.00
19	7010-108-I-0	PCC Pavement Samples and Testing	LS	1	\$5,000.00	\$5,000.00
20	7020-108-A-0	Pavement, HMA, 7" Thick	TON	12	\$150.00	\$1,800.00
21	7030-108-A-0	Removal of Sidewalk	SY	170	\$5.00	\$850.00
22	7030-108-A-0	Removal of Driveway	SY	205	\$10.00	\$2,050.00
23	7030-108-E-0	PCC Sidewalk, 4" Thick	SY	780	\$30.00	\$23,400.00
24	7030-108-E-0	PCC Sidewalk, 6" Thick	SY	135	\$40.00	\$5,400.00
25	7030-108-H-1	PCC Paved Driveway, 6" Thick	SY	130	\$40.00	\$5,200.00
26	7040-108-H-0	Pavement Removal	SY	3,300	\$10.00	\$33,000.00
27	9010-108-A-0	Conventional Seeding, Fertilizing, and Mulching	LS	1	\$3,000.00	\$3,000.00
28	9040-108-A-1	SWPPP Preparation	LS	1	\$2,000.00	\$2,000.00
29	9040-108-A-2	SWPPP Management	LS	1	\$2,000.00	\$2,000.00
30	9040-108-A-3	SWPPP Qualifying Rainfall Event Inspection	EA	5	\$100.00	\$500.00
31	XXX-XXXX-X-X	Traffic Control	LS	1	\$5,000.00	\$5,000.00

**PROJECT TOTAL: \$363,750.00**

**NOTICE OF PUBLIC HEARING AND LETTING**  
**E AVENUE EAST & NORTH 12TH STREET RECONSTRUCTION PROJECT,**  
**CITY OF OSKALOOSA, IOWA**

Notice is hereby given that a public hearing will be held before the City Council of Oskaloosa, Iowa in the Council Chambers, City Hall, 220 South Market Street, Oskaloosa, Iowa, on February 17, 2015, commencing at 6:00 P.M., Local Time, on the proposed plans, specifications, form of contract and estimated cost for the **E AVENUE EAST & NORTH 12<sup>TH</sup> STREET RECONSTRUCTION PROJECT** described in the Plans and Specifications now on file in the Office of the City Clerk. At said hearing, the City Council will receive and consider any objections made by any interested party to said construction documents.

Sealed bids will be received at the Office of the City Clerk of the City of Oskaloosa, Iowa located in City Hall, 220 South Market Street, in said City, until **10:30 A.M., Local Time, Tuesday, February 10, 2015**, for the construction of the project, as described in the construction documents. Each proposal shall be sealed in an envelope marked "Proposal for the E Avenue East & North 12<sup>th</sup> Street Reconstruction Project, Oskaloosa, Iowa".

Sealed proposals will be opened and bids tabulated at a public meeting, presided over by the City Engineer or his designee, in the 2nd Floor Council Chambers, City Hall, at 10:30 A.M., Local Time, on Tuesday, February 10, 2014. Bids will be acted upon by the City Council at the hearing which is to be held at 6:00 P.M., February 17, 2015.

Copies of said contract documents are available at the office of the City Clerk of Oskaloosa for examination by the public. Construction documents for private use may be obtained from the Engineering Division, Public Works Department, 804 South D Street, Oskaloosa, Iowa, upon deposit of fifty dollars (\$50.00) for each set; which is refundable upon receipt of the plans and specifications if the construction documents are returned in good condition within fifteen (15) days from the date of letting. A postage and handling non-refundable fee of \$15.00 will be added for each set of plans and specifications to be mailed. Special arrangements must be made for overnight mail delivery.

The general nature of the work on which bids are requested includes, but is not limited to, mobilization; 1,900 CY of excavation; 3,700 SY of 12" thick subgrade preparation; 1,000 SY of fly ash subgrade treatment; 3,900 SY of 6" thick modified granular subbase; compaction testing; 50 TONS of trench foundation; sanitary & storm sewer trench compaction testing; 75 LF of 8" PVC trenched sanitary sewer gravity main; 540 LF of 15" RCP trenched storm sewer; 1,700 LF of 4" perforated subdrain; 10 4" CMP subdrain outlets and connections; 1 48" diameter SW-301 sanitary sewer manhole; 3 SW-501 single grate intakes; 1 SW-503 single grate intake with manhole; 1 sanitary sewer manhole removal; 1 chimney seal infiltration barrier; 3,265 SY of 7" PCC pavement; PCC pavement samples and testing; 12 TONS of 7" thick HMA pavement; 170 SY of sidewalk removal; 205 SY of driveway removal; 780 SY of 4" thick PCC sidewalk; 135 SY of 6" thick PCC sidewalk; 130 SY of 6" thick PCC paved driveway; 3,300 SY of pavement removal; conventional seeding, fertilizing, and mulching; SWPPP preparation; SWPPP management; 5 SWPPP qualifying rainfall event inspections; and traffic control; in accordance with the contract documents.

Each bidder shall accompany its bid with bid security as defined in Iowa Code Section 26.8, as security that the successful bidder will enter into a contract for the work bid upon and will furnish after the award of contract a corporate surety bond, in a form

acceptable to the Jurisdiction, for the faithful performance of the contract, in an amount equal to 100% of the amount of the contract. The bidder's security shall be in the amount fixed in the Instruction to Bidders and shall be in the form of a cashier's check or a certified check drawn on an FDIC insured bank in Iowa or on an FDIC insured bank chartered under the laws of the United States; or a certified share draft drawn on a credit union in Iowa or chartered under the laws of the United States; or a bid bond on the form provided in the contract documents with corporate surety satisfactory to the Jurisdiction. The bid shall contain no condition except as provided in the specifications.

By virtue of statutory authority; preference will be given to products and provisions grown and coal produced within the State of Iowa, and preference will be given to Iowa domestic labor in the construction of the improvements.

In accordance with Iowa statutes, a resident bidder shall be allowed a preference as against a nonresident bidder from a state or foreign country if that state or foreign country gives or requires any preference to bidders from that state or foreign country, including but not limited to any preference to bidders, the imposition of any type of labor force preference, or any other form of preferential treatment to bidders or laborers from that state or foreign country. The preference allowed shall be equal to the preference given or required by the state or foreign country in which the nonresident bidder is a resident. In the instance of a resident labor force preference, a nonresident bidder shall apply the same resident labor force preference to a public improvement in this state as would be required in the construction of a public improvement by the state or foreign country in which the nonresident bidder is a resident.

The contractor shall NOT include sales or use taxes in the bid. Pursuant to Iowa Code and Iowa Administrative Code, the contractor will be authorized to purchase building materials that will be incorporated into real property on this project tax-free. Iowa Construction Sales Tax Exemption Certificates will be issued by the City which will authorize suppliers of building materials to sell materials exempt from Iowa sales tax and any applicable local option sales tax and school infrastructure local option sales tax to the entity listed on the certificate. Upon award of the contract, the successful contractor will be required to provide project information on the contractor, and each subcontractor and supplier requiring the exemption certificates. Contractor will maintain records identifying the materials purchased sales tax exempt and will maintain records verifying the use of said materials on said improvement.

The contract will be awarded to the lowest responsive, responsible bidder. However, the City reserves the right to reject any or all proposals, re-advertise for new bids, to waive irregularities, and to accept any proposals which in the opinion of the City Council is deemed to be in the best interest of the City.

The City of Oskaloosa reserves the right to defer acceptance of any bid for a period of sixty (60) calendar days after receipt of bids and no bid may be withdrawn during this period.

Each successful bidder will be required to furnish a corporate surety bond in an amount equal to 100% of its contract price. Said bond shall be issued by a responsible surety approved by City of Oskaloosa and shall guarantee the faithful performance of the contract and the terms and conditions therein contained and shall guarantee the prompt payment of all material and labor, and protect and save harmless the City of Oskaloosa from claims and damages of any kind caused by the operations of the contract. The guaranteed maintenance period for new paving shall be four years.

The work on this project shall begin upon receipt of the Notice to Proceed and be fully completed in (no later than) 50 working days. It is anticipated that the Notice to Proceed will be issued on or around April 1, 2015.

Liquidated damages in the amount of Six Hundred Dollars (\$600.00) per working day will be assessed for each day that the work shall remain uncompleted after the end of the contract period with due allowance for extension of contract period due to conditions beyond the control of the Contractor.

Payment to the Contractor for said improvements will be made in monthly estimates and one final payment. Monthly estimates will be equivalent to ninety-five percent (95%) of the contract value of the work completed during the preceding calendar month. Such monthly payment will in no way be construed as an act of acceptance for any part of the work partially or totally.

Final payment to the Contractor will be made no earlier than thirty (30) days from and after final acceptance of the work by the Jurisdiction. Before final payment is made, the Contractor shall file with the Jurisdiction lien waivers from material suppliers and/or subcontractors showing that they were paid in full for materials supplied and/or work performed on the project.

Published upon order of the City Council of Oskaloosa, Iowa.

Amy Miller,  
City Clerk of the City of Oskaloosa, Iowa

Publish in the Oskaloosa Herald, Oskaloosa, Iowa on January 22, 2015.

# E Avenue & North 12th Street Construction Schedule

# 2015

- 1/5/2015 — Council approval for ordering publication & notice to bidders
- 1/6/2015 — Send notice to Oskaloosa Herald to publish on 1/22/2015 advertising sealed bids.
- 1/22/2015— Publish notice and advertise for sealed bids in Oskaloosa Herald.
- 2/10/2015—Bid Opening at 10:30 AM.
- 2/17/2015—Public Hearing and Council approval of the 'Notice of Award' to low bidder.
- 3/16/2015—Council approval of the Award to low bidder.
- 4/6/2015—Estimated Construction start date— Notice to Proceed contingent upon weather.

 Estimated Construction Timeframe— 50 Working Days

Note:

- 12/18/2014—Public Meeting with residents.

