



**City of Oskaloosa
City Council Meeting Regular Session
Council Chambers
City Hall, 220 S. Market Street
Oskaloosa IA, 52577
Agenda
July 21, 2014**

Call to Order and Roll Call - 6:00 P.M.

1. Invocation: Pastor Dave Leraaen, New Hope Free Methodist Church

2. Pledge of Allegiance.

I pledge allegiance to the Flag of the United States of America, and to the Republic for which it stands, one Nation under God, indivisible, with liberty and justice for all.

3. Roll Call

_____ Mayor David Krutzfeldt, Council Members:

_____ Caligiuri, _____ Jimenez, _____ Moore, _____ Van Zetten, _____ Ver Steeg,

_____ Walling, _____ Yates.

Documents: [AGENDA ITEMS 1-3.DOCX](#)

4. Community Comments.

This item is reserved to receive comments from the community for concerns whether or not they are included in the current agenda. The community is encouraged to come and speak before the Mayor and City Council and asked to keep statements brief. Any questions are to be asked of the City Staff, Council Members, or the Mayor prior to speaking to the full Council so concerns may be properly researched and answered away from the meeting. Comments are to be directed to the Mayor and City Council only.

Documents: [AGENDA ITEM COMMUNITY COMMENTS.DOCX](#)

5. Consider Adoption of Consent Agenda as Presented or Amended.

All items appearing on the Consent Agenda are considered routine by the City Council and shall be enacted by one motion. If discussion is desired, that item shall be removed, discussed separately and approved by a separate motion of the City Council.

Documents: [CONSENT AGENDA SUMMARY.DOCX](#), [AGENDA ITEM CONSENT - BOARD AND COMMISSION MINUTES.DOCX](#)

A. Approval of Council Minutes and Actions, subject to corrections, as recommended by the City Clerk.

1. July 7, 2014 Regular City Council Meeting Minutes2. July 21, 2014 Agenda

Documents: [CITY COUNCIL MINUTES JULY 7, 2014.DOC](#)

B. Receive and file minutes of Boards and Commissions

Any recommendations contained in minutes become effective only upon separate

Council action.

1. May 27, 2014 Water Board Special Meeting Minutes
2. June 25, 2014 Library Board Minutes
3. May 1, 2014 Housing Trust Fund Committee Minutes
4. July 3, 2014 Housing Trust Fund Committee Minutes
5. July 2, 2014 Civil Service Commission Minutes
6. July 14, 2014 Planning and Zoning Commission Minutes
7. Oskaloosa Municipal Water Department Quarterly Financial Reports

Documents: [MAY 27 2014 SPECIAL WB MINUTES.DOCX](#), [JUN 25 2014 LIB MINUTES.DOC](#), [OHTF MAY 2014 MINUTES.DOCX](#), [07032014 OHTF MINUTES.DOCX](#), [MINUTES JULY 2 2014 CIVIL SERVICE COMMISSION.DOCX](#), [JULY 2014 PZ MINUTES.DOCX](#), [4TH QUARTER WATER DEPARTMENT FINANCIALS.PDF](#)

C. Consider approval of a renewal application for a Class C Liquor License with Sunday Sales from Mahaska Bowling and Recreation Center Inc., 1700 A Avenue East.

Who is submitting this item. City Clerk/Finance Department

Documents: [CITY COMM-MAHASKA BOWLING.DOC](#)

D. Consider a motion to receive and file financial reports for June 2014.

Who is submitting this item. City Clerk/Finance Department

Documents: [CITY COMM-FINANCIAL REPORTS.DOC](#), [TREASURERS REPORT - JUNE 2014.PDF](#)

E. Consider a resolution scheduling a public hearing on vacation and sale of 120' X 16.5' of the north-south alley adjacent to 211 North J Street.

Who is submitting this item. Public Works Director

Documents: [ITEM - 211 NORTH J STREET.DOCX](#), [RESN - 211 NORTH J STREET.DOCX](#), [MAP.PDF](#), [PICTURES.DOCX](#), [APPLICATION.PDF](#), [SURVEY.XLS](#)

F. Consider a resolution scheduling a public hearing on vacation and sale of 237.5' X 16' of the north-south alley adjacent to 1210 A Avenue East.

Who is submitting this item. Public Works Director

Documents: [ITEM 1210 A AVENUE EAST.DOCX](#), [RESN - 1210 A AVENUE EAST.DOCX](#), [MAP.PDF](#), [PICTURES.DOCX](#), [APPLICATION.PDF](#), [SURVEY.XLS](#)

G. Consider a resolution to temporarily close South 8th Street between 1st Avenue East and 2nd Avenue East on September 7, 2014 for a church activity.

Who is submitting this Public Works Director
item.

Documents: [ITEM - REQUEST FROM CENTRAL REFORMED CHURCH.DOCX](#),
[RESN - STREET CLOSURE.DOCX](#), [APPLICATION.PDF](#), [LETTER.PDF](#)

- H. **Consider a resolution for preliminary approval of plans, specifications, form of contract, and estimated cost; and also for ordering publication of notice of hearing, and notice to bidders for the South 11th Street Pavement Rehabilitation Project.**

Who is submitting this Public Works Director
item.

Documents: [ITEM - SOUTH 11TH REHABILITATION PROJECT.DOCX](#),
[RESOLUTION.DOCX](#), [SOUTH 11TH STREET PLANS.PDF](#), [NOTICE OF PUBLIC HEARING.DOCX](#), [S 11TH ST ENGINEERS ESTIMATE.PDF](#)

- I. ----- **END OF CONSENT AGENDA** -----

6. Regular Agenda

Documents: [AGENDA ITEM - REGULAR ACTION ITEMS.DOCX](#)

- A. **Consider request from the Mahaska Community Recreation Foundation to report on quarterly activities of MCRF.**

Who is submitting this City Manager Department
item.

Documents: [REQUEST FROM MCRF.DOCX](#)

- B. **Consider an ordinance amending Oskaloosa City Code Section 6.04.090 - Dangerous dogs and other dangerous animals – to delete the current section and substitute a revised section – 1st reading.**

Who is submitting this Chief Jake McGee
item.

Documents: [CITY COMM - RE DANGEROUS ANIMALS.DOCX](#), [ORDINANCE AMENDING SECTION 6.04.090.DOCX](#)

- C. **Consider an ordinance amending the City Code of the City of Oskaloosa, Iowa, by amending provisions pertaining to Section 10.48.030 – “Angle Parking” by allowing angle parking on a portion of North K Street – 1st Reading.**

Who is submitting this Public Works Director
item.

Documents: [ITEM - APPROVAL OF ANGLE PARKING SPACES.DOCX](#),
[ORDINANCE.DOC](#)

- D. **Consider an ordinance amending Chapter 15.04 Building Code of the Oskaloosa Municipal Code (2nd reading) and a request to waive the 3rd reading of the ordinance.**

Who is submitting this City Manager Department item.

Documents: [ITEM - BUILDING INSPECTION ORDINANCE.DOCX](#), [ORDINANCE RE BUILDING INSPECTION.DOCX](#)

E. Consider approval of a site plan for the property at 1107 A Avenue West.

Who is submitting this Public Works Director item.

Documents: [ITEM - SITE PLAN.DOCX](#), [SITE PLAN.PDF](#), [APPLICATION.PDF](#)

F. Consider a motion rescinding action taken at the May 5, 2014 city council meeting regarding acquisition and demolition of the property located at 517 B Avenue West.

Who is submitting this City Manager Department item.

Documents: [20140721 - 517 C AVENUE WEST RESCIND ACQUISITION.DOCX](#), [517 B AVENUE WEST PROPERTY INFORMATION.PDF](#)

G. Consider a resolution setting dates of a consultation and a public hearing on proposed Amendment No. 1 to the Oskaloosa Amended and Restated Urban Renewal Plan in the City of Oskaloosa, State of Iowa.

Who is submitting this City Manager item.

Documents: [20140721 - URBAN RENEWAL AMENDMENT NO. 1 SETTING PUBLIC HEARING.DOCX](#), [20140721 - URBAN RENEWAL AMENDMENT RESOLUTION.DOCX](#), [OSKALOOSA AMENDED AND RESTATED AMENDMENT \(AUTOSAVED\) \(8\).DOC](#)

7. Report on Items from City Staff.

a) City Manager.

- Report and follow up on the study session held on July 15, 2014 regarding discussion of policy options available to address the anticipated impact of property tax reform as well as funding assistance requests received from Forest Cemetery, Stephen Memorial Animal Shelter, and the Mahaska County YMCA.

b) City Clerk.

c) City Attorney.

This item is reserved to receive reports from the City Manager, City Clerk, and/or the City Attorney.

Documents: [AGENDA ITEM - REPORTS FROM STAFF.DOCX](#), [PROJECT PLANNING LIST 2 0.PDF](#)

8. City Council Information

This item is reserved to receive reports from the Mayor and City Council. This is an

opportunity for the members of the City Council to provide updates on activities, events, or items of note to the public. This is also the opportunity for the City Council to request future agenda items, or request items to be sent to Committee for review and discussion.

Documents: [AGENDA ITEM - INFORMATION FROM CITY COUNCIL.DOCX](#)

9. Adjournment

THE REQUIREMENT THAT AN ORDINANCE BE READ THREE (3) TIMES BEFORE PASSAGE MAY BE WAIVED BY COUNCIL UPON AN AFFIRMATIVE VOTE OF SIX (6) OF THE SEVEN (7) COUNCIL MEMBERS. THE PUBLIC IS ADVISED TO TAKE NOTE OF THIS PROCESS AND BE PREPARED TO SPEAK EITHER FOR OR AGAINST ANY ORDINANCE AT THE TIME OF FIRST READING.

If you require special accommodations, please contact the City Manager's Office at least 24 hours prior to the meeting at (641) 673-9431.



City Council
Communication

Meeting Date: July 21, 2014

Requested By: Mayor & City Council

Item Title: Call to Order and Roll Call - 6:00 p.m.

1. Invocation: Pastor Dave Leraaen, New Hope Free Methodist Church
2. Pledge of Allegiance
3. Roll Call: _____ Mayor David Krutzfeldt, Council Members:

_____ Caligiuri, _____ Jimenez, _____ Moore, _____ Van Zetten,
_____ Ver Steeg, _____ Walling, _____ Yates.

Explanation:

Not applicable.

Budget Consideration:

Not applicable.

Attachments :

None.



City Council Communication

Meeting Date: July 21, 2014

Requested By: Mayor & City Council

Item Title: Community Comments

Explanation :

This item is reserved to receive comments from the community for concerns whether or not they are included in the current agenda. The community is encouraged to come and speak before the Mayor and City Council and asked to keep statements brief. Time shall be limited to no more than three minutes. Any questions are to be asked of the City staff, Council Members, or the Mayor prior to speaking to the full Council so concerns may be properly researched and answered away from the meeting. Comments are to be directed to the Mayor and City Council only.

Budget Consideration:

Not applicable.

Attachments :

None.

Consent Agenda Items: All items appearing on the Consent Agenda are considered routine in nature and no discussion is anticipated.

- Item A. Minutes and reports from city council meetings.**
Staff recommends council receive and file these documents.
- Item B. Board and Commission Minutes:**
Staff recommends council receive and file these documents.
- Item C. Consider approval of a renewal application for a Class C Liquor License with Sunday Sales from Mahaska Bowling and Recreation Center Inc., 1700 A Avenue East.**
 - No complaints received.
- Item D. Receive and file financial reports for June 2014.**
- Item E. Consider a resolution scheduling a public hearing on vacation and sale of 120' X 16.5' of the north-south alley adjacent to 211 North J Street.**
- Item F. Consider a resolution scheduling a public hearing on vacation and sale of 237.5' X 16' of the north-south alley adjacent to 1210 A Avenue East.**
- Item G. Consider a resolution to temporarily close South 8th Street between 1st Avenue East and 2nd Avenue East on September 7, 2014 for a church activity.**
- Item H. Consider a resolution for preliminary approval of plans, specifications, form of contract, and estimated cost; and also for ordering publication of notice of hearing, and notice to bidders for the South 11th Street Pavement Rehabilitation Project.**



City Council
Communication

Meeting Date: July 21, 2014

Requested By: City Manager's Office

Item Title: C ONSENT AGENDA

Explanation :

All items appearing on the Consent Agenda are considered routine by the City Council and shall be enacted by one motion. If discussion is desired, that item shall be removed, discussed separately and approved by a separate motion of the City Council.

- A. Approval of Council Minutes and Actions, subject to corrections, as recommended by the City Clerk.
 - 1. July 7, 2014 City Council Regular Meeting Minutes
 - 2. July 21, 2014 Agenda

- B. Receive and file the following reports and communications from advisory and operating boards and commissions:
 - 1. May 27, 2014 Water Board Special Meeting Minutes
 - 2. June 25, 2014 Library Board Minutes
 - 3. May 1, 2014 Housing Trust Fund Committee Minutes
 - 4. July 3, 2014 Housing Trust Fund Committee Minutes
 - 5. July 2, 2014 Civil Service Commission Minutes
 - 6. July 14, 2014 Planning and Zoning Commission Minutes
 - 7. Oskaloosa Municipal Water Department Quarterly Financial Reports for period ending June 30, 2014

Budget Consideration:

Not applicable.

Attachments :

July 7, 2014 City Council Regular Meeting Minutes
May 27, 2014 Water Board Special Meeting Minutes
June 25, 2014 Library Board Minutes
May 1, 2014 Housing Trust Fund Committee Minutes
July 3, 2014 Housing Trust Fund Committee Minutes

July 2, 2014 Civil Service Commission Minutes
July 14, 2014 Planning and Zoning Commission Minutes
Oskaloosa Municipal Water Department Quarterly Financial Reports for period
ending June 30, 2014

OSKALOOSA CITY COUNCIL
REGULAR MEETING
July 7, 2014

The Oskaloosa City Council met in regular session on Monday, July 7, 2014, at 6:00 p.m. with Mayor Krutzfeldt presiding and the following members answering roll call: Caligiuri, Jimenez, Moore, Ver Steeg, Walling and Yates. Absent: Van Zetten.

It was moved by Jimenez, seconded by Ver Steeg to approve the consent agenda:

1. June 16, 2014 City Council Regular Meeting Minutes
(Note: The vote on Resolution No. 14-06-48 and the Water Board appointment should not have included City Council Member Ver Steeg since he had left the meeting.)
2. June 26, 2014 City Council Special Meeting Minutes
3. July 7, 2014 Agenda
4. Receive and file the following reports and communications from advisory and operating boards and commission:
 - a. May 12, 2014 Water Board Minutes
 - b. June 6, 2014 Water Board Special Meeting Minutes
 - c. June 16, 2014 Oskaloosa Band Board Minutes
 - d. May 27, 2014 Board of Adjustment Minutes
 - e. June 2, 2014 Airport Commission Minutes
 - f. June 24, 2014 Board of Adjustment Minutes
5. Claims for June 2014.
6. Renewal application for a Class B Beer Permit (includes wine coolers) with Sunday Sales from Asian Grill Buffet, Inc. dba Asian Buffet, 417 A Avenue West.
7. Application for a five day Class C Liquor License for Sodexo Management, Inc. dba William Penn University, located at Penn Central Mall, 200 High Avenue West.
8. FY 2015 Retail Cigarette/Tobacco/Nicotine/Vapor Permits.

The roll was called and the vote was:

AYES: Caligiuri, Jimenez, Moore, Ver Steeg, Walling and Yates

NAYS: None

Whereupon the Mayor declared said motion approved.

Jimenez introduced Resolution No. 14-07-49 entitled "RESOLUTION ADOPTING SUPPLEMENT TO THE OSKALOOSA MUNICIPAL CODE OF ORDINANCES THROUGH ORDINANCE NO. 1356" and moved its approval. Ver Steeg seconded the motion. The roll was called and the vote was:

AYES: Caligiuri, Jimenez, Moore, Ver Steeg, Walling and Yates

NAYS: None

Whereupon the Mayor declared said resolution duly adopted.

Jimenez introduced Resolution No. 14-07-50 entitled "RESOLUTION SCHEDULING A TIME FOR HEARING FOR CONSIDERING THE MATTER OF LEVYING A SPECIAL ASSESSMENT AGAINST PRIVATE PROPERTY FOR WEED

CUTTING BY THE CITY IN ACCORDANCE WITH SECTION 8.20 OF THE CITY CODE OF THE CITY OF OSKALOOSA, IOWA, AND DIRECTING NOTICE TO THE OWNER OF THE PROPERTY TO BE ASSESSED” and moved its approval. Ver Steeg seconded the motion. The roll was called and the vote was:

AYES: Caligiuri, Jimenez, Moore, Ver Steeg, Walling and Yates

NAYS: None

Whereupon the Mayor declared said resolution duly adopted.

The Mayor announced there are two vacancies on the Building Code Board of Appeals.

Dylan Mulfinger, Management Analyst, gave a presentation on the anticipated impact of the Emerald Ash Borer on the City of Oskaloosa.