## JANUARY

S	M	T	W	Th	F	S
				1	2	3
4	5	6	7	8	9	10
11	12	13	14	15	16	17
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25	26	27	28	29	30	31

## FEBRUARY

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15	16	17	18	19	20	21
22	23	24	25	26	27	28

## MARCH

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15	16	17	18	19	20	21
22	23	24	25	26	27	28
29	30	31				

## APRIL

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12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30		

## MAY

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## SEPTEMBER

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## NOVEMBER

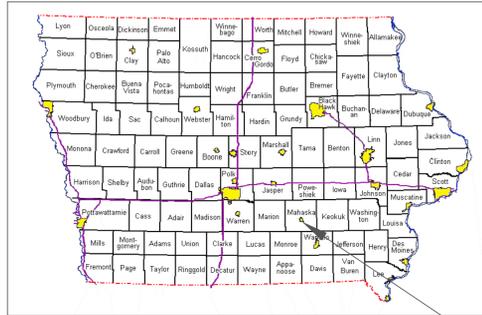
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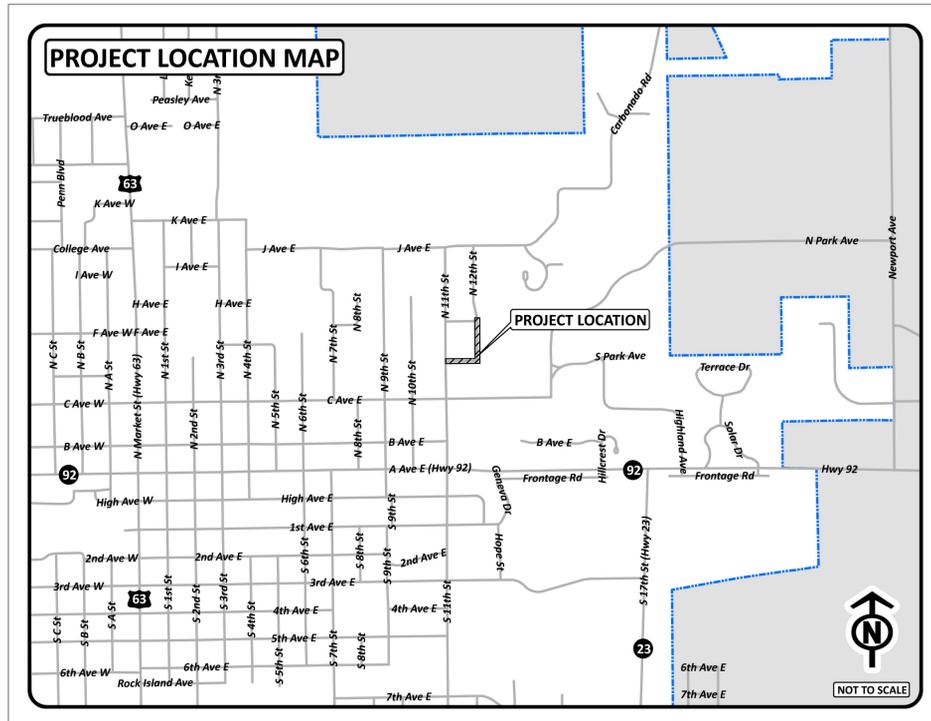
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**PRELIMINARY**

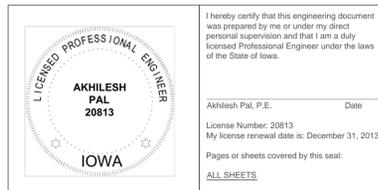
# E AVENUE EAST & NORTH 12TH STREET RECONSTRUCTION PROJECT OSKALOOSA, IOWA 2014



OSKALOOSA



SHEET INDEX	
SHEET NO.	DESCRIPTION
A.1	TITLE SHEET
A.2	GENERAL NOTES, QUANTITY TABULATION, & TRAFFIC CONTROL PLAN
A.3	TYPICAL SECTIONS & TABULATIONS
B.1	E AVENUE EAST PLAN (B.O.P. TO STA 4+00)
B.2	NORTH 12TH STREET PLAN (STA 4+00 TO E.O.P.)
C.1	PHASE 1 & 2 CONSTRUCTION AND TRAFFIC CONTROL PLANS
C.2	INTERSECTION & DRIVEWAY JOINTING PLANS
D.1	CROSS SECTIONS
8	TOTAL SHEETS



UTILITY CONTACT INFORMATION			
UTILITY	ORGANIZATION/REPRESENTATIVE	PHONE	
STORM & SANITARY SEWER	CITY OF OSKALOOSA, AKHILESH PAL & NATE WILLEY	641-673-7472	
WATER	OSKALOOSA WATER DEPT., CHAD COON	641-660-6555	
NATURAL GAS	MD-AMERICAN ENERGY, JEFF FERGUSON	641-660-3068	
ELECTRIC	MD-AMERICAN ENERGY, JASON SANDIFER	641-660-7217	
COMMUNICATIONS	MCG, ANDY PADGETT	641-295-7068	
TELEVISION	MEDIACOM, TIM EAGEN	319-350-3679	
PHONE	CENTURY LINK, DUSTIN WITHERS	515-263-7202	

SHEET TITLE:  
**TITLE SHEET**

PROJECT NAME:  
**E AVENUE EAST & NORTH 12TH  
STREET RECONSTRUCTION PROJECT**

DRAWN BY: NW  
APPROVED BY: AP  
DATE: 1-3-15  
PROJECT NO. 2010-24

SHEET NO.  
**A.1**

OSKALOOSA PUBLIC WORKS DEPARTMENT  
804 SOUTH D STREET, OSKALOOSA, IA 52577  
PHONE: (641) 673-7472 FAX: (641) 673-3733

REVISION/ISSUE	NO.	DATE

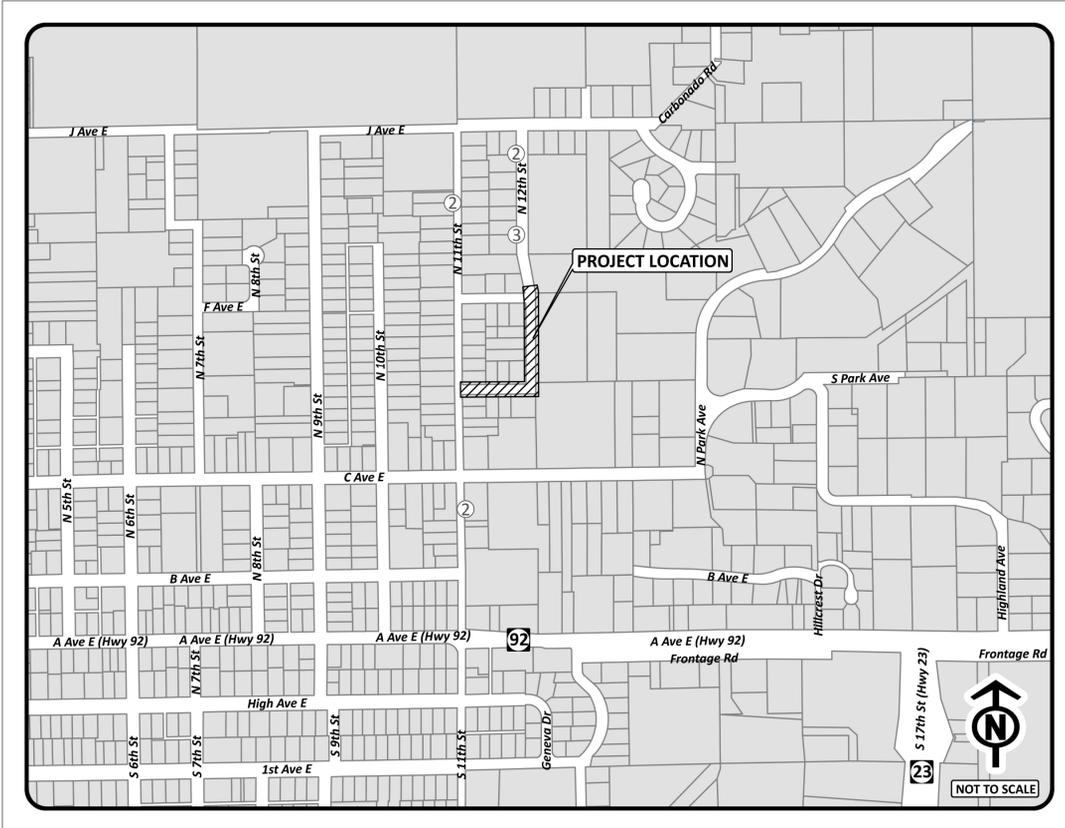
**TRAFFIC CONTROL PLAN NOTES:**

- TRAFFIC CONTROL SHALL CONSIST OF BARRICADES, SIGNS, AND LIGHTS AS NECESSARY TO PROTECT VEHICLES AND PEDESTRIANS.
- TRAFFIC CONTROL SHALL BE INSTALLED ACCORDING TO THIS PLAN AND THE CONSTRUCTION PHASES SHOWN ON PAGE C.1 IN ORDER TO MAINTAIN ACCESS TO THE HOSPITAL PARKING LOT AND HOSPICE CARE CENTER.
- TRAFFIC CONTROL AND SIGNING ON THIS PROJECT SHALL BE IN ACCORDANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- WHERE POSSIBLE, ALL SIGNS SHALL BE POST MOUNTED AND PLACED A MINIMUM OF TWO FEET CLEAR OF THE BACK OF THE CURB.
- PERMANENT SIGNS CONVEYING A MESSAGE CONTRARY OR CONTRADICTORY TO THE MESSAGE OF TEMPORARY SIGNS AND/OR NOT APPLICABLE TO WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY ENGINEER.
- ALL TRAFFIC CONTROL DEVICES, INCLUDING POSTS, SHALL BE FURNISHED, MAINTAINED, AND REMOVED BY THE CONTRACTOR.
- PROPOSED SIGN SPACING MAY BE MODIFIED WITH THE ENGINEER'S APPROVAL TO MEET EXISTING FIELD RESTRICTIONS OR TO PREVENT OBSTRUCTION OF MOTORISTS VIEW OF PERMANENT SIGNING.
- PROPOSED CHANGES IN THE TRAFFIC CONTROL PLAN SHALL BE REVIEWED WITH THE CITY ENGINEER BEFORE THE CHANGES ARE MADE.
- ALL CONTRACTOR-FURNISHED BARRICADES, VERTICAL PANELS, AND FIXED POST MOUNTED TRAFFIC CONTROL SIGNS SHALL MEET CURRENT MUTCD REFLECTIVITY STANDARDS.
- ARTICLE 2528.12 OF THE I.D.O.T. STANDARD SPECIFICATIONS REQUIRES MAINTENANCE OF ALL TRAFFIC CONTROL DEVICES, INCLUDING MAINTENANCE OF THE DEVICES DURING NON-WORKING HOURS IN ORDER TO ASSURE PROPER OPERATION. CONTRACTOR SHALL MAINTAIN, CLEAN AS NECESSARY, AND REPLACE DAMAGED TRAFFIC CONTROL DEVICES THROUGHOUT THE DURATION OF THE PROJECT.
- WHEN USED FOR TRAFFIC CONTROL OR PROTECTION OF THE WORK SITE, SAFETY FENCE MUST BE FIRMLY SUPPORTED IN A VERTICAL POSITION. RELATED COSTS ARE TO BE INCLUDED IN THE TRAFFIC CONTROL BID ITEM.
- ALL "STOP" AND OTHER REGULATORY SIGNS ARE NOT TO BE DISTURBED UNTIL NECESSARY. IF A "STOP" OR OTHER REGULATORY SIGN MUST BE REMOVED, IT CAN BE REMOVED AND REPLACED AS DIRECTED BY THE CITY ENGINEER.
- SIGNS AND SIGN POSTS IN LINE OF CONSTRUCTION SHALL BE REMOVED, SALVAGED, AND STORED BY THE CONTRACTOR. UPON COMPLETION OF PAVING AND GRADING OPERATIONS, REPLACE THE SIGNS AS DIRECTED BY THE ENGINEER. REMOVAL AND RESETTING OF SIGNS IS INCIDENTAL TO CONSTRUCTION.
- TYPE "A" FLASHING WARNING LIGHTS ARE REQUIRED AND SHALL BE VISIBLE TO BOTH DIRECTIONS OF TRAFFIC. THE BACKSIDE OF THE TYPE III BARRICADES SHALL BE FULLY REFLECTIVE UNLESS THERE IS NO ACCESS PERMITTED BEYOND THE BARRICADE. STRIPES SHALL BE PROPERLY SLOPED DOWN TOWARDS THE TRAFFIC SIDE.
- A MINIMUM OF TWO TYPE III BARRICADES ARE NECESSARY TO CLOSE AN ENTIRE STREET.
- PRIVATE DRIVEWAYS CAN BE CLOSED WITH TYPE II BARRICADES.
- THE BID ITEM "TRAFFIC CONTROL" SHALL INCLUDE THE COST FOR ALL TRAFFIC CONTROL MEASURES REQUIRED OF THE CONTRACTOR. TRAFFIC CONTROL WILL BE PAID FOR AT THE CONTRACT LUMP SUM PRICE. NO SEPARATE PAYMENT WILL BE MADE FOR FLAGGERS AND PILOT CARS IF REQUIRED BY THE CONTRACT DOCUMENTS.
- THE CITY ENGINEER RESERVES THE RIGHT TO CHANGE THE TRAFFIC CONTROL PLAN WHEN REQUIRED.