It was moved by Moore, seconded by Ver Steeg to approve Change Order No. 3 for a net decrease of \$4,200.00 to assess liquidated damages for exceeding allowable working days and Change Order No. 4 for a net decrease of \$7,725.00 to make final quantity adjustments to the West Area Sanitary Sewer Improvements Project. The roll was called and the vote was:

AYES: Caligiuri, Jimenez, Moore, Ver Steeg, Walling and Yates

NAYS: None

Whereupon the Mayor declared said motion approved.

It was moved by Jimenez, seconded by Moore to approve Pay Request No. 7 in the amount of \$1,149.44 to DeLong Construction Inc. and approve the retainage in the amount of \$24,966.30 to be released to the contractor 30 days after project acceptance if no claims have been filed against the project. The roll was called and the vote was:

AYES: Caligiuri, Jimenez, Moore, Ver Steeg, Walling and Yates

NAYS: None

Whereupon the Mayor declared said motion approved.

Jimenez introduced Resolution No. 14-07-51 entitled “RESOLUTION ACCEPTING THE WORK OF DELONG CONSTRUCTION INC. FOR THE WEST AREA SANITARY SEWER IMPROVEMENTS PROJECT” and moved its approval. Moore seconded the motion. The roll was called and the vote was:

AYES: Caligiuri, Jimenez, Moore, Ver Steeg, Walling and Yates

NAYS: None

Whereupon the Mayor declared said resolution duly adopted.

It was moved by Caligiuri, seconded by Ver Steeg to approve Change Order No. 1 for a net decrease of \$38,539.27 to the contract amount for final quantity adjustments to the C Avenue East & North 3rd Street Pavement Rehabilitation Project. The roll was called and the vote was:

AYES: Caligiuri, Jimenez, Moore, Ver Steeg, Walling and Yates

NAYS: None

Whereupon the Mayor declared said motion approved.

It was moved by Jimenez, seconded Ver Steeg to approve Pay Request No. 4 in the amount of \$7,757.75 to Norris Asphalt Paving Co. and approve the retainage in the amount of \$36,341.29 to be paid 30 days after project acceptance if no claims have been filed against the project. The roll was called and the vote was:

AYES: Caligiuri, Jimenez, Moore, Ver Steeg, Walling and Yates

NAYS: None

Whereupon the Mayor declared said motion approved.

Jimenez introduced Resolution No. 14-07-52 entitled "RESOLUTION ACCEPTING THE WORK OF NORRIS ASPHALT PAVING CO. FOR THE C AVENUE EAST AND NORTH 3RD STREET PAVEMENT REHABILITATION PROJECT" and moved its approval. Ver Steeg seconded the motion. The roll was called and the vote was:

AYES: Caligiuri, Jimenez, Moore, Ver Steeg, Walling and Yates

NAYS: None

Whereupon the Mayor declared said resolution duly adopted.

It was moved by Caligiuri, seconded by Yates to approve Pay Request No. 2 in the amount of \$18,557.30 to Steven's Concrete Ltd. for work completed on the First Avenue East Sidewalk Project. The roll was called and the vote was:

AYES: Caligiuri, Jimenez, Moore, Ver Steeg, Walling and Yates

NAYS: None

Whereupon the Mayor declared said motion approved.

It was moved by Caligiuri, seconded by Yates to approve Pay Request No. 5 (final retainage) in the amount of \$7,903.27 to Norris Asphalt Paving Co. for the South 7th Street Pavement Rehabilitation Project to be released immediately because no claims have been filed against the project. The roll was called and the vote was:

AYES: Caligiuri, Jimenez, Moore, Ver Steeg, Walling and Yates

NAYS: None

Whereupon the Mayor declared said motion approved.

Yates introduced Resolution No. 14-07-53 entitled "A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF OSKALOOSA, IOWA AUTHORIZING THE EXECUTION OF AN AGREEMENT FOR BUILDING INSPECTION SERVICES" and moved its approval. Jimenez seconded the motion. The roll was called and the vote was:

AYES: Caligiuri, Jimenez, Moore, Ver Steeg, Walling and Yates

NAYS: None

Whereupon the Mayor declared said resolution duly adopted.

Caligiuri introduced "AN ORDINANCE AMENDING THE CITY CODE OF THE CITY OF OSKALOOSA, IOWA BY AMENDING TITLE 15 – BULIDINGS AND

CONSTRUCTION, CHAPTER 15.04 – BUILDING CODE, SECTION 15.04.470 – INSPECTION REQUEST DEADLINE” and moved its approval on the first reading. Ver Steeg seconded the motion. It was moved by Caligiuri, seconded by Ver Steeg to waive the rules requiring three separate readings of an ordinance. The roll was called for suspension of the rules and the vote was:

AYES: Caligiuri, Jimenez, Moore, Ver Steeg and Yates

NAYS: Walling

Whereupon the Mayor declared said motion defeated. The roll was called on the first reading of the ordinance and the vote was:

AYES: Caligiuri, Jimenez, Moore, Ver Steeg, Walling and Yates

NAYS: None

Whereupon the Mayor declared said ordinance approved on the first reading.

City Manager Michael Schrock reported on the city and the YMCA partnering on Edmundson Pool use and the city moving forward on the South 11th project.

It was moved by Caligiuri, seconded by Ver Steeg that the meeting adjourn. Motion carried unanimously. The meeting adjourned at 6:35 p.m.

David Krutzfeldt, Mayor

ATTEST:

Amy Miller, City Clerk

OSKALOOSA WATER BOARD
SPECIAL MEETING
5/27/14

Members Present:

Joe Ryan (via phone)
Errin Keltner (via phone)
Pete Settimi

Others Present:

Chad Coon
Ken Allsup
Colleen MacRae (via phone)
Rick Malm (via phone)

A motion was made by Pete Settimi and 2nd by Joe Ryan to approve the agenda as presented. The motion carried with Ryan and Settimi voting yes, Keltner abstained from voting.

The first agenda item was Discussion and Consideration of Possible Employment Eontract for General Manager. There was discussion between the Board members about the terms of the contract. Joe asked about a “separation for cause” section in the agreement. To be able to terminate the general manager if he wasn’t doing his job duties satisfactorily. Rick Malm discussed being able to add this language, and added that he would suggest that the Board appoint a member to negotiate contract terms with the general manager for the employment contract. There was a motion by Joe Ryan to appoint Pete Settimi to negotiate on terms with Chad Coon for the agreement on the employment contract. Motion was seconded by Pete Settimi. Call for the vote; Settimi and Ryan yes, Keltner did not vote.

There being no further items to discuss, it was moved by Pete Settimi and second by Joe Ryan to adjourn.

ATTEST

Meeting Adjourned 8:12 AM

Pete Settimi – Chairman

Errin Keltner – Secretary

MINUTES

OSKALOOSA PUBLIC LIBRARY BOARD OF TRUSTEES

MONDAY – JUNE 25, 2014 -- 4:00 P.M.

(Due to the lack of a quorum on June 23, 2014, the Library Board meeting was re-scheduled on Wednesday, June 25, 2014.)

The meeting was called to order by Board president Judy Bishop. Roll call was taken by Board secretary Susan Hasso with Trustees Michael Collins, Jane Ireland, Sally Posovich, and Candace Slobe present. Also present was Library Director William Ottens.

Minutes: Bishop called for a motion to approve the minutes of the May 19, 2014, Board meeting. Motion was made by Posovich, seconded by Slobe, to approve the minutes of the May 19, 2014, Board meeting. Motion passed.

Board Correspondence, Public Input or Friends Report: Present at the meeting was a William Penn student and her mother. The student is taking a class in collaboration, and she wanted to observe the Library Board meeting for her class.

Also present at the meeting was Martha Comfort, who is the director of the Oskaloosa Summer Lunch program. Martha explained that the program is funded by the USDA and sponsored by the Department of Education. Locally, the Central United Methodist Church is the non-profit sponsor for the program. Martha said that in Oskaloosa 53.8% of school age children qualify for free or reduced lunch during the school year. This program provides these children with lunch three days a week during the summer. The program is currently serving 100 children a day at three lunch sites and has 140 volunteers.

William told the Board that Paul Groenenboom had contacted him, and Paul said that he is resigning from the Board. William asked Board members to think about a county person that might fill that position.

Director's Report: Library Director William Ottens highlighted some of the items in his report to the Board.

Part time Library Assistant and Page: William told the Board that all library positions are now filled. Julie Dunne-McKee, who previously was employed as our page, began as part time library assistant at the beginning of June. William hired LeAnn DeGroot to fill the page position. However, LeAnn injured her knee at work, so we are waiting to hear the results of that injury.

Programs and Events Update: William said that the Summer Reading program is off to a fantastic start. There were 200 children that signed up at the kick-off party, and 100 adults and 50 teens picked up reading logs that day. Rick Eugene Brammer's magic show attracted about 250 children and parents. William said that the library may have to consider partnering with the George Daily Auditorium or Webster school in order to accommodate the crowds that attend the special events. Attendance at the regular children's programs has been consistent. William said that Kilie is doing a wonderful job as children's librarian. He is pleased with the direction that she is taking the department. Teen programs have been well attended, especially Dungeons and Dragons and the Messy Games at Edmundson Park. William said that 80 people attended the program by Chad Lewis, paranormal researcher. On July 22, Doug Wilson will present a program on the Muchakinock mining camp.

Light Poles Update: S & S Painting has completed the painting of the light poles, and the invoice is in this month's claims. The light poles look great.

Reading Garden Fence: William said that he has reported the problems with the reading garden fence to the Friends of the Library. The Friends plan to check with the City Manager to see what his recommendations are.

Boiler Piping Leak: On Friday, June 13th, Mike C. noticed a leak in the Boiler Room. Baker Group was called to inspect the boiler piping. The inspection revealed five areas that needed repair. Four of those repairs have been completed. They are waiting to re-wrap the pipes until

they are sure that the leak is fixed.

Committee Reports:

Staff Committee – Jane Ireland, chair: None.

Budget & Finance Committee – Judy Bishop, chair: None

Policy & Planning Committee – Candace Slobe, chair: None

Technology Committee – Kathy Rothfus, chair: William reported that the committee had met. They looked at all of the library's equipment and developed a 5-year rotation replacement plan. William also said that the self-check machine on the second floor is failing more often and needs to be replaced.

Building & Grounds – Michael Collins, chair: Mike said that the committee met. They talked about the boiler piping, the fence, and the light poles. The committee is planning to meet the second Thursday of the month.

Unfinished Business: None.

New Business:

Oskaloosa Summer Lunch Program: Motion was made by Ireland, seconded by Posovich, to approve that the library serve as a lunch site for the Oskaloosa Summer Lunch program. Martha explained the logistics of the program. William said that the library's involvement with the program would have a positive impact on the library. After discussion, Bishop called for the vote. Motion passed. The program will begin at the library on Monday, June 30.

3M Self-check Machine: Motion was made by Posovich, seconded by Slobe, to approve the purchase of a 3M SelfCheck System Model 6422 at the cost of \$16,620.00 with \$5,000 to come from the Riefe Memorial Fund, \$5,000 to come from the Dillon 3M Repair Fund, and \$6,620 to come from the Library Maintenance Fund. After discussion, Bishop called for the vote. Motion passed.

Election of Officers: Motion was made by Ireland, seconded by Slobe, to table the election of officers until the July meeting. Motion passed.

Approval of Claims: Motion was made by Ireland, seconded by Collins, to approve payment of the June claims. Motion passed

Library Director Salary: William told the Board that the City has approved a 2.5% increase for part time wages and department heads. However, the increase cannot be implemented for the Library Director position until it has passed Library Board approval. At that time, William excused himself from the meeting. Motion was made by Ireland, seconded by Posovich, to approve the 2.5% wage increase approved by the City for Library Director William Ottens. Motion passed.

President's Remarks: None

Adjournment: Motion was made by Ireland, seconded by Posovich, to adjourn. Motion passed.

The next regular meeting will be on Monday, July 28, 2014, at 4:00 p.m. in the library meeting room.

Respectfully submitted,

Susan Hasso
Library Administrative Assistant
for the Board

OSKALOOSA HOUSING TRUST FUND COMMITTEE MINUTES

Thursday, May 1, 2014 - 12:00 Noon

City Hall Conference Room

The committee meeting was called to order by Chair Dalbey at 12:02 p.m. with the following members present: Chair Kandes Dalbey, Rob Taylor, Dan Adams, Joe Caligiuri, Carri Vande Ree and Valinn McReynolds with Randell Davis arriving at 12:10 p.m. and Bernice Hahn arriving at 12:23 p.m. Members absent: Noel Stahle, Leon McCullough, Dave Polkowske and Kathie Dykstra. Also present: City Manager Michael Schrock, City Clerk Amy Miller and Marilyn Johannes.

It was moved by Taylor, seconded by Caligiuri to approve the March 6, 2014 Housing Trust Fund Committee Minutes. Motion carried unanimously.

It was moved by Caligiuri, seconded by Adams to approve demolition grant funds up to \$4,000 for demolition of the structure located at 1103 B Avenue West. Motion carried unanimously.

Discussion followed regarding the demolition grant request for the house located at 1112 B Avenue West that is in good condition. The owner's intent is to demolish the house and build a medical office/storage structure on the property. Miller stated the plan says eligible structures are to be dilapidated structures. McReynolds said need to leave money available for home builders. It was moved by McReynolds, seconded by Taylor to deny the request for demolition grant funds for the house located at 1112 B Avenue West. Motion carried unanimously.

Schrock explained the house located at 1008 B Avenue West was damaged significantly in a fire and is considered a nuisance and unsafe so the city told the owner to demolish the structure. Since the owner wants to leave the property as green space, \$2000 of the \$4000 allowed would need to be repaid in a no interest (0%) loan over a 2 year period. It was noted if Mr. Carter is granted funds to help with demolition of the property, and he sells the property before paying off the \$2000 debt, he would need to pay the amount due immediately.

Randy Davis arrived at the meeting.

It was moved by Davis, seconded by Caligiuri to approve demolition grant funds up to \$4,000 for demolition of the structure located at 1008 B Avenue West. Motion carried unanimously.

Miller updated the committee on the demolition loan extensions given to Russ Parker for the property located at North A and College Avenue. Miller indicated the terms of the second extension gave Parker until May 11, 2014 to obtain an occupancy permit. Miller stated on May 11 Parker would owe \$8,830 and have one year to repay with 12 payments of \$750. According to the plan the amount due is to be paid back within a year, one year amortization, and would be income offset if not paid within that period. The committee wanted to know why \$750/month and Miller indicated that is the way her office bills for repayment of the amount due, but all that is required is that the amount due be paid within the 12 month period. Davis moved that Parker not be granted

anymore extensions if he has not obtained an occupancy permit by May 11, 2014, and Taylor seconded the motion. Motion carried unanimously.

It was moved by Davis, seconded by Adams to approve the claims lists for payment. Motion carried unanimously.

Miller reviewed the accounting report with the committee.

Bernice Hahn arrived at the meeting.

Schrock informed the committee the city has condemned the structure located at 517 B Avenue West and the owner of the property wants to give the property to the city and the bank is willing to walk away from the obligation owed to them, and the matter is on the May 5, 2014 city council agenda for consideration. Schrock asked the committee if they would be interested in a partnership to help with demolition of the structure. Schrock said he estimates the cost at around \$30,000 but don't know yet. Taylor said if residential development, he approves, but commercial no. Schrock said the property is zoned residential.

Schrock also asked the committee if they could be used as a source of funding to purchase the Lamson Mobile Home Park. Schrock said he had concerns with the property and the goal is to do something to clean up the property because of the improvements in the area. McReynolds was excited about putting housing there because there is already electric/gas hookup. She mentioned that Habitat for Humanity has done housing projects in areas such as this in other cities. Schrock said he is receptive to the idea if it could lead to a redevelopment opportunity. McReynolds said she would report back on a possible plan and provide information on other cities where the plan was used. Schrock said would need a master plan and look at like new development. Schrock said he would prefer a mixed use development since the property is close to the Lacey Complex which makes it a desirable location for development.

The meeting adjourned at 12:42 p.m.

Minutes by Marilyn Johannes

OSKALOOSA HOUSING TRUST FUND COMMITTEE MINUTES

Thursday, July 3, 2014 - 12:00 Noon

City Hall Conference Room

The committee meeting was called to order by Vice Chair Adams with the following members present: Dan Adams, Joe Caligiuri, Bernice Hahn, Noel C. Stahle, Carri Vande Ree and Randell Davis. Members absent: Kandes Dalbey, Valinn McReynolds, Kathie Dykstra, Dave Polkowske and Leon McCullough. Also present: City Clerk Amy Miller.

It was moved by Caligiuri, seconded by Davis to approve the May 1, 2014 Housing Trust Fund Committee Minutes. Motion carried unanimously.

It was moved by Caligiuri, seconded by Stahle to approve demolition grant funds up to \$4,000 for demolition of the structure located at 440 North 6th Street. Motion carried unanimously.