**TRAFFIC CONTROL REQUIRED FOR ALL PROJECT PHASES**

(SEE PHASE 1 & 2 CONSTRUCTION AND TRAFFIC CONTROL PLANS ON PAGE C.1 FOR ADDITIONAL TRAFFIC CONTROL REQUIREMENTS)



**GENERAL NOTES:**

- THIS PROJECT INCLUDES ALL WORK AND MATERIALS ASSOCIATED WITH CONCRETE STREET CONSTRUCTION, NEW ADA ACCESSIBLE SIDEWALK AND RAMPS, DRIVEWAY APPROACH REPLACEMENT, STORM SEWER IMPROVEMENTS, TRAFFIC CONTROL, AND OTHER MISCELLANEOUS ASSOCIATED WORK INCLUDING CLEAN UP.
- ALL CONSTRUCTION WORK SHALL BE IN ACCORDANCE WITH THE CITY OF OSKALOOSA DEPARTMENT OF PUBLIC WORKS STANDARD DRAWINGS AND THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) STANDARD SPECIFICATIONS 2014 EDITION PLUS CURRENT SUPPLEMENTAL SPECIFICATIONS AND DETAILED SPECIFICATION REQUIREMENTS. SUDAS SPECIFICATION MANUALS CAN BE ORDERED FROM THE INSTITUTE FOR TRANSPORTATION (FORMERLY CTRE) - ATTN: BETH RICHARDS, 2711 SOUTH LOOP DRIVE, SUITE 4700, AMES, IA 50010-8664, PHONE: 515-294-2869. SPECIFICATIONS CAN ALSO BE VIEWED AT THE SUDAS WEBSITE ([WWW.IOWASUDAS.ORG](http://WWW.IOWASUDAS.ORG)). CONTRACTOR SHALL HAVE A MINIMUM OF ONE SET OF PLANS AND SPECIFICATIONS ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION ACTIVITIES.
- NOTIFY AKHILESH PAL, DIRECTOR OF PUBLIC WORKS, CITY OF OSKALOOSA, AT 641-673-7472 TWO WEEKS PRIOR TO COMMENCING WORK. THROUGHOUT THE PROJECT, MAKE EVERY EFFORT TO COORDINATE WORK AND COOPERATE WITH ALL CITY PERSONNEL AND ENGINEERS.
- CONTRACTOR SHALL NOTIFY PROPERTY OWNERS 48 HOURS IN ADVANCE IF ACCESS TO PROPERTIES WILL BE INTERRUPTED. ACCESS TO PRIVATE PROPERTY SHALL BE MAINTAINED AT ALL TIMES FOR EMERGENCY VEHICLES. PROVIDE PEDESTRIAN ACCESS TO RESIDENCES AND BUSINESSES DURING CONSTRUCTION.
- THIS PROJECT WILL BE CONSTRUCTED IN TWO PHASES. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AS SHOWN ON THE TRAFFIC CONTROL PLAN AND THE PHASE 1 AND 2 STAGING AND TRAFFIC CONTROL PLANS. THE CITY ENGINEER RESERVES THE RIGHT TO MODIFY THE TRAFFIC CONTROL PLAN AS NEEDED. BARRICADES, LIGHTS, AND SIGNS SHALL BE FURNISHED BY THE CONTRACTOR AND INSTALLED PER THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- TRAFFIC CONTROL WILL BE PAID FOR AT THE CONTRACT LUMP SUM PRICE AND SHALL BE FULL COMPENSATION FOR PROVIDING, MAINTAINING, AND REMOVAL OF ALL TRAFFIC CONTROL DEVICES. NO SEPARATE PAYMENT WILL BE MADE FOR FLAGGERS AND PILOT CARS IF REQUIRED BY THE CONTRACT DOCUMENTS; INCLUDE IN LUMP SUM PRICE FOR TRAFFIC CONTROL.
- EXCESS EXCAVATED SOIL FREE OF RUBBLE AND ORGANICS AND ALL SALVAGE MATERIAL SHALL BE DELIVERED TO THE CITY STORAGE YARD AT THE INTERSECTION OF 3RD AVENUE WEST AND SUFFOLK ROAD.
- PAVEMENT SMOOTHNESS WILL BE MEASURED BY A PROFILOGRAPH AND WILL FOLLOW SCHEDULE B AND RELATED REQUIREMENTS OF IOWA DOT 2316 AND I.M. 341. NO INCENTIVES FOR PAVEMENT SMOOTHNESS WILL BE ALLOWED. THE COST OF CORRECTING SMOOTHNESS AND THE ASSOCIATED TRAFFIC CONTROL SHALL BE INCIDENTAL TO THE COST OF THE PAVEMENT. CONTRACTOR IS RESPONSIBLE FOR PERFORMING THE PAVEMENT SMOOTHNESS TEST AND ANY REQUIRED CORRECTIVE MEASURES.
- COMPACTION TESTING IS TO BE PERFORMED ACCORDING TO SPECIFICATION SECTION 3010 3.06. CONTRACTOR IS RESPONSIBLE FOR PAVEMENT SUBGRADE COMPACTION TESTING IN ACCORDANCE TO THE SPECIFICATIONS.
- CONTRACTOR SHALL PROVIDE QUALITY CONTROL IN ACCORDANCE WITH SECTION 7020 3.06B.
- THE LOCATIONS OF EXISTING UTILITIES IS APPROXIMATE. UTILITIES MAY EXIST THAT ARE NOT SHOWN ON THE PLANS. VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION BY EXCAVATING AHEAD OF WORK. CONTRACTOR IS RESPONSIBLE TO NOTIFY ALL UTILITY COMPANIES LOCATED IN THE WORK ZONE AT LEAST 48 HOURS PRIOR TO EXCAVATION.
- ALL UTILITY FIXTURES SHALL BE ADJUSTED TO CONFORM TO THE FINISHED SURFACE OF THE STREET, DRIVEWAY, SIDEWALK, OR FINISHED GRADE. THIS WORK IS INCIDENTAL TO CONSTRUCTION.
- PROTECT ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION UNLESS OTHERWISE SHOWN ON PLANS. ANY UTILITIES DAMAGED DUE TO CONTRACTOR'S NEGLIGENCE WILL BE REPAIRED AT THEIR EXPENSE.
- CONTRACTOR SHALL PRESERVE ALL MONUMENTS, STAKES, PROPERTY PINS, REFERENCE POINTS, AND BENCHMARKS. IN CASE OF DESTRUCTION BY CONTRACTOR'S NEGLIGENCE OR CARELESSNESS, THEY WILL BE CHARGED WITH THE RESULTING EXPENSE OF REPLACEMENT AND BE HELD RESPONSIBLE FOR ANY MISTAKES OR LOSS OF TIME CAUSED THEREBY.
- CONTRACTOR SHALL PREVENT THE ENTRY OF MUD, DIRT, DEBRIS, AND OTHER MATERIAL INTO EXISTING SEWERS. SHOULD MUD, DIRT, DEBRIS, OR OTHER MATERIAL ENTER THE SEWERS, THE CONTRACTOR SHALL CLEAN STRUCTURES AND PIPES AT NO COST TO THE OWNER.
- CONCRETE MIX SHALL BE IDOT C-3WR-C OR C-4WR-C FOR ALL PAVEMENT, DRIVEWAYS, AND SIDEWALKS. COARSE AGGREGATE SHALL BE CLASS 3 DURABILITY. USE OF FLY ASH AND GROUND GRANULATED BLAST FURNACE SLAG (GGBFS) SHALL BE IN ACCORDANCE WITH SECTION 7010 2.02C OF THE SUDAS SPECIFICATIONS.
- METHOD OF ACCEPTANCE FOR AGGREGATES, PORTLAND CEMENT, FLY ASH, CURING COMPOUND, AND JOINT SEALER SHALL BE BY QUALITY CERTIFICATION FURNISHED BY THE CONTRACTOR. CERTIFIED PLANT INSPECTION IS NOT REQUIRED.
- CONTRACTOR SHALL BE THE RESPONSIBLE PARTY FOR ALL TESTING AND RE-TESTING OF P.C. CONCRETE INCLUDING AIR CONTENT, SLUMP, AND CYLINDERS ACCORDING TO THE SPECIFICATIONS.
- THE JURISDICTION RESERVES THE RIGHT TO MAKE ALTERATIONS IN THE PLANS OR IN THE QUANTITIES OF THE WORK AS MAY BE CONSIDERED NECESSARY. SUCH ALTERATIONS SHALL BE IN COMPLIANCE WITH SUDAS SECTION 1040 1.06 AND SHALL NOT BE CONSIDERED AS A WAIVER OF ANY CONDITIONS OF THE CONTRACT DOCUMENTS OR TO INVALIDATE ANY OF THE PROVISIONS THEREOF.
- THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND TREES OUTSIDE THE CONSTRUCTION LIMITS. EQUIPMENT AND MATERIAL SHALL BE STORED ONLY WITHIN THE STAGING AREAS DESIGNATED ON PAGE F.1. ADDITIONAL STORAGE LOCATIONS OR LOCATIONS FOR STORAGE OF CONTRACTOR MATERIALS OR EQUIPMENT DURING NON-WORKING HOURS MUST HAVE PRIOR APPROVAL BY THE CITY ENGINEER.
- CONTRACTOR IS RESPONSIBLE TO DISPOSE OF EXCESS MATERIAL WHICH IS NOT SUITABLE FOR BACKFILL OR SURFACE RESTORATION. DISPOSAL IS INCIDENTAL TO CONSTRUCTION. NO MATERIAL SHALL BE PLACED WITHIN THE RIGHT-OF-WAY, UNLESS SPECIFICALLY STATED IN THE PLANS OR APPROVED BY THE CITY ENGINEER.
- ALL SIDEWALK, CURB RAMPS, AND DETECTABLE WARNINGS SHALL BE CONSTRUCTED ACCORDING TO SUDAS SECTION 7030 ADA REQUIREMENTS. DETECTABLE WARNING PANELS WILL BE PROVIDED BY THE CITY OF OSKALOOSA AND MAY BE PICKED UP AT THE PUBLIC WORKS DEPARTMENT AT 804 SOUTH D STREET. WHEN NECESSARY, THE CONTRACTOR SHALL CUT THE PANELS TO FIT. PLACEMENT OF THE DETECTABLE WARNING PANELS IS INCIDENTAL TO SIDEWALK CONSTRUCTION.
- A MINIMUM OF 6" OF TOP SOIL SHALL BE FURNISHED AND PLACED BY THE CONTRACTOR OVER ALL DISTURBED NON-PAVED AREAS. THOSE AREAS SHALL BE FERTILIZED, SEEDED, AND MULCHED IN ACCORDANCE WITH THE SPECIFICATIONS.
- REMOVE ABANDONED PIPE OR UTILITIES THAT ARE IN DIRECT CONFLICT WITH NEW CONSTRUCTION. REMOVAL AND DISPOSAL IS INCIDENTAL TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN POSTAL SERVICE IN ACCORDANCE WITH SPECIFICATION SECTION 1070 2.14. THIS WORK IS INCIDENTAL TO CONSTRUCTION.
- ALL PCC PAVEMENT SAW JOINTS SHALL BE SEALED. DO NOT SEAL DRIVEWAY OR SIDEWALK SAW JOINTS.
- THE CITY WILL PROVIDE CONSTRUCTION STAKING ONE TIME ONLY FOR STORM SEWER STRUCTURES AND PIPE AND MAINLINE STREET PAVING. ADDITIONAL STAKING AND REPLACEMENT OF STAKES DAMAGED AS RESULT OF CONTRACTOR'S NEGLIGENCE SHALL BE AT THE CONTRACTOR'S EXPENSE.
- SANITARY SEWER GRAVITY MAIN PIPE MATERIAL SHALL BE SOLID WALL PVC (SDR 35) AS SPECIFIED IN SECTION 4010 2.01A. INSTALL, BED, AND BACKFILL IN ACCORDANCE WITH THE SPECIFICATIONS. USE CLASS F-3 BEDDING FOR SOLID WALL PVC (SDR 35) PIPE.
- SANITARY SEWER MANHOLE LIDS ARE TO BE ANCHORED AND BOLTED TO CONE SECTION OF MANHOLE WITH 2.5" STAINLESS STEEL SETS OF BOLTS, WASHERS, AND NUTS. USE SW-601 TYPE D STANDARD DUTY CASTING WITH INTERNAL CHIMNEY SEAL.
- DURING PERIODS WHEN PORTIONS OF E AVENUE EAST AND NORTH 12TH STREET ARE CLOSED TO TRAFFIC, THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING GARBAGE COLLECTION SERVICE BY PROVIDING DUMPSTERS FOR LOCAL RESIDENT USE AND ARRANGING FOR THEM TO BE EMPTIED ON A REGULAR BASIS. THIS WORK IS INCIDENTAL TO CONSTRUCTION.