It was moved by Caligiuri, seconded by Hahn to approve demolition grant funds up to \$4,000 for demolition of the structure located at 502 North A Street. Motion carried unanimously.

It was moved by Davis, seconded by Vande Ree to hire Access Systems to complete the 1st Time Homebuyer database conversion. Motion carried unanimously.

Miller updated the committee on the Overland Property Group LLC loan agreement. Miller said staff is working with the city attorney on a loan agreement. Miller said once the agreement is signed a check would be issued.

Miller reviewed the Fiscal Year 2014 annual financial report with the committee. Adams asked if the report could be released to the public. Miller said it would be added to the city's website.

The committee expressed their appreciation for the hard work and dedication of Rob Taylor on the OHTF Committee. The committee wishes to thank Rob Taylor for his many years of service since the conception of the Oskaloosa Housing Trust Fund. His hard work, dedication and many years as committee chair are greatly appreciated.

It was moved by Hahn, seconded by Caligiuri to approve the claims lists for payment. Motion carried unanimously.

Miller reviewed the accounting report with the committee. Davis asked if the committee wanted to consider a fundraiser. Adams said the committee can talk about it more as the committee evaluates the programs during the coming year.

The meeting adjourned at 12:44 p.m.

Minutes by Amy Miller

CITY OF OSKALOOSA
CIVIL SERVICE COMMISSION
JULY 2, 2014

The City of Oskaloosa Civil Service Commission met Wednesday, July 2, 2014 at 4:30 p.m. Andy Holmberg called the meeting to order with Ken Seemann present. Also present were Jake McGee, Police Chief and Amy Miller, City Clerk. Jake Huyser was absent.

It was moved by Seemann, seconded by Holmberg to approve the April 28, 2014 minutes. Motion carried unanimously.

It was moved by Holmberg, seconded by Seemann to certify the following for Police Officer:

Jordan DeWald
Wesley Straight
Brandon Blanchard
Nicholas Landgrebe
Austin Rogers

Motion carried unanimously.

The meeting adjourned at 4:50 p.m.

Andy Holmberg, Chairman

ATTEST:

Amy Miller, City Clerk

CITY OF OSKALOOSA
PLANNING & ZONING COMMISSION
REGULAR MEETING MINUTES
July 14, 2014

A regularly-scheduled meeting of the Planning and Zoning (P&Z) Commission for the City of Oskaloosa was called to order at 4:30 p.m. on Monday, July 14, 2014, by Chairman Brian Booy, at 220 South Market Street, Oskaloosa, Iowa.

COMMISSION MEMBERS PRESENT: Chairman Brian Booy, Holden Barnhart, R. D. Keep and Wyatt Russell, (Wyndell Campbell, Charlie Comfort and Michelle Purdum arrived at 4:32 p.m.). COMMISSION MEMBERS ABSENT: None. CITY STAFF PRESENT: Akhilesh Pal and Marilyn Johannes. OTHERS PRESENT: Vicki Wolfswinkel, Gary Fisher, Minesh Patel, Daryl Fisher, Tom Walling and Ken Allsup (Oskey News).

Minutes from the June 9, 2014 Planning and Zoning Commission meeting.

It was moved by Barnhart, seconded by Russell to approve the June 9, 2014 Planning and Zoning Commission minutes. The vote was: YES - Barnhart, Booy, Campbell, Comfort, Keep, and Russell. No - none. Abstain: Purdum (She was not at the meeting.) Motion carried.

Consider vacation and sale of 120' X 16.5' of the north-south alley adjacent to 211 North J Street.

Vicki Wolfswinkel, owner of 211 North J Street, addressed the commission regarding the request. Wolfswinkel indicated they paved the alley when the chiropractic clinic was constructed, and they bought the property west of the alley at 1112 B Avenue West for a parking lot because the business needs additional parking for the Wolfswinkel Chiropractic Clinic in part because veterinary clinic customers use the parking lot south of their clinic. Wolfswinkel said they want to buy the alley to prevent customers from having to cross the alley to get to and from the clinic if they park in the new parking lot.

It was moved by Comfort, seconded by Keep to approve the vacation and sale of the north-south alley adjacent to 211 North J Street with retainage of easement rights. Gary Fisher, owner of the Quality Car Wash, asked to address the commission. Fisher said he does not want the alley vacated and sold because he wants to expand his business to add an automatic wash bay on the west side of his business and if he adds the bay customers will need to use the north-south alley to exit the wash bay. Barnhart said he understood why the Wolfswinkels want to purchase the alley, but he did not want to interfere with business expansion. After further discussion, Booy asked for roll call and the vote was: YES - Booy, Campbell, Comfort, Keep, Purdum and Russell. No - Barnhart. Motion carried.

Consider vacation and sale of 237.50' X 16' of the north-south alley adjacent to 1210 A Avenue East.

Minesh Patel, owner of 1210 A Avenue East, addressed the commission. Patel indicated he did not know he didn't own the property facing High Avenue East (southwest of Budget Inn). Patel said he has no plans for the property. Campbell asked if a storage building was in the alley and Pal said he did not believe the building was in the alley but it needs to be verified and staked by a surveyor. Pal said the owner of CB Liquor was concerned about access for emergency vehicles if needed if the alley is vacated and sold. Pal said he contacted Fire Chief Neff and Neff said he had no concerns if the north side of the alley is sold and said the

department did not need the north side of the alley for access. Patel said he was ok with only the north side of the alley. However, he agreed to give easement rights to the other property owner of CB Liquor if he owns the entire north-south alley.

It was moved by Campbell to approve the vacation and sale of the entire north-south alley adjacent to 1210 A Avenue East with retainage of easement rights. Comfort seconded. The vote was: YES - Barnhart, Booy, Campbell, Comfort, Keep, Purdum and Russell. No - None. Motion carried.

Consider a site plan for the property at 1107 A Avenue West.

Daryl Fisher, owner of 1107 A Avenue West, addressed the commission regarding his plans for the property. Fisher indicated the property was in poor condition and needed to be improved. Fisher said that Great Expectations would remain and the rest of the building would be torn down and replaced with the new building. Pal said the improvements include sidewalks, a handicap parking space and better setback. Pal said plans require IDOT approval and the City Council would need to approve on-street angle parking. Pal said it isn't required, but plans include putting concrete in the alley. Pal said besides IDOT approval, and City Council approval of the on-street angle parking, he has two stipulations: (1) Need landscaping plan and (2) Great Expectations door needs to be the same level as entrance to comply with ADA regulations. Campbell asked why City Council has to approve angle parking spaces. Pal said the Oskaloosa Municipal Code requires City Council approval of on-street parking if angle parking spaces.

It was moved by Barnhart, seconded by Purdum to approve the site plan for the property at 1107 A Avenue West with contingencies. The vote was: YES - Barnhart, Booy, Campbell, Comfort, Keep, Purdum and Russell. No - None. Motion carried.

Pal told the commission he was presenting an item at the next meeting regarding accessory structures because of problems created with meeting and understanding existing requirements and currently there is no limit on the number of accessory structures and he believes there should be a limit. He said staff is checking with other cities to see what they require in regard to accessory structures.

Campbell and Barnhart questioned why the City Council denied the P & Z recommendation regarding an alley vacate and sale. Pal said that the property owner opposing the alley vacate was not present at the Planning & Zoning meeting, but was present at the City Council meeting. This presented a discussion among property owners to allow the Council to decide on the alley vacate. Pal also said the circumstances changed when the property owner who was causing the problems in regard to the alley moved.

Michelle Purdum told the commission this was her last meeting because she is submitting her resignation from the commission because of other matters taking up her time.

Chairman Booy adjourned the meeting at 5:20 p.m.

Minutes by Marilyn Johannes

600-WATER FUND

ACCT NO#	ACCOUNT NAME	BEGINNING BALANCE	M-T-D ACTIVITY	Y-T-D ACTIVITY	CURRENT BALANCE
<u>ASSETS</u>					
<u>CASH</u>					
600-1113	Cash - Checking	184,024.23	200,918.05CR	33,717.89CR	150,306.34
600-1120	Petty Cash	300.00	0.00	0.00	300.00
600-1161	Investments	565,100.62	302,749.58	8.54CR	565,092.08
600-1162	Money Mkt Funds	613,818.49	96,193.96CR	243,910.94CR	369,907.55
	TOTAL CASH	1,363,243.34	5,637.57	277,637.37CR	1,085,605.97
<u>TAXES & OTHER RECEIVABLE</u>					
600-1210	Accounts Receivable - Sales Ta	13,927.36	4,067.06	1,130.81	15,058.17
600-1221	Accounts Receivable - Water	202,184.82	52,293.90	18,462.61	220,647.43
600-1222	Accounts Receivable - City Sew	197,112.41	45,463.12	7,822.44CR	189,289.97
600-1223	Accounts Receivable - Meter Re	1,492.45	68.95CR	91.14	1,583.59
600-1224	Accounts Receivable - Late Fee	2,515.16	420.04	821.86	3,337.02
600-1226	Due To Customer	7,693.14CR	503.26	899.80	6,793.34CR
600-1229	Accounts Rec - Stormwater Fee	25,454.97	8,072.81	137.17	25,592.14
600-1231	Accounts Receivable - Misc	117.47	101.29CR	321.24	438.71
	TOTAL TAXES & OTHER RECEIVABLE	435,111.50	110,649.95	14,042.19	449,153.69
<u>INVENTORIES</u>					
	TOTAL ASSETS	1,798,354.84	116,287.52	263,595.18CR	1,534,759.66
<u>LIABILITIES</u>					
600-2080	Oskaloosa City Sewer Payable	315,461.18CR	54,735.57CR	1,910.44CR	317,371.62CR
600-2140	Iowa Sales Tax Payable	13,543.69CR	4,650.24CR	1,038.68CR	14,582.37CR
600-2141	Iowa Service Tax Payable	21.79CR	16.89CR	17.56CR	39.35CR
600-2181	Osky Stormwater Fee - Payable	41,351.34CR	7,258.15CR	933.88CR	42,285.22CR
	TOTAL LIABILITIES	370,378.00CR	66,660.85CR	3,900.56CR	374,278.56CR
<u>FUND EQUITY</u>					
600-3800	Earned Surplus	1,427,976.84CR	0.00	0.00	1,427,976.84CR
	TOTAL REVENUES	0.00	226,468.68CR	2,137,741.26CR	2,137,741.26CR
	TOTAL EXPENDITURES	0.00	176,842.01	2,405,237.00	2,405,237.00
	TOTAL FUND EQUITY	1,427,976.84CR	49,626.67CR	267,495.74	1,160,481.10CR
	TOTAL LIABILITIES & EQUITY	1,798,354.84CR	116,287.52CR	263,595.18	1,534,759.66CR

601-CONSUMER DEPOSIT FUND

ACCT NO#	ACCOUNT NAME	BEGINNING BALANCE	M-T-D ACTIVITY	Y-T-D ACTIVITY	CURRENT BALANCE
<u>ASSETS</u>					
<u>CASH</u>					
601-1113	Cash - Checking	20,640.00	3,952.54CR	1,365.00	22,005.00
601-1161	Investments	65,000.00	0.00	0.00	65,000.00
	TOTAL CASH	85,640.00	3,952.54CR	1,365.00	87,005.00
<u>TAXES & OTHER RECEIVABLE</u>					
	TOTAL ASSETS	85,640.00	3,952.54CR	1,365.00	87,005.00
<u>LIABILITIES</u>					
601-2210	Consumer Deposits Reserve	85,640.00CR	3,325.00	1,365.00CR	87,005.00CR
	TOTAL LIABILITIES	85,640.00CR	3,325.00	1,365.00CR	87,005.00CR
<u>FUND EQUITY</u>					
	TOTAL REVENUES	0.00	627.54	0.00	0.00
	TOTAL FUND EQUITY	0.00	627.54	0.00	0.00
	TOTAL LIABILITIES & EQUITY	85,640.00CR	3,952.54	1,365.00CR	87,005.00CR

603-WATER REV SINKING FUND

ACCT NO#	ACCOUNT NAME	BEGINNING BALANCE	M-T-D ACTIVITY	Y-T-D ACTIVITY	CURRENT BALANCE
<u>ASSETS</u>					
CASH					
603-1161	Investments	34,899.38	302,749.58CR	8.54	34,907.92
	TOTAL CASH	<u>34,899.38</u>	<u>302,749.58CR</u>	<u>8.54</u>	<u>34,907.92</u>
	TOTAL ASSETS	34,899.38	302,749.58CR	8.54	34,907.92
=====					
<u>LIABILITIES</u>					
FUND EQUITY					
603-3800	Earned Surplus	34,899.38CR	0.00	0.00	34,899.38CR
	TOTAL REVENUES	0.00	34,907.92CR	418,801.04CR	418,801.04CR
	TOTAL EXPENDITURES	0.00	337,657.50	418,792.50	418,792.50
	TOTAL FUND EQUITY	<u>34,899.38CR</u>	<u>302,749.58</u>	<u>8.54CR</u>	<u>34,907.92CR</u>
	TOTAL LIABILITIES & EQUITY	34,899.38CR	302,749.58	8.54CR	34,907.92CR
=====					

604-METER REPLACEMENT FUND

ACCT NO#	ACCOUNT NAME	BEGINNING BALANCE	M-T-D ACTIVITY	Y-T-D ACTIVITY	CURRENT BALANCE
<u>ASSETS</u>					
<u>CASH</u>					
604-1162	Money Market Fund	138,734.99	1,972.43CR	33,922.03CR	104,812.96
	TOTAL CASH	138,734.99	1,972.43CR	33,922.03CR	104,812.96
	TOTAL ASSETS	138,734.99	1,972.43CR	33,922.03CR	104,812.96
<u>LIABILITIES</u>					
<u>FUND EQUITY</u>					
604-3800	Earned Surplus	138,734.99CR	0.00	0.00	138,734.99CR
	TOTAL REVENUES	0.00	3,000.00CR	36,000.00CR	36,000.00CR
	TOTAL EXPENDITURES	0.00	4,972.43	69,922.03	69,922.03
	TOTAL FUND EQUITY	138,734.99CR	1,972.43	33,922.03	104,812.96CR
	TOTAL LIABILITIES & EQUITY	138,734.99CR	1,972.43	33,922.03	104,812.96CR

OSKALOOSA WATER DEPARTMENT
REVENUE & EXPENSE REPORT (UNAUDITED)
AS OF: JUNE 30TH, 2014

600-WATER FUND
FINANCIAL SUMMARY

100.00% OF YEAR COMP.

	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>REVENUE SUMMARY</u>					
ALL REVENUE	2,135,964.00	226,468.68	2,137,741.26	100.08	(1,777.26)
TOTAL REVENUES	2,135,964.00	226,468.68	2,137,741.26	100.08	(1,777.26)
<u>EXPENDITURE SUMMARY</u>					
Plant Operations	505,172.00	35,372.27	430,279.35	85.17	74,892.65
Water Distribution	1,360,910.00	88,142.69	1,298,548.74	95.42	62,361.26
Water Office	685,184.00	53,327.05	676,408.91	98.72	8,775.09
TOTAL EXPENDITURES	2,551,266.00	176,842.01	2,405,237.00	94.28	146,029.00

REVENUES OVER/ (UNDER) EXPENDITURES (415,302.00) 49,626.67 (267,495.74) (147,806.26)

OSKALOOSA WATER DEPARTMENT
REVENUE & EXPENSE REPORT (UNAUDITED)
AS OF: JUNE 30TH, 2014

600-WATER FUND

100.00% OF YEAR COMP.

REVENUES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
MATERIAL SALES	2,000.00	122.18	6,294.33	314.72 (	4,294.33)
LABOR CHARGES	3,000.00	370.00	6,252.09	208.40 (	3,252.09)
LATE FEES - WATER	38,000.00	3,673.50	41,027.04	107.97 (	3,027.04)
METERED SALES	1,981,504.00	209,868.62	1,995,439.16	100.70 (	13,935.16)
OTHER INCOME	37,000.00	7,555.32	11,807.12	31.91	25,192.88
REIMBURSEMENTS	21,100.00	66.60	20,891.97	99.01	208.03
INTEREST	6,000.00	1,176.58	7,047.98	117.47 (	1,047.98)
HOUSE RENTAL	360.00	30.00	360.00	100.00	0.00
METER RENTAL	16,200.00	1,527.45	17,258.91	106.54 (	1,058.91)
SPRINKLER & HYDRANT	4,100.00	0.00	4,278.73	104.36 (	178.73)
MISC INCOME	26,700.00	2,078.43	27,083.93	101.44 (	383.93)

TOTAL REVENUES 2,135,964.00 226,468.68 2,137,741.26 100.08 (1,777.26)

600-WATER FUND
Plant Operations

100.00% OF YEAR COMP.

DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
SALARIES & WAGES					
600-5-8000-6014 LABOR - PLANT	103,554.00	4,179.20	86,791.04	83.81	16,762.96
TOTAL SALARIES & WAGES	103,554.00	4,179.20	86,791.04	83.81	16,762.96
EMPLOYEE BENEFITS/COSTS					
600-5-8000-6110 EMPLOYER'S SHARE-SOC	6,420.00	259.12	5,381.22	83.82	1,038.78
600-5-8000-6120 EMPLOYERS SHARE - ME	1,501.00	60.60	1,258.49	83.84	242.51
600-5-8000-6130 EMPLOYER'S SHARE -	9,247.00	373.20	7,750.38	83.82	1,496.62
TOTAL EMPLOYEE BENEFITS/COSTS	17,168.00	692.92	14,390.09	83.82	2,777.91
STAFF DEVELOPMENT					
600-5-8000-6240 EDUCATION/SEMINARS	2,000.00	900.00	1,215.00	60.75	785.00
TOTAL STAFF DEVELOPMENT	2,000.00	900.00	1,215.00	60.75	785.00
REPAIR, MAINT. & UTIL.					
600-5-8000-6310 MAINTENANCE - BUILDI	4,500.00	141.55	1,992.74	44.28	2,507.26
600-5-8000-6311 MAINTENANCE - WELLS	33,000.00	0.00	25,149.82	76.21	7,850.18
600-5-8000-6320 MAINTENANCE - GROUND	20,000.00	22.99	10,189.98	50.95	9,810.02
600-5-8000-6350 MAINTENANCE - MACHIN	25,000.00	674.42	14,633.82	58.54	10,366.18
600-5-8000-6371 ELECTRIC / GAS	80,000.00	6,596.11	80,334.64	100.42	334.64
TOTAL REPAIR, MAINT. & UTIL.	162,500.00	7,535.07	132,301.00	81.42	30,199.00
CONTRACTUAL SERVICES					
600-5-8000-6450 LAB EXPENSES	15,000.00	2,606.06	13,137.25	87.58	1,862.75
TOTAL CONTRACTUAL SERVICES	15,000.00	2,606.06	13,137.25	87.58	1,862.75
COMMODITIES					
600-5-8000-6501 CHEMICALS	196,750.00	19,221.20	180,668.23	91.83	16,081.77
600-5-8000-6504 SMALL TOOLS	1,000.00	75.77	207.16	20.72	792.84
600-5-8000-6507 MISC EXPENSE	1,000.00	121.33	856.53	85.65	143.47
600-5-8000-6510 SAFETY SUPPLIES	500.00	0.00	250.40	50.08	249.60
600-5-8000-6599 MISC SUPPLIES	700.00	40.72	462.65	66.09	237.35
TOTAL COMMODITIES	199,950.00	19,459.02	182,444.97	91.25	17,505.03
CAPITAL OUTLAY					
600-5-8000-6723 NEW / REPLACE MACHIN	5,000.00	0.00	0.00	0.00	5,000.00
TOTAL CAPITAL OUTLAY	5,000.00	0.00	0.00	0.00	5,000.00
TOTAL Plant Operations	505,172.00	35,372.27	430,279.35	85.17	74,892.65

OSKALOOSA WATER DEPARTMENT
REVENUE & EXPENSE REPORT (UNAUDITED)
AS OF: JUNE 30TH, 2014

600-WATER FUND
Water Distribution

100.00% OF YEAR COMP.

DEPARTMENTAL EXPENDITURES

	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>SALARIES & WAGES</u>					
600-5-8001-6010 LABOR - DISTRIBUTION	265,038.00	13,994.54	267,656.77	100.99	(2,618.77)
TOTAL SALARIES & WAGES	265,038.00	13,994.54	267,656.77	100.99	(2,618.77)
<u>EMPLOYEE BENEFITS/COSTS</u>					
600-5-8001-6110 EMPLOYER'S SHARE-SOC	16,432.00	867.67	16,594.66	100.99	(162.66)
600-5-8001-6120 EMPLOYERS SHARE - ME	3,843.00	202.92	3,881.01	100.99	(38.01)
600-5-8001-6130 EMPLOYER'S SHARE -	21,039.00	1,249.70	20,475.30	97.32	563.70
600-5-8001-6181 UNIFORMS	3,200.00	495.27	3,256.46	101.76	(56.46)
TOTAL EMPLOYEE BENEFITS/COSTS	44,514.00	2,815.56	44,207.43	99.31	306.57
<u>STAFF DEVELOPMENT</u>					
600-5-8001-6240 EDUCATION/SEMINARS	2,000.00	0.00	2,124.55	106.23	(124.55)
TOTAL STAFF DEVELOPMENT	2,000.00	0.00	2,124.55	106.23	(124.55)
<u>REPAIR, MAINT. & UTIL.</u>					
600-5-8001-6310 MAINTENANCE - BUILDI	1,000.00	300.00	1,027.15	102.72	(27.15)
600-5-8001-6312 MAINTENANCE - WATER	90,000.00	6,723.02	94,237.62	104.71	(4,237.62)
600-5-8001-6313 MAINTENANCE - METERS	15,000.00	447.50	10,997.83	73.32	4,002.17
600-5-8001-6331 GASOLINE	23,000.00	1,979.57	23,194.60	100.85	(194.60)
600-5-8001-6332 TRUCK EXPENSE	3,500.00	4.26	2,662.70	76.08	837.30
600-5-8001-6350 MAINTENANCE - MACHIN	4,000.00	25.96	4,178.84	104.47	(178.84)
600-5-8001-6371 ELECTRIC / GAS	5,000.00	344.87	6,403.21	128.06	(1,403.21)
TOTAL REPAIR, MAINT. & UTIL.	141,500.00	9,825.18	142,701.95	100.85	(1,201.95)
<u>CONTRACTUAL SERVICES</u>					
<u>COMMODITIES</u>					
600-5-8001-6504 SMALL TOOLS	3,000.00	93.79	1,965.46	65.52	1,034.54
600-5-8001-6507 MISC EXPENSE	2,500.00	0.00	1,842.43	73.70	657.57
600-5-8001-6510 SAFETY SUPPLIES	2,000.00	31.99	2,467.01	123.35	(467.01)
600-5-8001-6599 MISC SUPPLIES	1,500.00	92.97	1,456.05	97.07	43.95
TOTAL COMMODITIES	9,000.00	218.75	7,730.95	85.90	1,269.05
<u>CAPITAL OUTLAY</u>					
600-5-8001-6710 AUTOMOTIVE EQUIPMENT	29,500.00	0.00	29,022.51	98.38	477.49
600-5-8001-6723 NEW/REPLACE MACHINER	7,000.00	0.00	6,684.00	95.49	316.00
600-5-8001-6727 NEW EQUIPMENT	5,300.00	493.90	5,793.90	109.32	(493.90)
600-5-8001-6750 NEW / REPLACE BUILDI	346,000.00	21,225.00	297,946.12	86.11	48,053.88
600-5-8001-6780 NEW/REPLACE WATER SU	56,257.00	1,661.84	39,879.52	70.89	16,377.48
TOTAL CAPITAL OUTLAY	444,057.00	23,380.74	379,326.05	85.42	64,730.95

OSKALOOSA WATER DEPARTMENT
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: JUNE 30TH, 2014

600-WATER FUND
 Water Distribution

100.00% OF YEAR COMP.

DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	%	
				OF BUDGET	OF BUDGET BALANCE
TRANSFERS					
600-5-8001-6910603 TRANSFER OUT - SINKI	418,801.00	34,907.92	418,801.04	100.00	(0.04)
600-5-8001-6910604 TRANSFER OUT - METER	36,000.00	3,000.00	36,000.00	100.00	0.00
TOTAL TRANSFERS	454,801.00	37,907.92	454,801.04	100.00	(0.04)
TOTAL Water Distribution	1,360,910.00	88,142.69	1,298,548.74	95.42	62,361.26

OSKALOOSA WATER DEPARTMENT
REVENUE & EXPENSE REPORT (UNAUDITED)
AS OF: JUNE 30TH, 2014

600-WATER FUND
Water Office

100.00% OF YEAR COMP.

DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
SALARIES & WAGES					
600-5-8006-6011 SALARIES - SUP'T	72,918.00	6,230.76	72,917.78	100.00	0.22
600-5-8006-6012 SALARIES - OFFICE	144,019.00	11,250.93	143,651.19	99.74	367.81
600-5-8006-6013 SALARIES - SERVICE T	48,381.00	3,668.80	48,227.58	99.68	153.42
600-5-8006-6020 SALARIES - TRUSTEES	3,402.00	378.00	3,276.00	96.30	126.00
600-5-8006-6050 HEALTH INS. WAGE	4,176.00	348.00	4,176.00	100.00	0.00
TOTAL SALARIES & WAGES	272,896.00	21,876.49	272,248.55	99.76	647.45
EMPLOYEE BENEFITS/COSTS					
600-5-8006-6110 EMPLOYER'S SHARE-SOC	16,661.00	1,334.77	16,620.68	99.76	40.32
600-5-8006-6120 EMPLOYERS SHARE - ME	3,896.00	312.17	3,887.02	99.77	8.98
600-5-8006-6130 EMPLOYER'S SHARE -	23,693.00	1,888.72	23,646.30	99.80	46.70
600-5-8006-6150 HEALTH/LIFE INSURANC	207,749.00	13,140.12	200,032.18	96.29	7,716.82
600-5-8006-6183 SELF INSURANCE EXPEN	6,500.00	0.00	2,000.00	30.77	4,500.00
TOTAL EMPLOYEE BENEFITS/COSTS	258,499.00	16,675.78	246,186.18	95.24	12,312.82
STAFF DEVELOPMENT					
600-5-8006-6220 DUES & SUBSCRIPTIONS	5,500.00	0.00	5,365.37	97.55	134.63
600-5-8006-6240 EDUCATION/SEMINARS	6,000.00	0.00	4,140.03	69.00	1,859.97
TOTAL STAFF DEVELOPMENT	11,500.00	0.00	9,505.40	82.66	1,994.60
REPAIR, MAINT. & UTIL.					
600-5-8006-6310 MAINTENANCE - BUILDI	500.00	29.94	29.94	5.99	470.06
600-5-8006-6373 TELEPHONE	7,500.00	525.85	6,161.73	82.16	1,338.27
TOTAL REPAIR, MAINT. & UTIL.	8,000.00	555.79	6,191.67	77.40	1,808.33
CONTRACTUAL SERVICES					
600-5-8006-6401 AUDIT EXPENSE	7,675.00	175.00	7,675.00	100.00	0.00
600-5-8006-6402 PUBLICATIONS	2,500.00	83.05	1,979.74	79.19	520.26
600-5-8006-6408 INSURANCE	52,900.00	0.00	51,885.10	98.08	1,014.90
600-5-8006-6409 JANITORIAL EXPENSE	2,000.00	179.74	1,585.55	79.28	414.45
600-5-8006-6411 LEGAL FEES	1,000.00	9,013.24	25,632.60	2,563.26	(24,632.60)
600-5-8006-6419 COMPUTER EXPENSE	22,300.00	419.48	15,400.54	69.06	6,899.46
600-5-8006-6492 METER READING SERVIC	17,100.00	2,041.60	17,075.30	99.86	24.70
TOTAL CONTRACTUAL SERVICES	105,475.00	11,912.11	121,233.83	114.94	(15,758.83)
COMMODITIES					
600-5-8006-6506 OFFICE SUPPLIES	6,000.00	492.60	5,283.72	88.06	716.28
600-5-8006-6507 MISC EXPENSE	1,500.00	0.00	1,402.42	93.49	97.58
600-5-8006-6508 POSTAGE	14,000.00	1,472.84	11,863.63	84.74	2,136.37
600-5-8006-6520 CREDIT CARD FEES	1,600.00	341.44	1,587.53	99.22	12.47
600-5-8006-6599 MISC SUPPLIES	1,000.00	0.00	705.99	70.60	294.01
TOTAL COMMODITIES	24,100.00	2,306.88	20,843.29	86.49	3,256.71

OSKALOOSA WATER DEPARTMENT
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: JUNE 30TH, 2014

600-WATER FUND
 Water Office

100.00% OF YEAR COMP.

DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
CAPITAL OUTLAY					
500-5-8006-6725 OFFICE EQUIPMENT	4,714.00	0.00	199.99	4.24	4,514.01
TOTAL CAPITAL OUTLAY	4,714.00	0.00	199.99	4.24	4,514.01
TOTAL Water Office	685,184.00	53,327.05	676,408.91	98.72	8,775.09

OSKALOOSA WATER DEPARTMENT
REVENUE & EXPENSE REPORT (UNAUDITED)
AS OF: JUNE 30TH, 2014

600-WATER FUND
Plant Project

100.00% OF YEAR COMP.

DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
REPAIR, MAINT. & UTIL.					
CONTRACTUAL SERVICES					
COMMODITIES					
CAPITAL OUTLAY					
DEBT SERVICE					
TOTAL EXPENDITURES	2,551,266.00	176,842.01	2,405,237.00	94.28	146,029.00
REVENUES OVER/(UNDER) EXPENDITURES	(415,302.00)	49,626.67	(267,495.74)		(147,806.26)

OSKALOOSA WATER DEPARTMENT
REVENUE & EXPENSE REPORT (UNAUDITED)
AS OF: JUNE 30TH, 2014

601-CONSUMER DEPOSIT FUND
FINANCIAL SUMMARY

100.00% OF YEAR COMP.

CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
0.00	(627.54)	0.00	0.00	0.00
0.00	(627.54)	0.00	0.00	0.00

REVENUE SUMMARY

ALL REVENUE

TOTAL REVENUES

OSKALOOSA WATER DEPARTMENT
REVENUE & EXPENSE REPORT (UNAUDITED)
AS OF: JUNE 30TH, 2014

601-CONSUMER DEPOSIT FUND

100.00% OF YEAR COMP.

REVENUES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
601-4-8001-44300 INTEREST	0.00 (	627.54)	0.00	0.00	0.00
TOTAL REVENUES	0.00 (	627.54)	0.00	0.00	0.00
REVENUES OVER/(UNDER) EXPENDITURES	0.00 (	627.54)	0.00		0.00

OSKALOOSA WATER DEPARTMENT
 REVENUE & EXPENSE REPORT (UNAUDITED)
 AS OF: JUNE 30TH, 2014

603-WATER REV SINKING FUND
 FINANCIAL SUMMARY

100.00% OF YEAR COMP.

	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>REVENUE SUMMARY</u>					
ALL REVENUE	418,801.00	34,907.92	418,801.04	100.00	(0.04)
TOTAL REVENUES	418,801.00	34,907.92	418,801.04	100.00	(0.04)
<u>EXPENDITURE SUMMARY</u>					
Water Rev Bond Sink Fund	418,793.00	337,657.50	418,792.50	100.00	0.50
TOTAL EXPENDITURES	418,793.00	337,657.50	418,792.50	100.00	0.50
REVENUES OVER/(UNDER) EXPENDITURES	8.00	(302,749.58)	8.54	(	0.54)

OSKALOOSA WATER DEPARTMENT
REVENUE & EXPENSE REPORT (UNAUDITED)
AS OF: JUNE 30TH, 2014

603-WATER REV SINKING FUND

100.00% OF YEAR COMP.

REVENUES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
603-4-8001-44830600 TRANSFER IN - REVENU	418,801.00	34,907.92	418,801.04	100.00 (	0.04)
TOTAL REVENUES	418,801.00	34,907.92	418,801.04	100.00 (	0.04)

OSKALOOSA WATER DEPARTMENT
REVENUE & EXPENSE REPORT (UNAUDITED)
AS OF: JUNE 30TH, 2014

603-WATER REV SINKING FUND
Water Rev Bond Sink Fund

100.00% OF YEAR COMP.

DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>COMMODITIES</u>					
DEBT SERVICE					
603-5-8001-6801 PRINCIPAL	243,000.00	243,000.00	243,000.00	100.00	0.00
603-5-8001-6851 INTEREST PAYMENT	162,270.00	81,135.00	162,270.00	100.00	0.00
603-5-8001-6899 BOND SERVICING FEE	13,523.00	13,522.50	13,522.50	100.00	0.50
TOTAL DEBT SERVICE	418,793.00	337,657.50	418,792.50	100.00	0.50

TOTAL Water Rev Bond Sink Fund 418,793.00 337,657.50 418,792.50 100.00 0.50

TOTAL EXPENDITURES 418,793.00 337,657.50 418,792.50 100.00 0.50

REVENUES OVER/(UNDER) EXPENDITURES 8.00 (302,749.58) 8.54 (0.54)

OSKALOOSA WATER DEPARTMENT
REVENUE & EXPENSE REPORT (UNAUDITED)
AS OF: JUNE 30TH, 2014

604-METER REPLACEMENT FUND
FINANCIAL SUMMARY

100.00% OF YEAR COMP.