**ESTIMATED PROJECT QUANTITIES**

E AVENUE EAST (NORTH 11TH STREET TO NORTH 12TH STREET) AND NORTH 12TH STREET (E AVENUE EAST TO F AVENUE EAST)					
NO.	BID ITEM NO.	BID ITEM DESCRIPTION	UNIT	ESTIMATED QUANTITY	REMARKS
1	1090-105-D	Mobilization	LS	1	
2	2010-108-E-0	Excavation - Class 10, 12, or 13	CY	1,900	Contractor is required to dispose of excess excavation. Payment for excavation will be based on plan quantity unless a change in horizontal or vertical alignment is approved. Item also includes stripping, salvaging, and respreading of topsoil on site. Top 6" of topsoil shall be prepared for seeding per specifications. No separate payment will be made for handling of topsoil.
3	2010-108-G-0	Subgrade Preparation, 12" Thick	SY	3,700	See typical sections on page A.3. Provide compaction with moisture density control in accordance with Section 2010 3.04D. Contractor shall adjust the moisture content of the soil if required to meet the specification and compaction requirements by scarifying, disk, or adding water as directed.
4	2010-108-H-0	Subgrade Treatment, Fly Ash	SY	1,000	Use only where authorized by Engineer. See typical sections on page A.3. The limitation for increase or decrease in work outlined in Specification Section 1040 1.06 does not apply to this bid item. Owner may authorize use of all, part, or none of the estimated quantity at the bid unit price.
5	2010-108-I-0	Modified Granular Subbase, 6" Thick	SY	3,900	Material shall meet IDOT Section 4123 Gradation No. 14, modified subbase. Place compacted subbase under all asphalt and concrete pavement, curb and gutter, and concrete driveways.
6	2010-108-L-0	Compaction Testing	LS	1	Use only where authorized by Engineer. The limitation for increase or decrease in work outlined in Specification Section 1040 1.06 does not apply to this bid item. Owner may authorize use of all, part, or none of the estimated quantity at the bid unit price.
7	3010-108-C-0	Trench Foundation	TON	50	Item is for testing trench backfill for sanitary and storm sewer construction.
8	3010-108-F-0	Trench Compaction Testing, Sanitary & Storm Sewer	LS	1	Item is for testing trench backfill for sanitary and storm sewer construction.
9	4010-108-A-1	Sanitary Sewer Gravity Main, Trenched, PVC, 8"	LF	75	Replace existing sanitary sewer where shown on plans. Includes removal and disposal of existing pipe and connections to existing pipe or structures.
10	4020-108-A-1	Storm Sewer, Trenched, RCP, 15"	LF	540	Pipe shall be a minimum 2000D with gasketed joints per specifications. Includes the cost of all pipe connections.
11	4040-108-A-0	Subdrain, Perforated PE, 4"	LF	1,700	See typical sections on page A.3 for additional information.
12	4040-108-D-0	Subdrain Outlets and Connections, CMP, 4"	EA	10	Install subdrain outlets with rodent guards at storm sewer structure locations shown on plans.
13	6010-108-A-0	Sanitary Sewer Manhole, SW-301, 48" Diameter	EA	1	
14	6010-108-B-0	SW-501 Single Grate Intake	EA	3	
15	6010-108-B-0	SW-503 Single Grate Intake with Manhole	EA	1	
16	6010-108-H-0	Remove Sanitary Sewer Manhole	EA	1	
17	6020-108-A-0	Infiltration Barrier, Chimney Seal	EA	1	Install internal chimney seal on all new sanitary sewer manholes. Includes all reinforcement, saw cuts, and crack sealing. See page C.1 for concrete street construction staging. See page C.2 for intersection and driveway jointing plans.
18	7010-108-A-0	PCC Pavement, 7" Thick	SY	3,265	Contractor is responsible for all testing. Contractor shall provide a copy of all testing results to the City Engineer during project progress. This item also includes sampling and testing for PCC sidewalks and driveways as specified for PCC pavement.
19	7010-108-I-0	PCC Pavement Samples and Testing	LS	1	
20	7020-108-A-0	Pavement, HMA, 7" Thick	TON	12	Place 7" of hot mix asphalt in two separate lifts. See typical sections on page A.3.
21	7030-108-A-0	Removal of Sidewalk	SY	170	
22	7030-108-A-0	Removal of Driveway	SY	205	See driveway tabulation on page A.3.
23	7030-108-E-0	PCC Sidewalk, 4" Thick	SY	780	
24	7030-108-E-0	PCC Sidewalk, 6" Thick	SY	135	All ramps, landings, and driveway sections shall be 6" thick as shown on plans. Follow all ADA standards in accordance with SUDAS specifications. Detectable warning panels will be provided by the City. When necessary, contractor shall cut panels to fit. Includes placement of panels and crack sealing at all expansion joints.
25	7030-108-H-1	PCC Paved Driveway, 6" Thick	SY	130	See driveway tabulation on page A.3. Includes crack sealing at all expansion joints.
26	7040-108-H-0	Pavement Removal	SY	3,300	Item includes removal of all existing concrete pavement, brick pavement, chip seal pavement, and concrete curb and gutter.
27	9010-108-A-0	Conventional Seeding, Fertilizing, and Mulching	LS	1	Fertilize, seed, and mulch all areas disturbed by construction. Use Type 1 (Permanent Lawn Mixture) seed mix.
28	9040-108-A-1	SWPPP Preparation	LS	1	
29	9040-108-A-2	SWPPP Management	LS	1	No separate payment will be made for installation, maintenance, or removal of structural controls required for the SWPPP. Installation of silt fence, filter socks, etc. to prevent sediment and pollutants from entering the storm sewer system and/or leaving the construction site is incidental to construction.
30	9040-108-A-3	SWPPP Qualifying Rainfall Event Inspection	EA	5	
31	XXX-XXXX-X-X	Traffic Control	LS	1	Follow MUTCD Section 6. Refer to the traffic control plans and notes on pages A.2 and C.1.