	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>REVENUE SUMMARY</u>					
ALL REVENUE	36,000.00	3,000.00	36,000.00	100.00	0.00
TOTAL REVENUES	36,000.00	3,000.00	36,000.00	100.00	0.00
<u>EXPENDITURE SUMMARY</u>					
Water Rev Bond Rsrv Fund	75,000.00	4,972.43	69,922.03	93.23	5,077.97
TOTAL EXPENDITURES	75,000.00	4,972.43	69,922.03	93.23	5,077.97
REVENUES OVER/ (UNDER) EXPENDITURES	(39,000.00)	(1,972.43)	33,922.03	(	5,077.97)

OSKALOOSA WATER DEPARTMENT
REVENUE & EXPENSE REPORT (UNAUDITED)
AS OF: JUNE 30TH, 2014

604-METER REPLACEMENT FUND

100.00% OF YEAR COMP.

REVENUES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
604-4-8001-44830600 TRANSFER IN - METER	36,000.00	3,000.00	36,000.00	100.00	0.00
TOTAL REVENUES	36,000.00	3,000.00	36,000.00	100.00	0.00

604-METER REPLACEMENT FUND
Water Rev Bond Rsriv Fund

100.00% OF YEAR COMP.

DEPARTMENTAL EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>CAPITAL OUTLAY</u>					
604-5-8001-6724 NEW/REPLACE METERS	75,000.00	4,972.43	69,922.03	93.23	5,077.97
TOTAL CAPITAL OUTLAY	75,000.00	4,972.43	69,922.03	93.23	5,077.97
TRANSFERS					
TOTAL Water Rev Bond Rsriv Fund	75,000.00	4,972.43	69,922.03	93.23	5,077.97
TOTAL EXPENDITURES	75,000.00	4,972.43	69,922.03	93.23	5,077.97
REVENUES OVER/ (UNDER) EXPENDITURES	(39,000.00) (	1,972.43) (	33,922.03)	(	5,077.97)

FINANCIAL NOTES

06/30/2014

100% of year completed

financial notes.xls

COMPARISON TO LAST YEAR'S INCOME

	YTD 2012/2013		YTD 2013/2014		% of Budget		DIFFERENCE YTD	
	JUNE	JUNE	JUNE	JUNE	Budget	Budget	YTD	YTD
ALL REVENUES	\$ 243,362.94	\$ 2,564,523.75	\$ 263,749.06	\$ 2,592,542.30	100.07%	\$	\$ 28,018.55	
metered sales	\$ 193,322.14	\$ 1,993,746.96	\$ 209,868.62	\$ 1,995,439.16	100.70%	\$	\$ 1,692.20	

Notes:

We have billed 8,375 units of water less during the current time period to date as compared to last year, but increased total billed water sales by \$3,567.49.

As the comparison shows, we increased our income by \$28,018.55, due mostly to an insurance check we received for lightning damage in the previous fiscal year. That check was for \$20,244.22.

COMPARISON TO LAST YEAR'S EXPENSES

	YTD 2012/2013		YTD 2013/2014		% of Budget		DIFFERENCE YTD	
	JUNE	JUNE	JUNE	JUNE	Budget	Budget	YTD	YTD
EXPENSES								
Operating Expenses	\$ 114,407.42	\$ 1,403,220.74	\$ 115,553.35	\$ 1,570,909.92	95.63	\$	\$ 167,689.18	
Capital Expenses	\$ 384,959.24	\$ 897,829.38	\$ 66,261.09	\$ 904,249.11	91.94	\$	\$ 6,419.73	
SRF Loan Payments	\$ -	\$ 419,470.83	\$ 337,657.50	\$ 418,792.50	100	\$	\$ (678.33)	
Total	\$ 499,366.66	\$ 2,720,520.95	\$ 519,471.94	\$ 2,893,951.53	95.04%	\$	\$ 173,430.58	

Notes:

There was 1 leak in June, on the 20" main, that resulted in the loss of 3,000 gallons per minute.

Our operating expenses increased by \$167,689.18 over last fiscal year. Labor costs for plant and distribution saw an increase of \$67,175 due to the retirement of two long term employees. Two new people were hired before their retirements so they could have sufficient training.

Due to the severe winter conditions, repairs to the distribution system increased by \$46,035 over last year.

Chemicals for treating the water was \$10,632 higher than last year.

Administrative labor and benefits were \$20,301 higher than last year, and legal fees were \$25,037.



City Council
Communication
Meeting Date: July 21, 2014
Requested By: City Clerk/Finance

Item Title: CONSENT AGENDA

Consider approval of a renewal application for a Class C Liquor License with Sunday Sales from Mahaska Bowling and Recreation Center Inc, 1700 A Avenue East.

Explanation:

The application is complete and in order for approval.

Staff recommends approval.

Budget Consideration:

\$845.00 to the General Fund.

Attachments :

None



City Council
 Communication
 Meeting Date: July 21, 2014
 Requested By: City Clerk/Finance

Item Title: CONSENT AGENDA

Consider a motion to receive and file financial reports for June 2014.

Explanation:

The financial reports for June 2014 are included in your agenda packets. These reports show the beginning fund balance, revenue, expenses and ending fund balance for the reporting month and ending fiscal year. These reports do not include yearend closing entries or the water department's quarterly report.

The figures below show the expenses by program.

Program	Total Budget	Actual Expense	Percentage Used
Public Safety	\$2,938,541	\$2,802,950	95.39%
Public Works	\$1,423,376	\$1,272,250	89.38%
Health and Social Services	\$0	\$0	0.00%
Culture and Recreation	\$1,222,972	\$1,033,721	84.53%
Community and Economic Development	\$1,219,793	\$1,162,314	95.29%
General Government	\$1,010,414	\$848,320	83.96%
Debt Services	\$935,564	\$935,563	100.00%
Capital Projects	\$1,527,669	\$1,250,104	81.83%
Business Type/Enterprises	\$5,680,358	\$4,314,747	75.96% *
Transfers Out	\$4,665,699	\$4,112,238	88.14%

*Water department quarterly reports are not included in figures.

Budget Consideration:

None

Attachments :

June 2014 Financial Reports



City of Oskaloosa, IA

City of Oskaloosa, IA Treasurer's Report

June 1 - 30, 2014

Fund	Beginning Fund Balance	Revenue (+)	Expenses (-)	Change in Pending Payables	Change in Investments	Ending Fund Balance
001: GENERAL FUND	2,204,046.92	199,867.72	293,487.26	(56,569.77)	(85,887.46)	2,053,857.61
002: GENERAL FUND INSURANCE FUND	6,388.93	989.96	0.00	0.00	1,001.14	7,378.89
003: GENERAL FUND CAPITAL EQUIPMENT	201,862.73	20.95	0.00	0.00	20.95	201,883.68
004: LIBRARY COPIER REVOLVING FUND	6,792.89	460.49	0.00	(289.74)	1,001.14	6,963.64
005: GENERAL FUND BAND	3,485.69	129.11	6.71	(770.98)	0.00	2,837.11
006: GENERAL FUND - LOST	1,122,140.11	116,601.66	114,856.63	0.00	(56,815.63)	1,123,885.14
007: GENERAL FUND - UTILITY FRANCHISE FEES	862,983.95	99.03	427,283.48	0.00	0.00	435,799.50
110: ROAD USE TAX FUND	631,556.44	106,280.95	32,375.92	(33,360.88)	39,069.95	672,100.59
112: EMPLOYEE BENEFIT FUND	306,353.92	8,294.72	78,656.99	0.00	(69,955.53)	235,991.65
119: EMERGENCY FUND	0.00	204.47	204.47	0.00	0.00	0.00
121: LOCAL OPTION SALES TAX FUND	0.00	82,725.35	82,725.35	0.00	0.00	0.00
122: HOTEL/MOTEL TAX REVENUE FUND	0.00	19,019.45	19,019.45	0.00	0.00	0.00
127: WEST AREA & IND. PARK TIF	28,626.33	241.02	28,578.74	0.00	(28,999.76)	288.61
130: WORLD FOOD PARK TIF FUND	89,390.22	758.84	89,262.04	0.00	(88,999.45)	887.02
138: HOUSING DONATED FUNDS	34,740.74	0.00	0.00	0.00	0.00	34,740.74
140: HOUSING FUND	221,274.78	7,426.90	10,127.76	0.00	(1,961.37)	218,573.92
144: GRANT & LINCOLN SCHOOL DEVELOPME	21,328.11	0.00	0.00	0.00	0.00	21,328.11
165: RIEFE MEMORIAL FUND	27,900.73	4.49	0.00	0.00	4.49	27,905.22
167: LIBRARY MEMORIAL FUND	506,468.63	31,436.45	0.00	(3,134.59)	(1,098.76)	534,770.49
169: MISCELLANEOUS GIFT FUND	33,341.70	2.85	11.07	(371.95)	2.85	32,961.53
172: WOODEN PLAYGROUND MAINT FUND	3,275.21	0.47	0.00	0.00	0.47	3,275.68
177: POLICE FORFEITURE FUND	4,474.36	0.65	0.00	0.00	0.65	4,475.01
178: LIBRARY MAINTENANCE FUND	1,193,349.28	2,234.96	0.00	(16,069.06)	(47,765.04)	1,179,515.18
180: MISCELLANEOUS GRANTS FUND	24,214.92	3.70	1,116.71	(687.48)	8,003.70	22,414.43
199: WFP RISE PAYMENT FUND	0.00	16,216.00	0.00	0.00	0.00	16,216.00
200: DEBT SERVICE FUND	876,953.49	123,865.89	862,781.25	0.00	(738,980.85)	138,038.13
301: PARK SHELTER CAPITAL IMPROVEMENT	15,881.43	662.71	1.44	0.00	1,002.71	16,542.70
302: CITY HALL IMPROVEMENTS	13,335.73	2.15	0.00	0.00	2.15	13,337.88
325: PAVEMENT MANAGEMENT	11,938.88	510,020.39	478,004.07	(43,954.92)	(12,059.63)	0.28
326: SIDEWALK IMPROVEMENTS PROJECT	13,531.85	1.89	0.00	0.00	1.89	13,533.74

328: PARKING LOT IMPROVEMENTS PHASE II	17,898.03	32,124.66	7,347.74	0.00	25,004.66	42,674.95
600: WATER O&M FUND	1,113,400.96	0.00	0.00	0.00	0.00	1,113,400.96
601: WATER CONSUMER DEPOSIT FUND	86,152.87	0.00	0.00	0.00	0.00	86,152.87
603: WATER SINKING FUND	267,858.80	0.00	0.00	0.00	0.00	267,858.80
604: WATER RESERVE FUND	117,014.50	0.00	0.00	0.00	0.00	117,014.50
610: SANITARY SEWER O&M FUND	67,989.94	67,399.71	39,043.74	(29,509.65)	0.00	66,836.26
611: SANITARY SEWER REVENUE FUND	1,499,886.64	129,095.53	101,175.71	31.00	27,232.83	1,527,837.46
612: SANITARY SEWER SINKING FUND	414,690.75	32,826.00	447,513.75	0.00	(414,000.00)	3.00
614: SANITARY SEWER IMPROVEMENT FUND	84,464.89	950.00	0.00	0.00	1,000.00	85,414.89
618: IDOT SEWER EXTENSION PROJECT	45,075.48	0.00	0.00	0.00	0.00	45,075.48
660: AIRPORT FUND	332,763.91	2,127.82	12,867.74	(10,435.54)	3,052.82	311,588.45
663: AIRPORT STORM SEWER OUTFALL RECONSTR	(15,529.97)	15,529.97	0.00	0.00	0.00	0.00
740: STORM WATER UTILITY FUND	679,850.30	17,611.91	0.00	(11,858.96)	6,085.32	685,603.25
750: EDMUNDSON GOLF COURSE FUND	59,921.10	8,810.16	0.00	(5,600.00)	2,010.16	63,131.26
760: RACI MAIN STREET LOAN FUND	17,084.04	331.07	0.00	0.00	1,001.93	17,415.11
810: COPIER/FAX REVOLVING FUND	4,430.01	1,278.49	0.00	(24.87)	0.00	5,683.63
820: EMPLOYEE HEALTH SELF-INSURANCE	850,840.62	117,235.34	30,425.45	0.00	85,614.85	937,650.51
830: EMPLOYEE FLEX PLAN FUND	3,605.20	3,235.34	2,609.40	0.00	4,000.62	4,231.14
999: POOLED CASH	13,042.42	0.00	0.00	(156,239.53)	0.00	66,412.87



REVENUE REPORT

Account Detail

For Fiscal: 2013-2014 Period Ending: 06/30/2014

ObjectCa...	Total Budget	Period Activity	Fiscal Activity	Budget Remaining	Actual %
Fund: 001 - GENERAL FUND					
41 - TAXES	-2,680,940.00	-20,974.31	-2,685,198.47	4,258.47	100.16 %
42 - LICENSES AND PERMITS	-222,650.00	-9,446.25	-223,818.59	1,168.59	100.52 %
43 - USE OF MONEY & PROPERTY	-5,600.00	-411.92	-6,086.37	486.37	108.69 %
44 - INTERGOVERNMENTAL	-210,455.00	-47,040.88	-219,808.81	9,353.81	104.44 %
45 - CHARGES FOR SERVICES	-133,450.00	-27,985.88	-123,467.43	-9,982.57	92.52 %
47 - MISCELLANEOUS REVENUES	-111,768.00	-12,205.17	-137,626.37	25,858.37	123.14 %
48 - OTHER FINANCING SOURCES	-1,209,248.00	-81,803.31	-1,003,916.55	-205,331.45	83.02 %
Fund 001 Total:	-4,574,111.00	-199,867.72	-4,399,922.59	-174,188.41	96.19 %
Fund: 002 - GENERAL FUND INSURANCE FUND					
41 - TAXES	-126,131.00	-988.82	-126,128.17	-2.83	100.00 %
43 - USE OF MONEY & PROPERTY	0.00	-1.14	-1.74	1.74	
Fund 002 Total:	-126,131.00	-989.96	-126,129.91	-1.09	100.00 %
Fund: 003 - GENERAL FUND CAPITAL EQUIPMENT					
43 - USE OF MONEY & PROPERTY	-350.00	-20.95	-270.63	-79.37	77.32 %
47 - MISCELLANEOUS REVENUES	-71.00	0.00	-71.40	0.40	100.56 %
Fund 003 Total:	-421.00	-20.95	-342.03	-78.97	81.24 %
Fund: 004 - LIBRARY COPIER REVOLVING FUND					
43 - USE OF MONEY & PROPERTY	-4.00	-1.14	-11.45	7.45	286.25 %
47 - MISCELLANEOUS REVENUES	-6,500.00	-459.35	-6,895.05	395.05	106.08 %
Fund 004 Total:	-6,504.00	-460.49	-6,906.50	402.50	106.19 %
Fund: 005 - GENERAL FUND BAND					
41 - TAXES	-16,399.00	-128.60	-16,477.54	78.54	100.48 %
43 - USE OF MONEY & PROPERTY	0.00	-0.51	-1.58	1.58	
Fund 005 Total:	-16,399.00	-129.11	-16,479.12	80.12	100.49 %
Fund: 006 - GENERAL FUND - LOST					
43 - USE OF MONEY & PROPERTY	-1,200.00	-184.37	-1,758.57	558.57	146.55 %
47 - MISCELLANEOUS REVENUES	-880,000.00	-116,417.29	-941,909.94	61,909.94	107.04 %
Fund 006 Total:	-881,200.00	-116,601.66	-943,668.51	62,468.51	107.09 %
Fund: 007 - GENERAL FUND - UTILITY FRANCHISE FEES					
42 - LICENSES AND PERMITS	-396,024.00	0.00	-436,376.80	40,352.80	110.19 %
43 - USE OF MONEY & PROPERTY	-400.00	-99.03	-1,236.08	836.08	309.02 %
Fund 007 Total:	-396,424.00	-99.03	-437,612.88	41,188.88	110.39 %
Fund: 110 - ROAD USE TAX FUND					
44 - INTERGOVERNMENTAL	-1,106,400.00	-106,069.95	-1,150,814.44	44,414.44	104.01 %
45 - CHARGES FOR SERVICES	0.00	0.00	-2,287.00	2,287.00	
47 - MISCELLANEOUS REVENUES	0.00	-211.00	-4,253.97	4,253.97	
48 - OTHER FINANCING SOURCES	0.00	0.00	-919.00	919.00	
Fund 110 Total:	-1,106,400.00	-106,280.95	-1,158,274.41	51,874.41	104.69 %
Fund: 112 - EMPLOYEE BENEFIT FUND					
41 - TAXES	-1,052,388.00	-8,250.25	-1,054,263.77	1,875.77	100.18 %
43 - USE OF MONEY & PROPERTY	0.00	-44.47	-360.59	360.59	
Fund 112 Total:	-1,052,388.00	-8,294.72	-1,054,624.36	2,236.36	100.21 %
Fund: 119 - EMERGENCY FUND					
41 - TAXES	-26,077.00	-204.47	-26,650.95	573.95	102.20 %
Fund 119 Total:	-26,077.00	-204.47	-26,650.95	573.95	102.20 %
Fund: 121 - LOCAL OPTION SALES TAX FUND					
41 - TAXES	-1,016,984.00	-82,725.35	-1,016,983.69	-0.31	100.00 %
Fund 121 Total:	-1,016,984.00	-82,725.35	-1,016,983.69	-0.31	100.00 %