**PLAN SHEET LEGEND:**



**SHEET TITLE:**  
GENERAL NOTES, QUANTITY  
TABULATION, & TRAFFIC  
CONTROL PLAN

**PROJECT NAME:**  
E AVENUE EAST & NORTH 12TH  
STREET RECONSTRUCTION PROJECT

**DRAWN BY:** NW  
**APPROVED BY:** AP  
**DATE:** 1-3-15  
**PROJECT NO.:** 2010-24

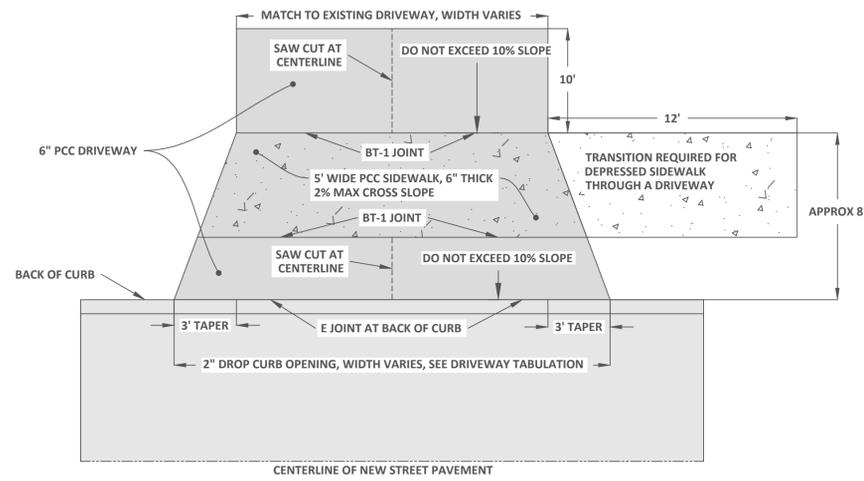
**SHEET NO.**

**A.2**

OSKALOOSA PUBLIC WORKS DEPARTMENT  
804 SOUTH D STREET, OSKALOOSA, IA 52577  
PHONE: (641) 673-7472 FAX: (641) 673-3733

**REVISION/ISSUE** NO. DATE

**TYPICAL DRIVEWAY SECTION**

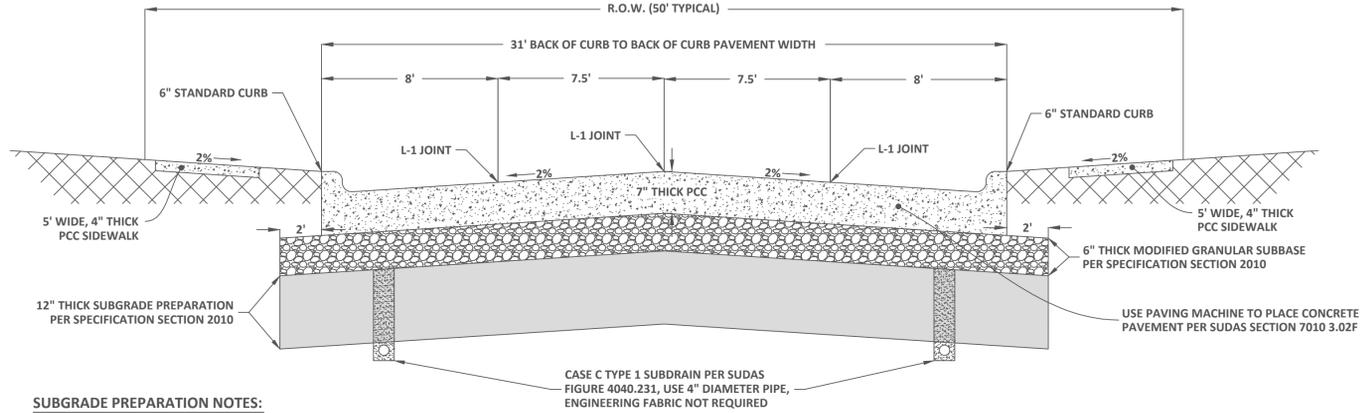


**SIDEWALK AND DRIVEWAY CONSTRUCTION NOTE:**  
SIDEWALKS SHALL BE FORMED SEPARATELY FROM, AND COMPLETED PRIOR TO, DRIVEWAY CONSTRUCTION. SIDEWALK CROSS SLOPE MUST NOT EXCEED 2%. EDGE OF SIDEWALK TO BACK OF DROP CURB SLOPE MUST NOT EXCEED 10%. USE BT-1 JOINT ALONG BOTH SIDES OF THE SIDEWALK TO TIE INTO THE NEW DRIVEWAY.

NEW TYPICAL PCC DRIVEWAY TABULATION			
APPROXIMATE STATIONS	SIDE OF STREET	DRIVEWAY WIDTH (LF)	2" DROP CURB OPENING (LF)
1+07.5 TO 1+24.5	NORTH	11	17
1+45 TO 1+63	NORTH	12	18
2+03.5 TO 2+22.5	NORTH	13	19
4+00.5 TO 4+34.5	WEST	28	34
5+11 TO 5+29	WEST	12	18
6+04 TO 6+23	WEST	13	19
6+65 TO 6+83	WEST	12	18
7+66 TO 7+89	WEST	17	23

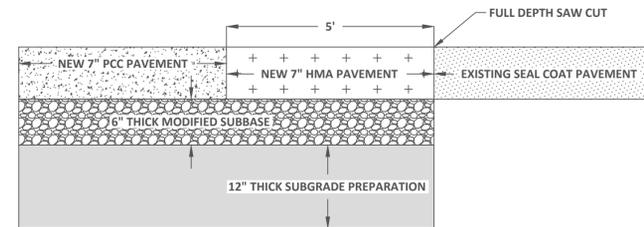
NEW TYPE B PCC DRIVEWAY TABULATION			
APPROXIMATE STATIONS	SIDE OF STREET	RADII (FT)	BOXOUT OPENING (LF)
4+45 TO 4+90	EAST	15	45
6+27 TO 6+89	EAST	25	62
7+04 TO 7+41	EAST	15	37

**TYPICAL PAVEMENT SECTION - E AVENUE EAST & NORTH 12TH STREET (B.O.P TO E.O.P.)**



- SUBGRADE PREPARATION NOTES:**
- THE EXISTING FAT CLAY (CH) B-HORIZON LOESS SOILS FOUND AS A RESULT OF THE GEOTECHNICAL REPORT SHALL NOT BE USED IN THE PREPARED SUBGRADE. FAT CLAY SOILS SHALL BE WASTED AND REPLACED WITH EXCESS LEAN TO FAT CLAY (CH-CL) SOILS (SEE NOTE 3). PREPARED SUBGRADE MOISTURE CONTENT SHALL BE MANIPULATED BY SCARIFYING, DISKING, OR ADDING WATER UNTIL SPECIFICATION AND COMPACTION REQUIREMENTS ARE MET. WHEN APPROVED BY THE OWNER, FLY ASH MAY BE USED TO IMPROVE THE SOIL SUBGRADE.
  - THE COMPACTED SUBGRADE MAY NECESSITATE UNDERCUTTING AND REWORKING SOILS IN CUT AREAS. SUBGRADE PREPARATION SHOULD BE COMPLETED SHORTLY BEFORE PAVING OPERATIONS COMMENCE AND IS TO BE MAINTAINED IN SUITABLE CONDITION UNTIL PAVED. DAMAGES CAUSED BY CONSTRUCTION TRAFFIC OR DETERIORATION DUE TO ADVERSE WEATHER ARE TO BE REPAIRED PRIOR TO PAVING. THE SUBGRADE SURFACE SHOULD BE SLOPED TO PROMOTE WATER FLOW TO THE SUBDRAINS.
  - LOW PLASTICITY (LIQUID LIMIT OF 45 OR LESS AND PLASTICITY INDEX OF 23 OR LESS) COHESIVE OR COHESIONLESS SOILS, FREE OF RUBBLE AND ORGANICS, MAY BE USED AS COMPACTED FILL.

**TYPICAL SECTION - PAVEMENT TRANSITION TO EXISTING SEAL COAT PAVEMENT**



STORM SEWER STRUCTURE TABLE					
STRUCTURE NO.	NORTHING	EASTING	RIM ELEVATION	RIM TO SUMP HEIGHT (FT)	INTAKE TYPE
ST-1	474714.79	1879304.59	825.69	4.00	SW-501
ST-2	474765.55	1879303.52	825.12	4.00	SW-501
ST-3	474995.83	1879302.80	816.98	4.00	SW-503
ST-4	474995.64	1879333.80	816.98	4.00	SW-501