REVENUE REPORT

For Fiscal: 2013-2014 Period Ending: 06/30/2014

ObjectCa...	Total Budget	Period Activity	Fiscal Activity	Budget Remaining	Actual %
Fund: 122 - HOTEL/MOTEL TAX REVENUE FUND					
41 - TAXES	-115,000.00	-19,019.45	-93,948.75	-21,051.25	81.69 %
Fund 122 Total:	-115,000.00	-19,019.45	-93,948.75	-21,051.25	81.69 %
Fund: 127 - WEST AREA & IND. PARK TIF					
41 - TAXES	-29,205.00	-240.78	-29,287.12	82.12	100.28 %
43 - USE OF MONEY & PROPERTY	0.00	-0.24	-22.93	22.93	
Fund 127 Total:	-29,205.00	-241.02	-29,310.05	105.05	100.36 %
Fund: 130 - WORLD FOOD PARK TIF FUND					
41 - TAXES	-92,001.00	-758.29	-92,241.27	240.27	100.26 %
43 - USE OF MONEY & PROPERTY	-2.00	-0.55	-73.48	71.48	3,674.00 %
Fund 130 Total:	-92,003.00	-758.84	-92,314.75	311.75	100.34 %
Fund: 140 - HOUSING FUND					
43 - USE OF MONEY & PROPERTY	-550.00	-73.45	-492.36	-57.64	89.52 %
45 - CHARGES FOR SERVICES	-2,500.00	-246.00	-2,863.00	363.00	114.52 %
47 - MISCELLANEOUS REVENUES	-70,880.00	-7,107.45	-81,381.37	10,501.37	114.82 %
Fund 140 Total:	-73,930.00	-7,426.90	-84,736.73	10,806.73	114.62 %
Fund: 165 - RIEFE MEMORIAL FUND					
43 - USE OF MONEY & PROPERTY	-50.00	-4.49	-57.91	7.91	115.82 %
Fund 165 Total:	-50.00	-4.49	-57.91	7.91	115.82 %
Fund: 167 - LIBRARY MEMORIAL FUND					
43 - USE OF MONEY & PROPERTY	-12,260.00	98.76	-13,519.63	1,259.63	110.27 %
45 - CHARGES FOR SERVICES	-152.00	-68.66	-423.69	271.69	278.74 %
47 - MISCELLANEOUS REVENUES	-39,016.00	-31,294.10	-44,186.36	5,170.36	113.25 %
48 - OTHER FINANCING SOURCES	-599.00	-172.45	-1,678.86	1,079.86	280.28 %
Fund 167 Total:	-52,027.00	-31,436.45	-59,808.54	7,781.54	114.96 %
Fund: 169 - MISCELLANEOUS GIFT FUND					
43 - USE OF MONEY & PROPERTY	-13.00	-2.85	-37.20	24.20	286.15 %
47 - MISCELLANEOUS REVENUES	-620.00	0.00	-1,837.00	1,217.00	296.29 %
Fund 169 Total:	-633.00	-2.85	-1,874.20	1,241.20	296.08 %
Fund: 172 - WOODEN PLAYGROUND MAINT FUND					
43 - USE OF MONEY & PROPERTY	-4.00	-0.47	-6.94	2.94	173.50 %
Fund 172 Total:	-4.00	-0.47	-6.94	2.94	173.50 %
Fund: 177 - POLICE FORFEITURE FUND					
43 - USE OF MONEY & PROPERTY	-3.00	-0.65	-7.41	4.41	247.00 %
45 - CHARGES FOR SERVICES	-1,632.00	0.00	-3,524.00	1,892.00	215.93 %
Fund 177 Total:	-1,635.00	-0.65	-3,531.41	1,896.41	215.99 %
Fund: 178 - LIBRARY MAINTENANCE FUND					
43 - USE OF MONEY & PROPERTY	-40,000.00	-2,234.96	-46,583.86	6,583.86	116.46 %
Fund 178 Total:	-40,000.00	-2,234.96	-46,583.86	6,583.86	116.46 %
Fund: 179 - FIRE DEPT FEMA GRANT FUND					
44 - INTERGOVERNMENTAL	0.00	0.00	-44.97	44.97	
Fund 179 Total:	0.00	0.00	-44.97	44.97	
Fund: 180 - MISCELLANEOUS GRANTS FUND					
43 - USE OF MONEY & PROPERTY	-12.00	-3.70	-30.99	18.99	258.25 %
44 - INTERGOVERNMENTAL	-11,306.00	0.00	-6,781.50	-4,524.50	59.98 %
47 - MISCELLANEOUS REVENUES	0.00	0.00	-9,200.00	9,200.00	
48 - OTHER FINANCING SOURCES	-2,087.00	0.00	-687.26	-1,399.74	32.93 %
Fund 180 Total:	-13,405.00	-3.70	-16,699.75	3,294.75	124.58 %
Fund: 199 - WFP RISE PAYMENT FUND					
47 - MISCELLANEOUS REVENUES	0.00	-16,216.00	-16,216.00	16,216.00	
Fund 199 Total:	0.00	-16,216.00	-16,216.00	16,216.00	
Fund: 200 - DEBT SERVICE FUND					
41 - TAXES	-735,732.00	-5,772.96	-737,654.41	1,922.41	100.26 %
43 - USE OF MONEY & PROPERTY	-900.00	-19.15	-833.01	-66.99	92.56 %
46 - SPECIAL ASSESSMENTS	-17,191.00	-233.00	-21,575.00	4,384.00	125.50 %

REVENUE REPORT

For Fiscal: 2013-2014 Period Ending: 06/30/2014

ObjectCa...	Total Budget	Period Activity	Fiscal Activity	Budget Remaining	Actual %
Fund: 200 - DEBT SERVICE FUND					
48 - OTHER FINANCING SOURCES	-121,833.00	-117,840.78	-121,831.56	-1.44	100.00 %
Fund 200 Total:	-875,656.00	-123,865.89	-881,893.98	6,237.98	100.71 %
Fund: 301 - PARK SHELTER CAPITAL IMPROVEMENT					
43 - USE OF MONEY & PROPERTY	-3,706.00	-662.71	-3,424.17	-281.83	92.40 %
Fund 301 Total:	-3,706.00	-662.71	-3,424.17	-281.83	92.40 %
Fund: 302 - CITY HALL IMPROVEMENTS					
43 - USE OF MONEY & PROPERTY	-8.00	-2.15	-24.69	16.69	308.63 %
48 - OTHER FINANCING SOURCES	-2,000.00	0.00	-1,608.75	-391.25	80.44 %
Fund 302 Total:	-2,008.00	-2.15	-1,633.44	-374.56	81.35 %
Fund: 325 - PAVEMENT MANAGEMENT					
43 - USE OF MONEY & PROPERTY	-38.00	-0.28	-45.55	7.55	119.87 %
47 - MISCELLANEOUS REVENUES	-73,570.00	0.00	-61,492.00	-12,078.00	83.58 %
48 - OTHER FINANCING SOURCES	-1,034,479.00	-510,020.11	-811,762.48	-222,716.52	78.47 %
Fund 325 Total:	-1,108,087.00	-510,020.39	-873,300.03	-234,786.97	78.81 %
Fund: 326 - SIDEWALK IMPROVEMENTS PROJECT					
43 - USE OF MONEY & PROPERTY	-9.00	-1.89	-22.11	13.11	245.67 %
46 - SPECIAL ASSESSMENTS	-149.00	0.00	-384.00	235.00	257.72 %
Fund 326 Total:	-158.00	-1.89	-406.11	248.11	257.03 %
Fund: 328 - PARKING LOT IMPROVEMENTS PHASE II					
43 - USE OF MONEY & PROPERTY	-24.00	-4.66	-46.97	22.97	195.71 %
48 - OTHER FINANCING SOURCES	-32,120.00	-32,120.00	-32,120.00	0.00	
Fund 328 Total:	-32,144.00	-32,124.66	-32,166.97	22.97	100.07 %
Fund: 600 - WATER O&M FUND					
43 - USE OF MONEY & PROPERTY	-26,660.00	0.00	-22,026.84	-4,633.16	82.62 %
45 - CHARGES FOR SERVICES	-2,051,204.00	0.00	-1,546,097.70	-505,106.30	75.38 %
47 - MISCELLANEOUS REVENUES	-58,100.00	0.00	-24,053.74	-34,046.26	41.40 %
Fund 600 Total:	-2,135,964.00	0.00	-1,592,178.28	-543,785.72	74.54 %
Fund: 601 - WATER CONSUMER DEPOSIT FUND					
43 - USE OF MONEY & PROPERTY	0.00	0.00	-512.87	512.87	
Fund 601 Total:	0.00	0.00	-512.87	512.87	
Fund: 603 - WATER SINKING FUND					
48 - OTHER FINANCING SOURCES	-418,801.00	0.00	-314,094.42	-104,706.58	75.00 %
Fund 603 Total:	-418,801.00	0.00	-314,094.42	-104,706.58	75.00 %
Fund: 604 - WATER RESERVE FUND					
48 - OTHER FINANCING SOURCES	-36,000.00	0.00	-27,000.00	-9,000.00	75.00 %
Fund 604 Total:	-36,000.00	0.00	-27,000.00	-9,000.00	75.00 %
Fund: 610 - SANITARY SEWER O&M FUND					
48 - OTHER FINANCING SOURCES	-1,383,700.00	-67,399.71	-1,300,071.74	-83,628.26	93.96 %
Fund 610 Total:	-1,383,700.00	-67,399.71	-1,300,071.74	-83,628.26	93.96 %
Fund: 611 - SANITARY SEWER REVENUE FUND					
43 - USE OF MONEY & PROPERTY	-3,000.00	-232.83	-2,841.90	-158.10	94.73 %
45 - CHARGES FOR SERVICES	-1,757,025.00	-127,903.70	-1,780,273.89	23,248.89	101.32 %
46 - SPECIAL ASSESSMENTS	-1,785.00	-959.00	-9,188.00	7,403.00	514.73 %
47 - MISCELLANEOUS REVENUES	-790.00	0.00	-864.93	74.93	109.48 %
48 - OTHER FINANCING SOURCES	-6,282.00	0.00	0.00	-6,282.00	0.00 %
Fund 611 Total:	-1,768,882.00	-129,095.53	-1,793,168.72	24,286.72	101.37 %
Fund: 612 - SANITARY SEWER SINKING FUND					
48 - OTHER FINANCING SOURCES	-476,381.00	-32,826.00	-476,383.00	2.00	100.00 %
Fund 612 Total:	-476,381.00	-32,826.00	-476,383.00	2.00	100.00 %
Fund: 614 - SANITARY SEWER IMPROVEMENT FUND					
48 - OTHER FINANCING SOURCES	-11,400.00	-950.00	-11,400.00	0.00	
Fund 614 Total:	-11,400.00	-950.00	-11,400.00	0.00	

REVENUE REPORT

For Fiscal: 2013-2014 Period Ending: 06/30/2014

ObjectCa...	Total Budget	Period Activity	Fiscal Activity	Budget Remaining	Actual %
Fund: 618 - IDOT SEWER EXTENSION PROJECT					
44 - INTERGOVERNMENTAL	-315,925.00	0.00	-315,925.00	0.00	
Fund 618 Total:	-315,925.00	0.00	-315,925.00	0.00	
Fund: 660 - AIRPORT FUND					
43 - USE OF MONEY & PROPERTY	-211,863.00	-53.82	-211,875.57	12.57	100.01 %
44 - INTERGOVERNMENTAL	-11,250.00	0.00	-11,240.00	-10.00	99.91 %
45 - CHARGES FOR SERVICES	-1,070.00	0.00	-1,070.00	0.00	
47 - MISCELLANEOUS REVENUES	-18,125.00	-2,074.00	-18,686.26	561.26	103.10 %
Fund 660 Total:	-242,308.00	-2,127.82	-242,871.83	563.83	100.23 %
Fund: 663 - AIRPORT STORM SEWER OUTFALL RECONSTRUCTION					
44 - INTERGOVERNMENTAL	-125,826.00	-13,978.00	-125,793.00	-33.00	99.97 %
48 - OTHER FINANCING SOURCES	-13,982.00	-1,551.97	-13,977.01	-4.99	99.96 %
Fund 663 Total:	-139,808.00	-15,529.97	-139,770.01	-37.99	99.97 %
Fund: 740 - STORM WATER UTILITY FUND					
43 - USE OF MONEY & PROPERTY	-273.00	-85.32	-859.51	586.51	314.84 %
45 - CHARGES FOR SERVICES	-225,000.00	-17,526.59	-229,133.55	4,133.55	101.84 %
Fund 740 Total:	-225,273.00	-17,611.91	-229,993.06	4,720.06	102.10 %
Fund: 750 - EDMUNDSON GOLF COURSE FUND					
43 - USE OF MONEY & PROPERTY	-8,554.00	-8,810.16	-8,924.20	370.20	104.33 %
47 - MISCELLANEOUS REVENUES	-515.00	0.00	-214.65	-300.35	41.68 %
Fund 750 Total:	-9,069.00	-8,810.16	-9,138.85	69.85	100.77 %
Fund: 760 - RACI MAIN STREET LOAN FUND					
43 - USE OF MONEY & PROPERTY	-288.00	-282.57	-301.75	13.75	104.77 %
47 - MISCELLANEOUS REVENUES	-707.00	-48.50	-871.35	164.35	123.25 %
Fund 760 Total:	-995.00	-331.07	-1,173.10	178.10	117.90 %
Fund: 810 - COPIER/FAX REVOLVING FUND					
47 - MISCELLANEOUS REVENUES	0.00	-1,278.49	-9,124.31	9,124.31	
Fund 810 Total:	0.00	-1,278.49	-9,124.31	9,124.31	
Fund: 820 - EMPLOYEE HEALTH SELF-INSURANCE					
43 - USE OF MONEY & PROPERTY	0.00	-115.15	-1,304.98	1,304.98	
47 - MISCELLANEOUS REVENUES	0.00	-117,120.19	-811,472.87	811,472.87	
Fund 820 Total:	0.00	-117,235.34	-812,777.85	812,777.85	
Fund: 830 - EMPLOYEE FLEX PLAN FUND					
43 - USE OF MONEY & PROPERTY	0.00	-0.62	-1.41	1.41	
45 - CHARGES FOR SERVICES	0.00	-52.00	-648.00	648.00	
47 - MISCELLANEOUS REVENUES	0.00	-3,182.72	-44,179.41	44,179.41	
Fund 830 Total:	0.00	-3,235.34	-44,828.82	44,828.82	
Report Total:	-18,807,196.00	-1,656,129.22	-18,745,965.37	-61,230.63	99.67 %