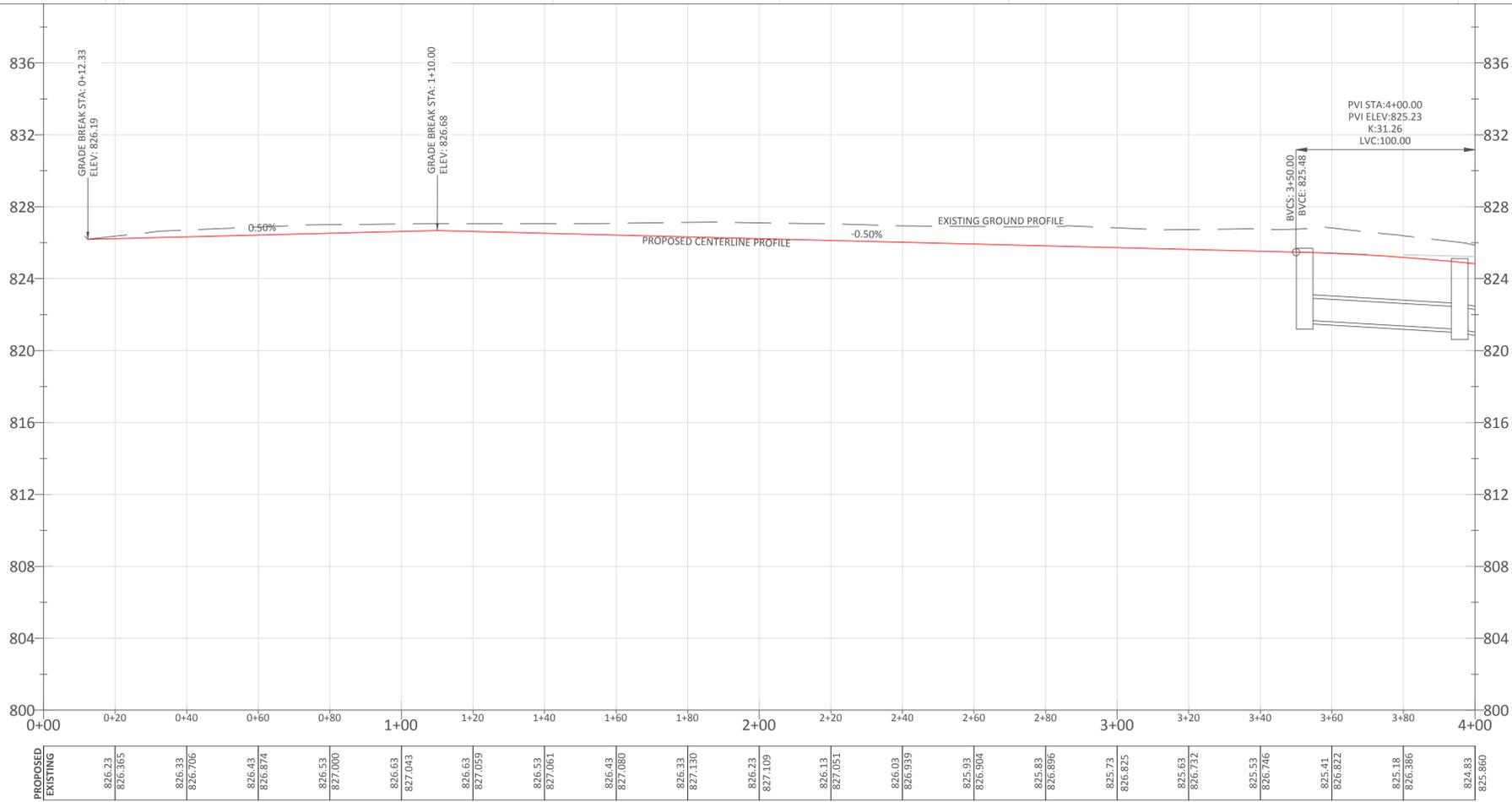
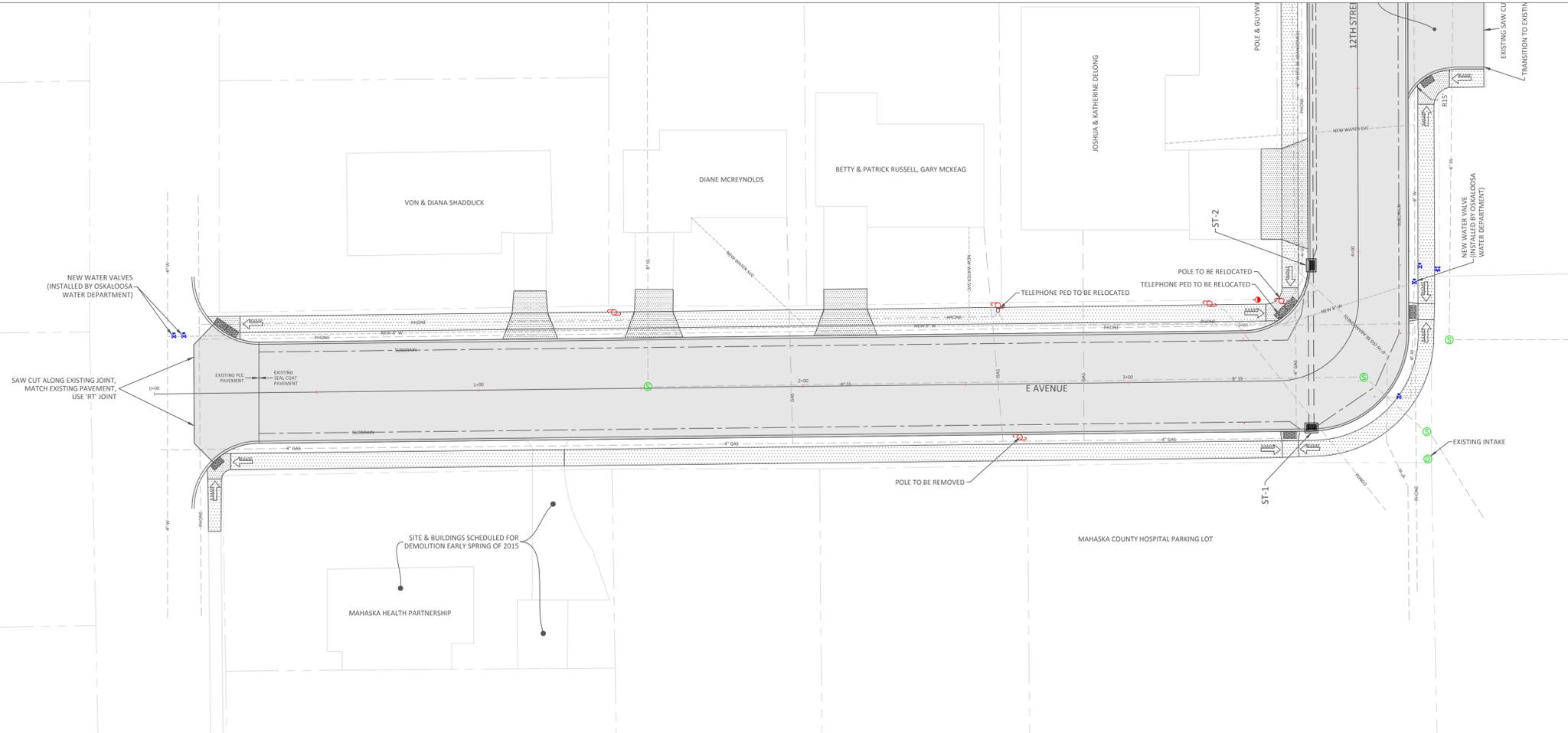
STORM SEWER PIPE TABLE								
PIPE NO.	DIAMETER	MATERIAL	FROM	TO	LENGTH (LF)	SLOPE	FL IN	FL OUT
P-1	15"	RCP	ST-1	ST-2	50	1.00%	821.69	821.18
P-2	15"	RCP	ST-2	ST-3	230	3.50%	821.18	813.12
P-3	15"	RCP	ST-4	ST-3	30	1.00%	813.42	813.12
P-4	15"	RCP	ST-3	4° BEND	170	5.50%	813.12	803.79
P-5	15"	RCP	4° BEND	EXISTING	60	6.50%	803.79	799.89

SHEET TITLE:  
**TYPICAL SECTIONS AND TABULATIONS**

PROJECT NAME:  
**E AVENUE EAST & NORTH 12TH STREET RECONSTRUCTION PROJECT**

DRAWN BY: NW  
APPROVED BY: AP  
DATE: 1-3-15  
PROJECT NO. 2010-24

SHEET NO.  
**A.3**



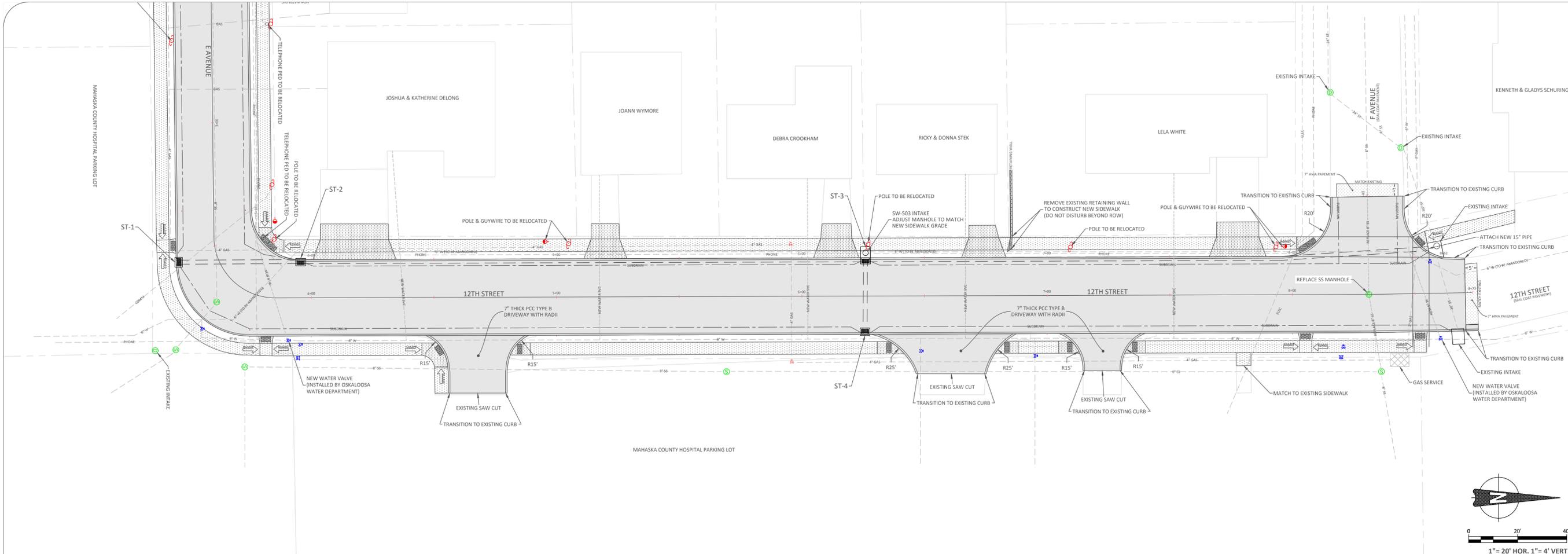
SHEET TITLE:  
**E AVENUE EAST PLAN  
B.O.P. TO STA 4+00**

PROJECT NAME:  
**E AVENUE EAST & NORTH 12TH  
STREET RECONSTRUCTION PROJECT**

DRAWN BY: NW  
APPROVED BY: AP  
DATE: 1-3-15  
PROJECT NO. 2010-24

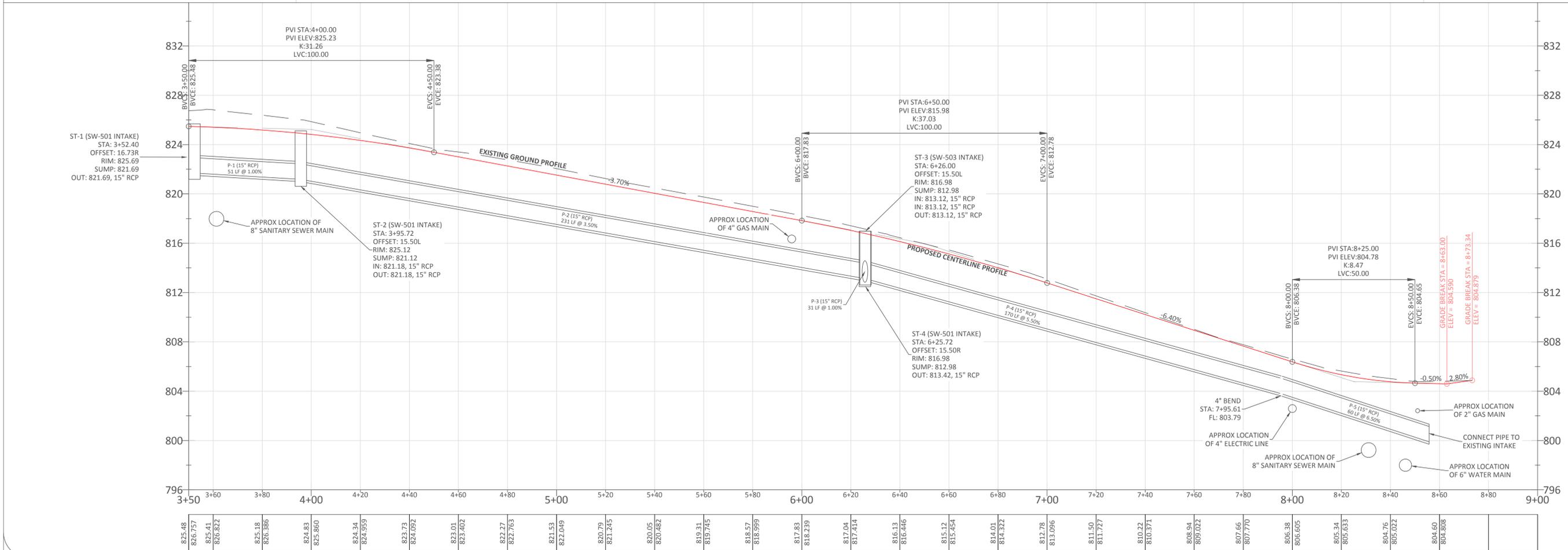
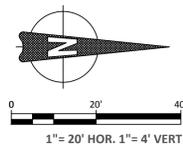
SHEET NO.  
**B.1**

REVISION/ISSUE	NO.	DATE



**SHEET TITLE:**  
 NORTH 12TH STREET PLAN  
 STA 4+00 TO E.O.P.

REVISION/ISSUE	NO.	DATE



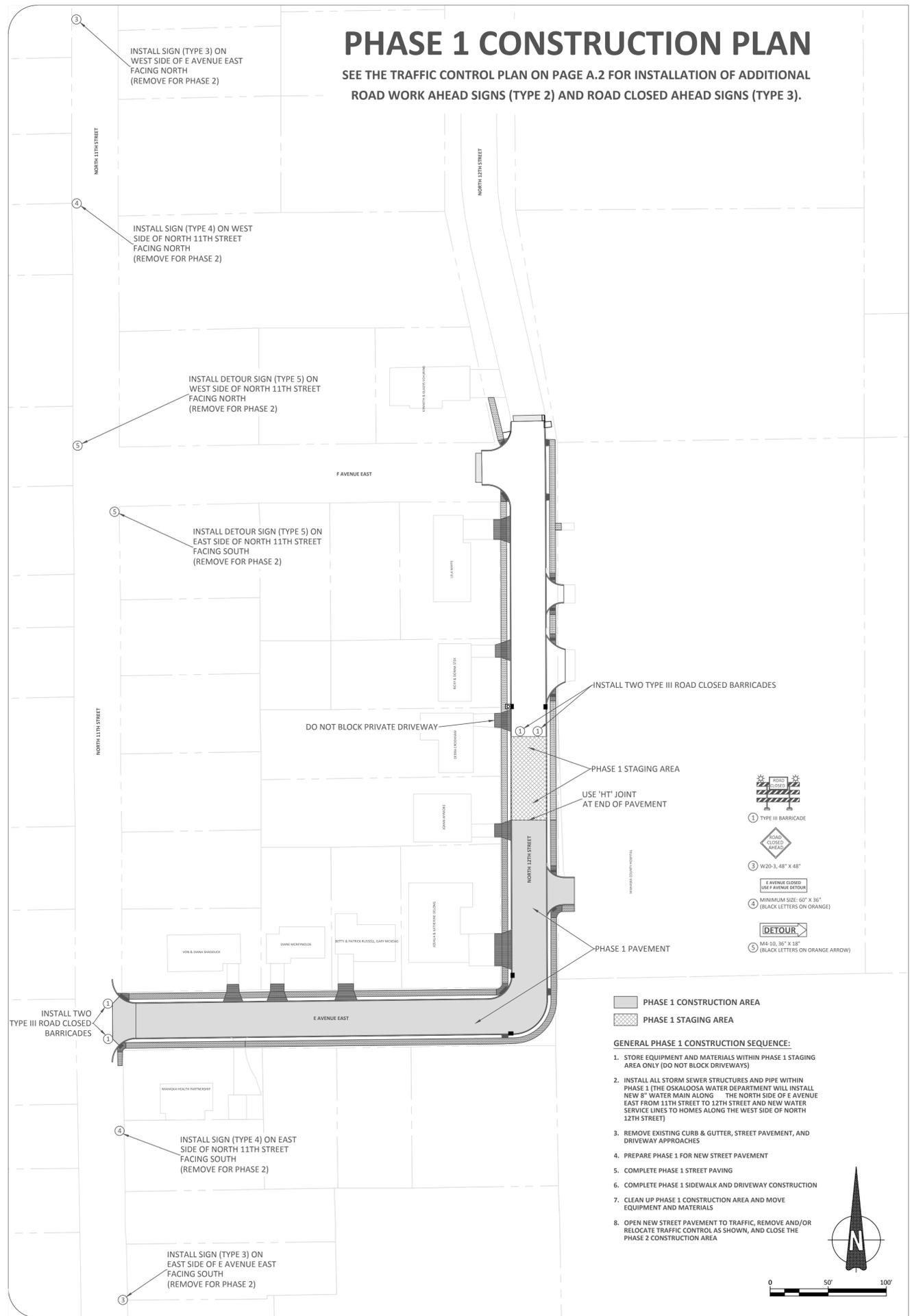
**PROJECT NAME:**  
 E AVENUE EAST & NORTH 12TH  
 STREET RECONSTRUCTION PROJECT

**DRAWN BY:** NW  
**APPROVED BY:** AP  
**DATE:** 1-3-15  
**PROJECT NO.** 2010-24

**SHEET NO.**  
**B.2**

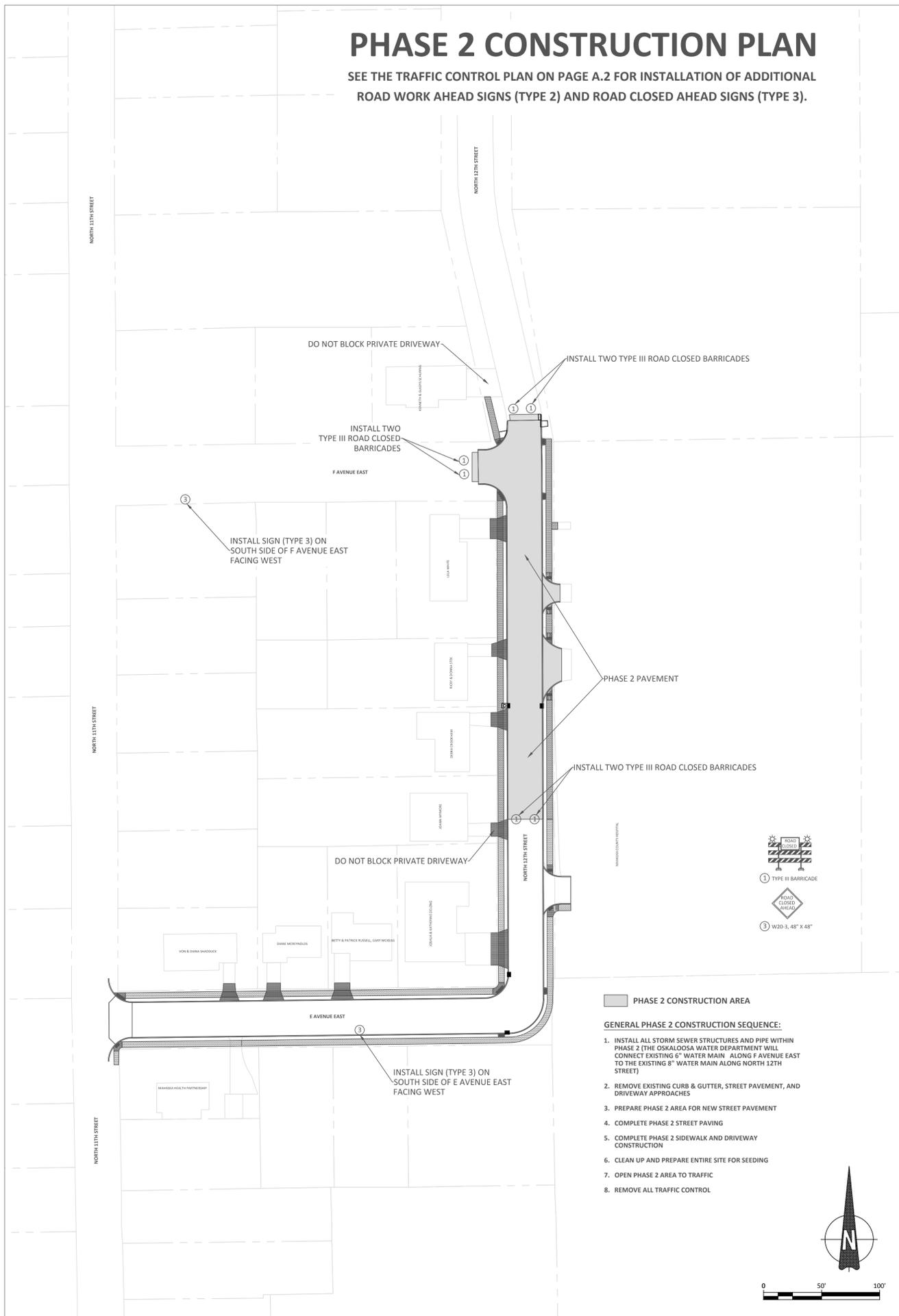
# PHASE 1 CONSTRUCTION PLAN

SEE THE TRAFFIC CONTROL PLAN ON PAGE A.2 FOR INSTALLATION OF ADDITIONAL ROAD WORK AHEAD SIGNS (TYPE 2) AND ROAD CLOSED AHEAD SIGNS (TYPE 3).