EXPENSE TRIAL BALANCE

Account Detail

For Fiscal: 2013-2014 Period Ending: 06/30/2014

Activit...	Total Budget	Period Activity	Fiscal Activity	Budget Remaining	Actual %
Fund: 001 - GENERAL FUND					
1010 - POLICE OPERATIONS	1,720,387.00	124,653.88	1,647,917.81	72,469.19	95.79 %
1030 - EMERGENCY MANAGEMENT	7,779.00	0.00	6,436.62	1,342.38	82.74 %
1050 - FIRE DEPARTMENT	884,577.00	55,788.22	858,665.99	25,911.01	97.07 %
1055 - RENTAL INSPECTIONS	2,500.00	0.00	0.00	2,500.00	0.00 %
1070 - BUILDING INSPECTIONS	105,062.00	5,269.77	87,311.66	17,750.34	83.10 %
1090 - ANIMAL CONTROL	43,000.00	0.00	43,000.00	0.00	
1900 - 911 DISPATCH	137,203.00	0.00	137,203.00	0.00	
2010 - ROADS, BRIDGES, SIDEWALKS	20,000.00	0.00	0.00	20,000.00	0.00 %
2030 - STREET LIGHTING	98,000.00	0.00	90,375.52	7,624.48	92.22 %
2080 - AIRPORT	44,000.00	0.00	19,740.63	24,259.37	44.87 %
4010 - LIBRARY SERVICES	558,064.00	31,942.13	537,244.64	20,819.36	96.27 %
4030 - PARKS	197,189.00	7,505.71	142,520.88	54,668.12	72.28 %
4031 - POOL	135,043.00	14,685.59	111,079.43	23,963.57	82.25 %
4050 - CEMETERY	50,000.00	0.00	50,000.00	0.00	
5020 - ECONOMIC DEVELOPMENT	32,500.00	0.00	30,688.00	1,812.00	94.42 %
5040 - PLANNING & ZONING	1,800.00	5.76	1,526.22	273.78	84.79 %
6010 - CITY MANAGER	272,449.00	23,403.52	256,231.04	16,217.96	94.05 %
6011 - CITY COUNCIL & MAYOR	137,492.00	8,317.59	81,312.82	56,179.18	59.14 %
6020 - CLERK, TREAS. & FINANCIAL ADMIN	269,429.00	17,803.38	263,043.89	6,385.11	97.63 %
6030 - ELECTIONS	8,856.00	0.00	8,855.89	0.11	100.00 %
6040 - LEGAL SERVICES & CITY ATTORNEY	87,600.00	4,000.00	76,027.45	11,572.55	86.79 %
6050 - CITY HALL & GENERAL BUILDINGS	93,938.00	373.41	49,723.64	44,214.36	52.93 %
9500 - ENGINEERING (ALLOCATED)	0.00	-251.34	17,708.00	-17,708.00	
Fund 001 Total:	4,906,868.00	293,497.62	4,516,613.13	390,254.87	92.05 %
Fund: 002 - GENERAL FUND INSURANCE FUND					
6060 - TORT LIABILITY	105,589.00	0.00	105,798.42	-209.42	100.20 %
Fund 002 Total:	105,589.00	0.00	105,798.42	-209.42	100.20 %
Fund: 003 - GENERAL FUND CAPITAL EQUIPMENT					
6050 - CITY HALL & GENERAL BUILDINGS	61,500.00	0.00	33,765.37	27,734.63	54.90 %
Fund 003 Total:	61,500.00	0.00	33,765.37	27,734.63	54.90 %
Fund: 004 - LIBRARY COPIER REVOLVING FUND					
4010 - LIBRARY SERVICES	5,300.00	0.00	5,109.34	190.66	96.40 %
Fund 004 Total:	5,300.00	0.00	5,109.34	190.66	96.40 %
Fund: 005 - GENERAL FUND BAND					
4020 - BAND	20,747.00	6.71	19,988.34	758.66	96.34 %
Fund 005 Total:	20,747.00	6.71	19,988.34	758.66	96.34 %
Fund: 006 - GENERAL FUND - LOST					
2010 - ROADS, BRIDGES, SIDEWALKS	416,599.00	114,856.63	416,599.00	0.00	
Fund 006 Total:	416,599.00	114,856.63	416,599.00	0.00	
Fund: 007 - GENERAL FUND - UTILITY FRANCHISE FEES					
2010 - ROADS, BRIDGES, SIDEWALKS	685,000.00	427,283.48	462,283.48	222,716.52	67.49 %
Fund 007 Total:	685,000.00	427,283.48	462,283.48	222,716.52	67.49 %
Fund: 110 - ROAD USE TAX FUND					
2010 - ROADS, BRIDGES, SIDEWALKS	1,016,658.00	28,475.01	952,105.05	64,552.95	93.65 %
2030 - STREET LIGHTING	45,150.00	0.00	37,223.81	7,926.19	82.44 %
2040 - TRAFFIC CONTROL & SAFETY	33,214.00	2,105.80	24,062.90	9,151.10	72.45 %
2050 - SNOW REMOVAL	89,517.00	0.00	83,361.52	6,155.48	93.12 %
2070 - STREET CLEANING	41,837.00	1,795.11	30,380.68	11,456.32	72.62 %
Fund 110 Total:	1,226,376.00	32,375.92	1,127,133.96	99,242.04	91.91 %

EXPENSE TRIAL BALANCE

For Fiscal: 2013-2014 Period Ending: 06/30/2014

Activit...	Total Budget	Period Activity	Fiscal Activity	Budget Remaining	Actual %
Fund: 112 - EMPLOYEE BENEFIT FUND					
9100 - TRANSFER OUT	1,076,118.00	78,656.99	947,150.90	128,967.10	88.02 %
Fund 112 Total:	1,076,118.00	78,656.99	947,150.90	128,967.10	88.02 %
Fund: 119 - EMERGENCY FUND					
9100 - TRANSFER OUT	26,077.00	204.47	26,650.95	-573.95	102.20 %
Fund 119 Total:	26,077.00	204.47	26,650.95	-573.95	102.20 %
Fund: 121 - LOCAL OPTION SALES TAX FUND					
5900 - COMMUNITY SCHOOLS	1,016,984.00	82,725.35	1,016,983.69	0.31	100.00 %
Fund 121 Total:	1,016,984.00	82,725.35	1,016,983.69	0.31	100.00 %
Fund: 122 - HOTEL/MOTEL TAX REVENUE FUND					
4040 - RECREATION	115,000.00	19,019.45	93,948.75	21,051.25	81.69 %
Fund 122 Total:	115,000.00	19,019.45	93,948.75	21,051.25	81.69 %
Fund: 127 - WEST AREA & IND. PARK TIF					
5020 - ECONOMIC DEVELOPMENT	29,558.00	28,578.74	29,557.48	0.52	100.00 %
Fund 127 Total:	29,558.00	28,578.74	29,557.48	0.52	100.00 %
Fund: 130 - WORLD FOOD PARK TIF FUND					
5020 - ECONOMIC DEVELOPMENT	92,275.00	89,262.04	92,274.08	0.92	100.00 %
Fund 130 Total:	92,275.00	89,262.04	92,274.08	0.92	100.00 %
Fund: 138 - HOUSING DONATED FUNDS					
5030 - HOUSING & URBAN RENEWAL	17,371.00	0.00	0.00	17,371.00	0.00 %
Fund 138 Total:	17,371.00	0.00	0.00	17,371.00	0.00 %
Fund: 140 - HOUSING FUND					
5030 - HOUSING & URBAN RENEWAL	130,963.00	10,127.76	99,525.11	31,437.89	75.99 %
Fund 140 Total:	130,963.00	10,127.76	99,525.11	31,437.89	75.99 %
Fund: 165 - RIEFE MEMORIAL FUND					
4010 - LIBRARY SERVICES	5,975.00	0.00	5,927.50	47.50	99.21 %
Fund 165 Total:	5,975.00	0.00	5,927.50	47.50	99.21 %
Fund: 167 - LIBRARY MEMORIAL FUND					
4010 - LIBRARY SERVICES	53,000.00	0.00	29,886.07	23,113.93	56.39 %
Fund 167 Total:	53,000.00	0.00	29,886.07	23,113.93	56.39 %
Fund: 169 - MISCELLANEOUS GIFT FUND					
1010 - POLICE OPERATIONS	12,759.00	0.00	3,221.37	9,537.63	25.25 %
1050 - FIRE DEPARTMENT	5,997.00	11.07	1,665.79	4,331.21	27.78 %
4020 - BAND	7,328.00	0.00	140.00	7,188.00	1.91 %
4030 - PARKS	3,938.00	0.00	0.00	3,938.00	0.00 %
4031 - POOL	2,766.00	0.00	0.00	2,766.00	0.00 %
5030 - HOUSING & URBAN RENEWAL	3,959.00	0.00	0.00	3,959.00	0.00 %
Fund 169 Total:	36,747.00	11.07	5,027.16	31,719.84	13.68 %
Fund: 172 - WOODEN PLAYGROUND MAINT FUND					
4030 - PARKS	1,450.00	0.00	1,449.46	0.54	99.96 %
Fund 172 Total:	1,450.00	0.00	1,449.46	0.54	99.96 %
Fund: 177 - POLICE FORFEITURE FUND					
1010 - POLICE OPERATIONS	8,346.00	0.00	9,267.29	-921.29	111.04 %
Fund 177 Total:	8,346.00	0.00	9,267.29	-921.29	111.04 %
Fund: 178 - LIBRARY MAINTENANCE FUND					
4010 - LIBRARY SERVICES	52,122.00	0.00	36,426.40	15,695.60	69.89 %
Fund 178 Total:	52,122.00	0.00	36,426.40	15,695.60	69.89 %
Fund: 179 - FIRE DEPT FEMA GRANT FUND					
1050 - FIRE DEPARTMENT	0.00	0.00	44.97	-44.97	
Fund 179 Total:	0.00	0.00	44.97	-44.97	
Fund: 180 - MISCELLANEOUS GRANTS FUND					
1010 - POLICE OPERATIONS	13,018.00	1,116.71	8,948.22	4,069.78	68.74 %
4040 - RECREATION	15,050.00	0.00	0.00	15,050.00	0.00 %
Fund 180 Total:	28,068.00	1,116.71	8,948.22	19,119.78	31.88 %

EXPENSE TRIAL BALANCE

For Fiscal: 2013-2014 Period Ending: 06/30/2014

Activit...	Total Budget	Period Activity	Fiscal Activity	Budget Remaining	Actual %
Fund: 199 - WFP RISE PAYMENT FUND					
5020 - ECONOMIC DEVELOPMENT	16,216.00	0.00	16,216.00	0.00	
Fund 199 Total:	16,216.00	0.00	16,216.00	0.00	
Fund: 200 - DEBT SERVICE FUND					
7010 - DEBT SERVICE	935,564.00	862,781.25	935,562.50	1.50	100.00 %
Fund 200 Total:	935,564.00	862,781.25	935,562.50	1.50	100.00 %
Fund: 301 - PARK SHELTER CAPITAL IMPROVEMENT					
4030 - PARKS	785.00	1.44	688.03	96.97	87.65 %
Fund 301 Total:	785.00	1.44	688.03	96.97	87.65 %
Fund: 302 - CITY HALL IMPROVEMENTS					
6050 - CITY HALL & GENERAL BUILDINGS	125.00	0.00	96.27	28.73	77.02 %
Fund 302 Total:	125.00	0.00	96.27	28.73	77.02 %
Fund: 325 - PAVEMENT MANAGEMENT					
2010 - ROADS, BRIDGES, SIDEWALKS	1,350,590.00	478,004.07	1,115,802.58	234,787.42	82.62 %
Fund 325 Total:	1,350,590.00	478,004.07	1,115,802.58	234,787.42	82.62 %
Fund: 328 - PARKING LOT IMPROVEMENTS PHASE II					
2010 - ROADS, BRIDGES, SIDEWALKS	176,169.00	7,347.74	133,517.30	42,651.70	75.79 %
Fund 328 Total:	176,169.00	7,347.74	133,517.30	42,651.70	75.79 %
Fund: 600 - WATER O&M FUND					
8000 - WATER PLANT OPERATIONS	505,172.00	0.00	337,624.33	167,547.67	66.83 %
8001 - WATER DISTRIBUTION	1,360,910.00	0.00	1,037,690.06	323,219.94	76.25 %
8006 - WATER OFFICE	685,184.00	0.00	466,706.27	218,477.73	68.11 %
Fund 600 Total:	2,551,266.00	0.00	1,842,020.66	709,245.34	72.20 %
Fund: 603 - WATER SINKING FUND					
8001 - WATER DISTRIBUTION	418,793.00	0.00	81,135.00	337,658.00	19.37 %
Fund 603 Total:	418,793.00	0.00	81,135.00	337,658.00	19.37 %
Fund: 604 - WATER RESERVE FUND					
8001 - WATER DISTRIBUTION	75,000.00	0.00	48,720.49	26,279.51	64.96 %
Fund 604 Total:	75,000.00	0.00	48,720.49	26,279.51	64.96 %
Fund: 610 - SANITARY SEWER O&M FUND					
8015 - SANITARY SEWER-TREATMENT	1,068,022.00	24,712.58	933,838.20	134,183.80	87.44 %
8016 - SANITARY SEWER-COLLECTION	315,678.00	14,331.16	299,397.28	16,280.72	94.84 %
Fund 610 Total:	1,383,700.00	39,043.74	1,233,235.48	150,464.52	89.13 %
Fund: 611 - SANITARY SEWER REVENUE FUND					
8015 - SANITARY SEWER-TREATMENT	1,871,481.00	101,175.71	1,787,854.74	83,626.26	95.53 %
Fund 611 Total:	1,871,481.00	101,175.71	1,787,854.74	83,626.26	95.53 %
Fund: 612 - SANITARY SEWER SINKING FUND					
8015 - SANITARY SEWER-TREATMENT	476,381.00	447,513.75	476,380.00	1.00	100.00 %
Fund 612 Total:	476,381.00	447,513.75	476,380.00	1.00	100.00 %
Fund: 618 - IDOT SEWER EXTENSION PROJECT					
8016 - SANITARY SEWER-COLLECTION	550,723.00	0.00	505,647.29	45,075.71	91.82 %
Fund 618 Total:	550,723.00	0.00	505,647.29	45,075.71	91.82 %
Fund: 660 - AIRPORT FUND					
8035 - AIRPORT	242,318.00	12,867.74	209,704.38	32,613.62	86.54 %
Fund 660 Total:	242,318.00	12,867.74	209,704.38	32,613.62	86.54 %
Fund: 663 - AIRPORT STORM SEWER OUTFALL RECONSTRUCTION					
8035 - AIRPORT	139,808.00	0.00	139,770.01	37.99	99.97 %
Fund 663 Total:	139,808.00	0.00	139,770.01	37.99	99.97 %
Fund: 740 - STORM WATER UTILITY FUND					
8065 - STORM WATER	295,474.00	0.00	121,198.67	174,275.33	41.02 %
Fund 740 Total:	295,474.00	0.00	121,198.67	174,275.33	41.02 %
Fund: 750 - EDMUNDSON GOLF COURSE FUND					
8071 - GOLF PRO SHOP	12,354.00	0.00	12,006.69	347.31	97.19 %
Fund 750 Total:	12,354.00	0.00	12,006.69	347.31	97.19 %

EXPENSE TRIAL BALANCE

For Fiscal: 2013-2014 Period Ending: 06/30/2014

Activit...	Total Budget	Period Activity	Fiscal Activity	Budget Remaining	Actual %
Fund: 760 - RACI MAIN STREET LOAN FUND					
8060 - HOUSING & URBAN RENEWAL	9,606.00	0.00	0.00	9,606.00	0.00 %
Fund 760 Total:	9,606.00	0.00	0.00	9,606.00	0.00 %
Fund: 810 - COPIER/FAX REVOLVING FUND					
9310 - COPIER REVOLVING	0.00	0.00	4,163.98	-4,163.98	
Fund 810 Total:	0.00	0.00	4,163.98	-4,163.98	
Fund: 820 - EMPLOYEE HEALTH SELF-INSURANCE					
9320 - EMPLOYEE HEALTH SELF-INSURANCE	0.00	30,425.45	734,276.39	-734,276.39	
Fund 820 Total:	0.00	30,425.45	734,276.39	-734,276.39	
Fund: 830 - EMPLOYEE FLEX PLAN FUND					
9330 - EMPLOYEE FLEX PLAN	0.00	2,609.40	47,092.49	-47,092.49	
Fund 830 Total:	0.00	2,609.40	47,092.49	-47,092.49	
Report Total:	20,624,386.00	3,159,493.23	18,535,448.02	2,088,937.98	89.87 %



City Council
Communication
Meeting Date: July 21, 2014
Requested By: Public Works Dept.

Item Title: CONSENT AGENDA

Consider a resolution scheduling a public hearing on vacation and sale of 120' X 16.5' of the north-south alley adjacent to 211 North J Street.

Explanation:

Terry Wolfswinkel, owner of 211 North J Street, has requested that the portion of the north-south alley adjacent to their property be vacated. Mr. Wolfswinkel owns both the parcels, 211 North J Street and 1112 B Avenue West, adjacent to the requested alley vacate. The proposed alley had been paved with concrete when the chiropractic clinic was built in 2001.

The city conducted a survey of households with direct access to this alley. Among the residents that responded (3 total), 2 of them wanted the alley to be vacated and 1 does not want the alley vacated. Gary Fisher, owner of the Quality Car Wash located at 1101 A Avenue West, does not want this alley vacated because he indicated it will hinder the future expansion of his business as the traffic exiting the car wash cannot have adequate access. This alley also contains Oskaloosa sanitary sewer, MidAmerican Energy utility infrastructure, and MCG. Hence, easement rights will need to be retained for access to the above mentioned utilities.

The Planning & Zoning Commission considered this item at their July 14, 2014 meeting and recommended by a vote of 6:1 (yes : no) that the City Council approve the alley vacate request. Commission member Holden Barnhart opposed the alley vacate.

Recommended Action:

Staff recommends approving the resolution scheduling a public hearing for August 4, 2014 and approving this request for vacation and sale of 120' X 16.5' of the north-south public alley adjacent to 211 North J Street.

Budget Consideration:

\$100.00 in application fees and if the alley vacate is approved, there is revenue of \$990.00 (120'X16.5'X\$0.50/Sq.Ft.) to the General Fund as outlined on a price per square foot amount in the Oskaloosa Municipal Code.

Attachments :

Resolution, Location Map, Pictures of Alley, Alley Vacate Application, and Responses from adjacent owners and utility companies.

RESOLUTION NO. _____

RESOLUTION SETTING THE DATE FOR A PUBLIC HEARING TO CONSIDER AN ORDINANCE TO VACATE THE NORTH-SOUTH ALLEY ADJACENT TO 211 NORTH J STREET, AND THE SALE OF SAID PUBLIC ALLEY RIGHT-OF-WAY.