# PHASE 2 CONSTRUCTION PLAN

SEE THE TRAFFIC CONTROL PLAN ON PAGE A.2 FOR INSTALLATION OF ADDITIONAL ROAD WORK AHEAD SIGNS (TYPE 2) AND ROAD CLOSED AHEAD SIGNS (TYPE 3).



SHEET TITLE:  
**PHASE 1 & 2 CONSTRUCTION AND TRAFFIC CONTROL PLANS**

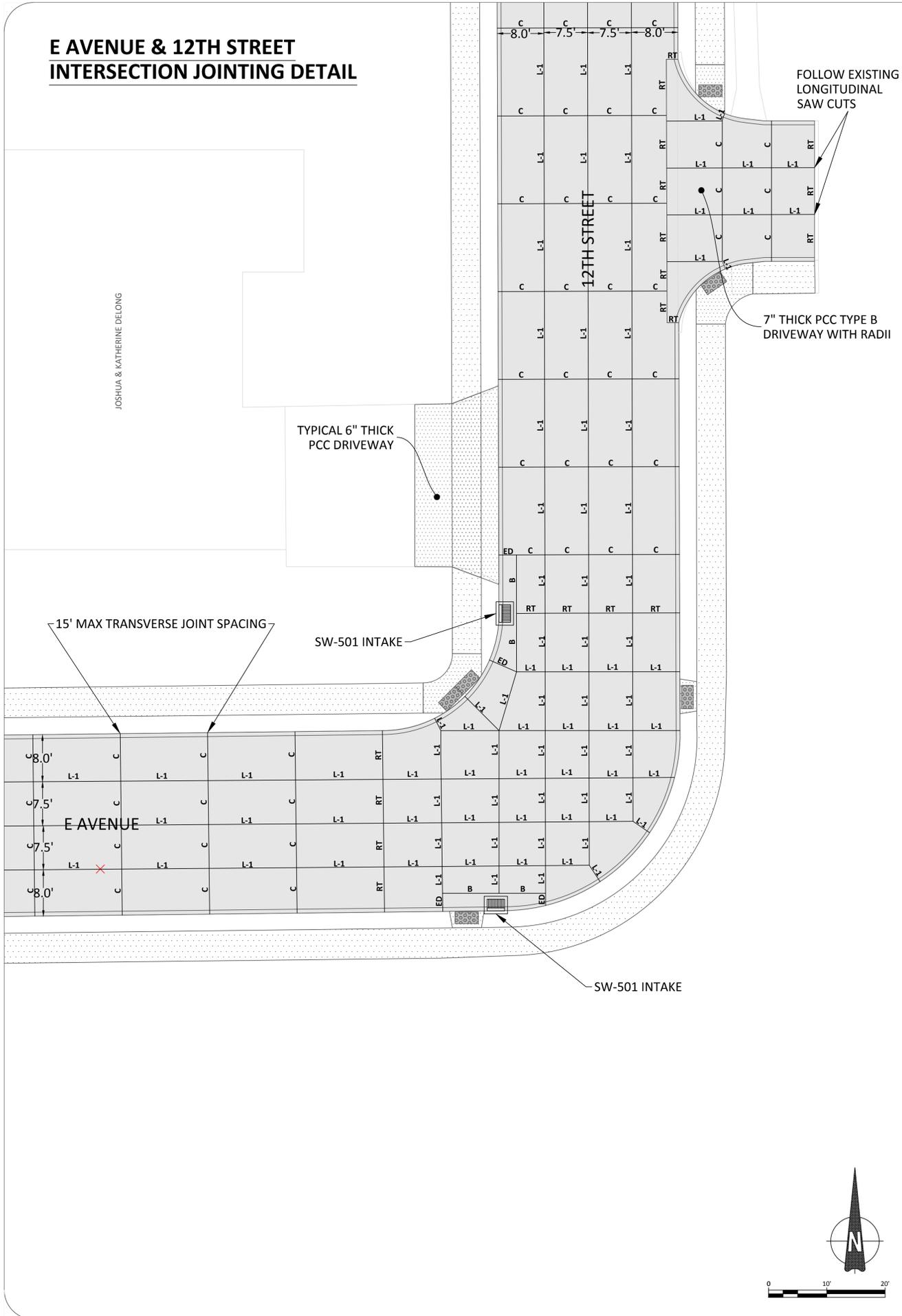
REVISION/ISSUE	NO.	DATE

PROJECT NAME:  
**E AVENUE EAST & NORTH 12TH STREET RECONSTRUCTION PROJECT**

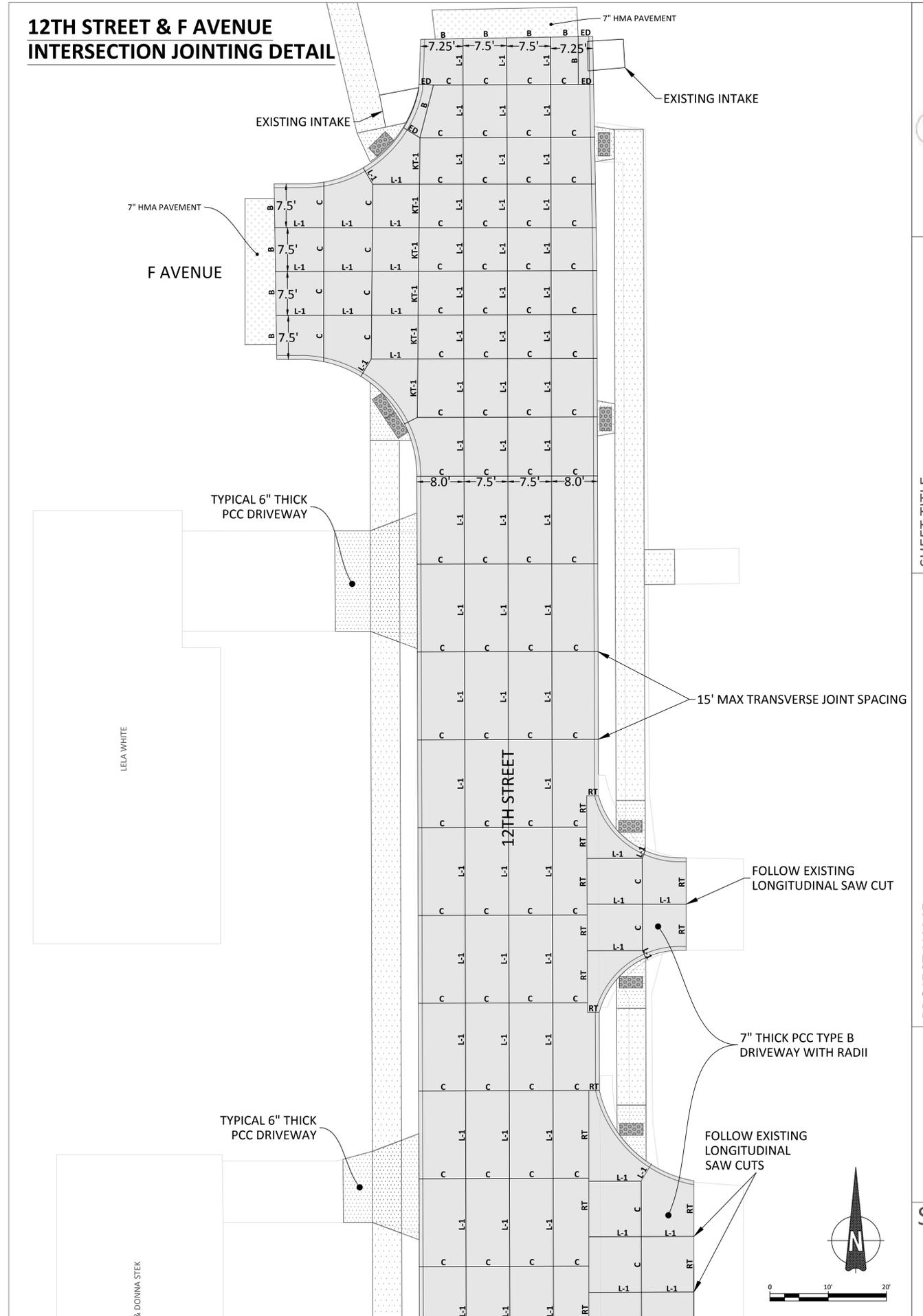
DRAWN BY: NW  
APPROVED BY: AP  
DATE: 1-3-15  
PROJECT NO. 2010-24

SHEET NO.  
**C.1**

**E AVENUE & 12TH STREET  
INTERSECTION JOINTING DETAIL**



**12TH STREET & F AVENUE  
INTERSECTION JOINTING DETAIL**



OSKALOOSA PUBLIC WORKS DEPARTMENT  
804 SOUTH D STREET, OSKALOOSA, IA 52577  
PHONE: (641) 673-7472 FAX: (641) 673-3733

SHEET TITLE:  
**INTERSECTION JOINTING  
PLANS**

REVISION/ISSUE	NO.	DATE

PROJECT NAME:  
**E AVENUE EAST & NORTH 12TH  
STREET RECONSTRUCTION PROJECT**

DRAWN BY: NW	APPROVED BY: AP	DATE: 1-3-15	PROJECT NO. 2010-24
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SHEET NO.  
**C.2**



SHEET TITLE:  
**CROSS SECTIONS**

REVISION/ISSUE	NO.	DATE

PROJECT NAME:  
**E AVENUE EAST & NORTH 12TH STREET RECONSTRUCTION PROJECT**

DRAWN BY: NW	APPROVED BY: AP	DATE: 1-3-15	PROJECT NO. 2010-24
SHEET NO. <b>D.1</b>			



City Council  
Communication  
Meeting Date: January 5, 2015  
Requested By: Council Appointed  
Staff

**Item Title: Report on Items from City Staff**

- a) City Manager.
- b) City Clerk.
- c) City Attorney.

**Explanation :**

This item is reserved to receive reports from the City Manager, City Clerk, and/or the City Attorney.

**Budget Consideration:**

Not applicable, report(s) only.

**Attachments :**

None.



## City Council Communication

Meeting Date: January 5, 2015

Requested By: Mayor & City Council

**Item Title: City Council Information**

**Explanation :**

This item is reserved to receive reports from the Mayor and City Council. This is an opportunity for the members of the City Council to provide updates on activities, events, or items of note to the public. This is also the opportunity for the City Council to request future agenda items, or request items to be sent to Committee for review and discussion.

**Budget Consideration:**

Not applicable, report(s) only.

**Attachments :**

None.