WHEREAS, a request has been made and the City wishes to consider the vacation and sale of the north-south public alley right-of-way that lies adjacent to 211 North J Street and is legally described as follows:

The 120 foot by 16.5 foot section of the north-south alley lying adjacent to Lot 2 of Block 3 of Loughridge and Cassidy's Addition in the Northwest Quarter of the Southwest Quarter of Section 13, Township 75, Range 16 in the City of Oskaloosa, Mahaska County, Iowa

WHEREAS, said request has been reviewed by the Planning and Zoning Commission and recommended for approval, and

WHEREAS, section 12.24.030 of the Oskaloosa Municipal Code requires a public hearing on such vacations.

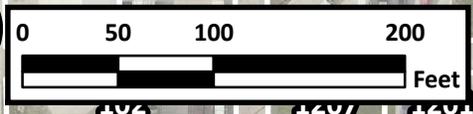
NOW, THEREFORE, BE IT RESOLVED by the City Council of Oskaloosa, Iowa that a public hearing shall be conducted on Monday, August 4, 2014 at 6:00 p.m. in the City Council Chambers, City Hall, Oskaloosa, Iowa at which time persons may appear and speak for, or against, the vacation as legally described in the preamble hereof.

PASSED AND APPROVED this _____ day of July, 2014.

David Krutzfeldt, Mayor

ATTEST: _____
Amy Miller, City Clerk

Alley Vacate Request for 211 North J Street



Date Created: 6-20-14

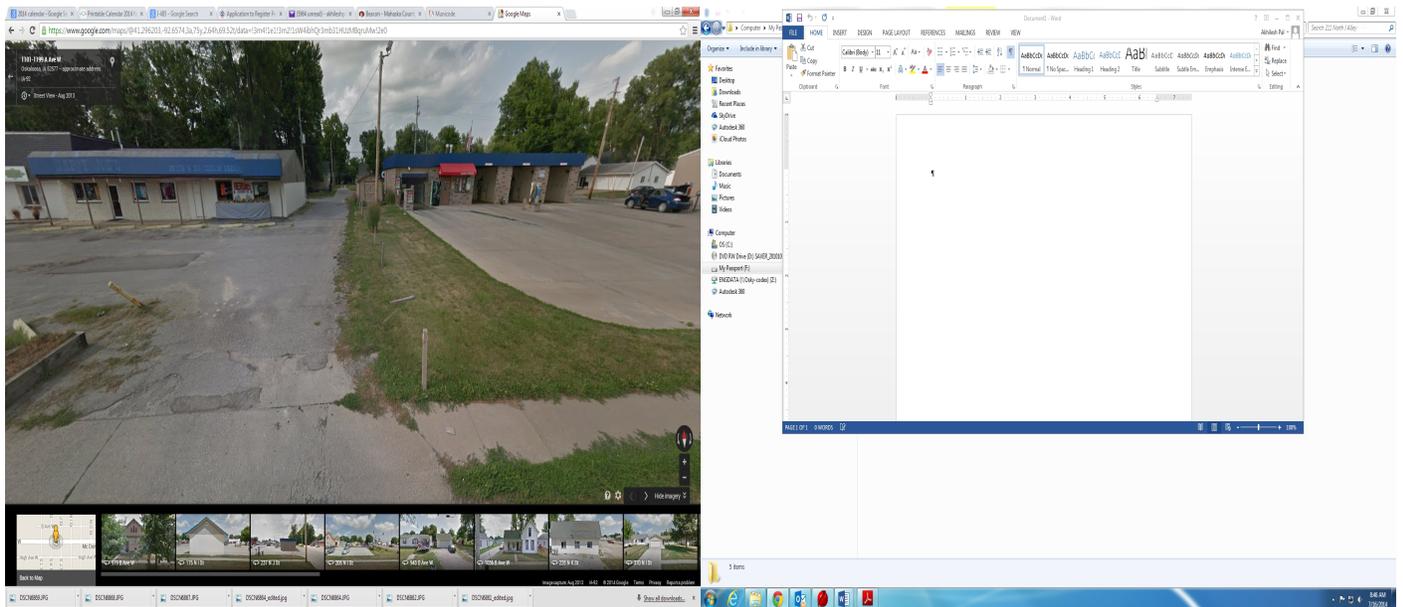
 ALLEY VACATE REQUEST AREA

Map addresses and street names:

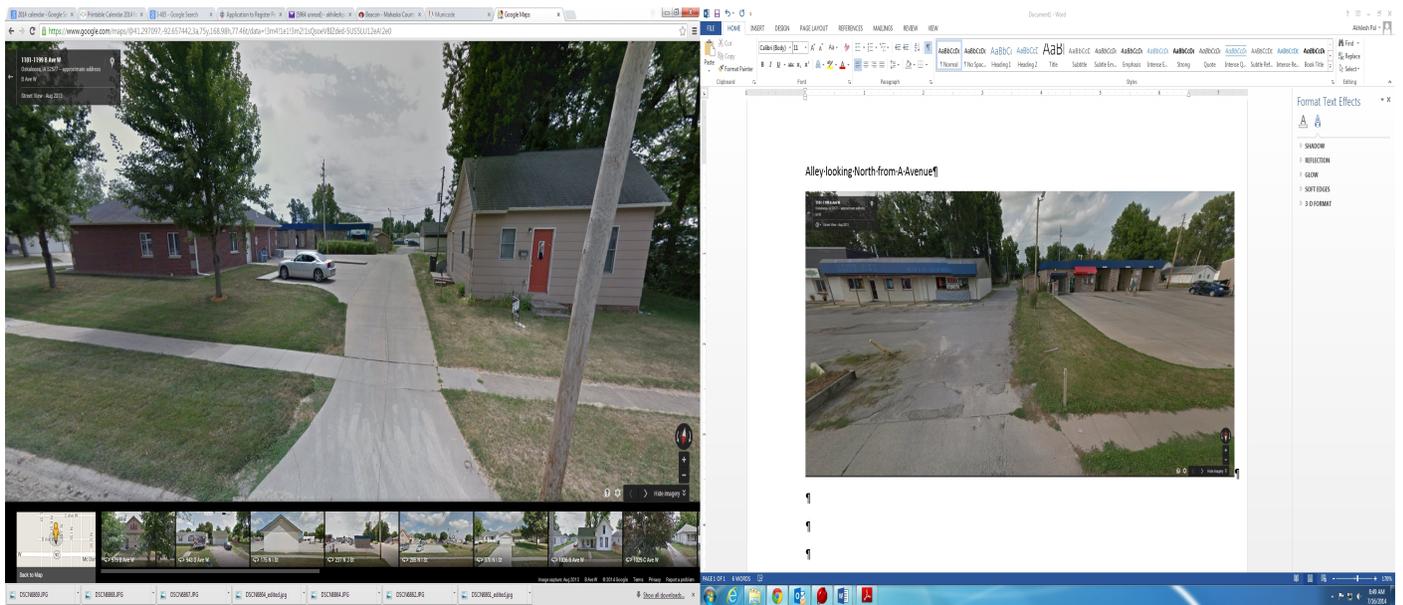
- Top row: 316, 314, 314 1/2, 315, 312, 313, 314, 315, 313, 314
- Second row: 1215, 1209, 1207, 301, 306, 1109, 1107, 1103, 1015, 1009, 1007, 309
- Third row: 1210, 215, 215, 1116, 1112, 211 N J St, 1012, 1010, 1008, 213
- Fourth row: 1215, 1207, 1201, 1107, 1101, 1015, 1011, 1001
- Fifth row: 1214, 1212, 1206, 1110, 1102, 111
- Bottom row: 104, 1207, 1201, 1109, 1105, 101, 1015, 1011, 1005, 1001, 911

Street names: N L St, NK St, NJ St, N J St, B Ave W, A Ave W (Hwy 92)

Alley looking north from A Avenue



Alley looking south from B Avenue



Reference: www.maps.google.com

ALLEY VACATION REQUEST
City of Oskaloosa, Iowa

Policy for sale of alleys:

Policy Adopted: 2/18/2003

1. The property owner requesting the vacation of the alley will pay the \$100.00 application fee and the purchase price of one-half of the alley at the time of the request. If the alley vacation and sale is not approved, the amount of the purchase will be refunded. Other property owners adjacent to the alley that wish to purchase their half will have 30 days after the third reading of the ordinance to purchase their portion. After the 30 days it could be sold to other adjoining property owners.
2. Alleys sold within a residentially zoned area will be sold at the residential rate (\$.50/SF), and alleys located in commercially or industrially zoned areas will be sold at commercial rates (\$1.00/SF).

Date of Request: 6-16-14

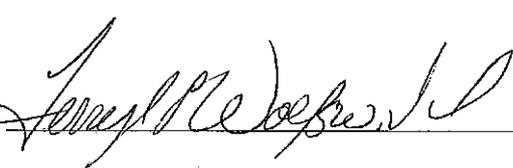
Property Owner Name: Wolfswinkel Family Trust

Address: 211 North J Street
Oskaloosa IA 52577

Phone: 515-~~7~~783-8076

Description of alley requested for vacation: Located between
211 North J St. & 1112 B Ave. W.

Reason for requesting alley vacation: own properties on both sides
of the alley already. When we built 211 N. J St
property, we concreted alley according to
code in ~~198~~ 2001.

Signature: 

OFFICE USE:

Application Fee Paid \$100.⁰⁰

Amount Paid For 1/2 of Alley: \$ 495.⁰⁰ (120 x 16.5 x \$.50/SF) x .50 1/2 \$ 495.⁰⁰

Vacation Approved Denied Refund Payment

ALLEY VACATION RESPONSE :211 North J Street

ADDRESS	NAME	RESPONSE	COMMENTS
1112 B Avenue West	Terryl Wolfswinkel	Yes, approve the proposed alley vacation	
211 North J Street	Terryl Wolfswinkel	Yes, approve the proposed alley vacation	
1101 A Avenue East	Fisher Quality Car Wash LLC	No, do not approve of the proposed alley vacate	We do not want the alley vacated. It serves our customers and will be needed, even more if we go forward with a planned
1107 A Avenue East	Deborah Fisher	No response	

UTILITY COMPANY RESPONSE

MCG	Yes Major Infrastructure
WATER DEPT.	Yes Major Infrastructure
CENTURY LINK	No Major Infrastructure
MIDAMERICAN ENERGY	Yes Major Infrastructure
CITY SANITARY SEWER	No Major Infrastructure



City Council
Communication
Meeting Date: July 21, 2014
Requested By: Public Works Dept.

Item Title: CONSENT AGENDA

Consider a resolution scheduling a public hearing on vacation and sale of 237.5' X 16' of the north-south alley adjacent to 1210 A Avenue East.

Explanation:

Vikshina Patel, owner of Budget Inn located at 1210 A Avenue East, has requested that the north-south alley adjacent to their property be vacated. The applicant indicated that they maintain the entire section of the north-south alley.

The city conducted a survey of households with direct access to this alley. Among the residents that responded (2 total), 1 of them wanted the alley to be vacated and 1 does not want the alley vacated. CB Liquor, the property owner of 1202 A Avenue East, opposed the alley vacate stating that this alley serves as a security measure for emergency personnel and access to the pole building at 1202 A Avenue East. The pole building located south of the CB Liquor store requires access from the southern portion of the subject alley.

This alley also contains Oskaloosa sanitary sewer, Century Link, and MidAmerican Energy utility infrastructure. Hence, easement rights will need to be retained for access to the above mentioned utilities.

The Planning & Zoning Commission considered this item at their July 14, 2014 meeting and recommended by a vote of 7:0 (yes : no) that the City Council approve the alley vacate request. The Commission indicated CB Liquor can approach Budget Inn to get a driveway easement to access the pole building.

Recommended Action:

Staff recommends approving the resolution scheduling a public hearing for August 4, 2014.

Budget Consideration:

\$100.00 in application fees and if the alley vacate is approved, there is revenue of \$1,900.00 (237.5'X16.0'X\$0.50/Sq.Ft.) to the General Fund as outlined on a price per square foot amount in the Oskaloosa Municipal Code.

Attachments :

Resolution, Location Map, Pictures of Alley, Alley Vacate Application, and Responses from adjacent owners and utility companies.

RESOLUTION NO. _____

RESOLUTION SETTING THE DATE FOR A PUBLIC HEARING TO CONSIDER AN ORDINANCE TO VACATE THE NORTH-SOUTH ALLEY ADJACENT TO 1210 A AVENUE EAST, AND THE SALE OF SAID PUBLIC ALLEY RIGHT-OF-WAY.

WHEREAS, a request has been made and the City wishes to consider the vacation and sale of the north-south public alley right-of-way that lies adjacent to 1210 A Avenue East and is legally described as follows:

The 237.5 foot by 16 foot north-south alley lying adjacent to Lot 3 and Lot 8 of Phelps' Subdivision of the Irregular Survey in the Southwest Quarter of the Southeast Quarter of Section 18, Township 75, Range 15 in the City of Oskaloosa, Mahaska County, Iowa

WHEREAS, said request has been reviewed by the Planning and Zoning Commission and recommended for approval, and

WHEREAS, section 12.24.030 of the Oskaloosa Municipal Code requires a public hearing on such vacations.

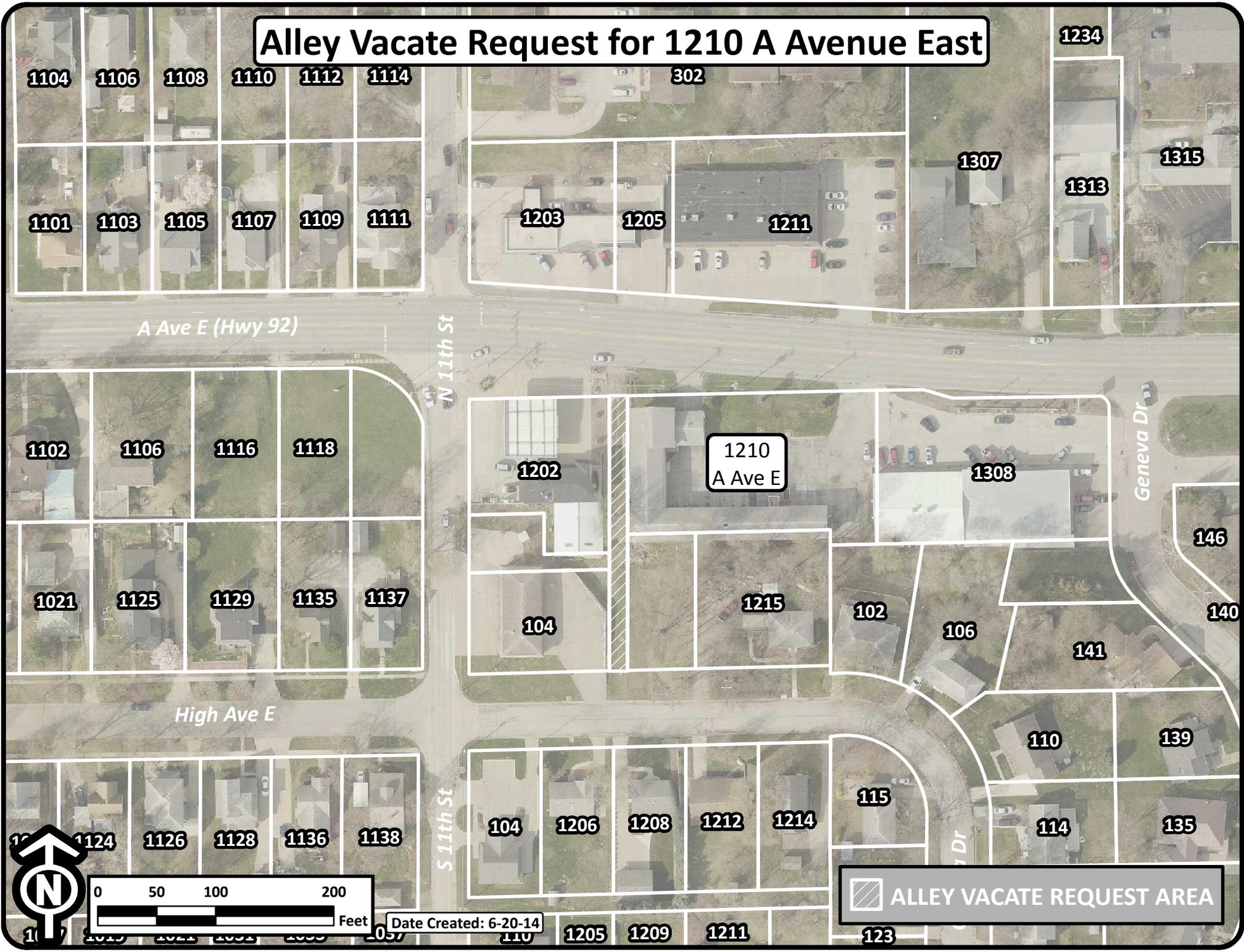
NOW, THEREFORE, BE IT RESOLVED by the City Council of Oskaloosa, Iowa that a public hearing shall be conducted on Monday, August 4, 2014 at 6:00 p.m. in the City Council Chambers, City Hall, Oskaloosa, Iowa at which time persons may appear and speak for, or against, the vacation as legally described in the preamble hereof.

PASSED AND APPROVED this _____ day of _____, _____.

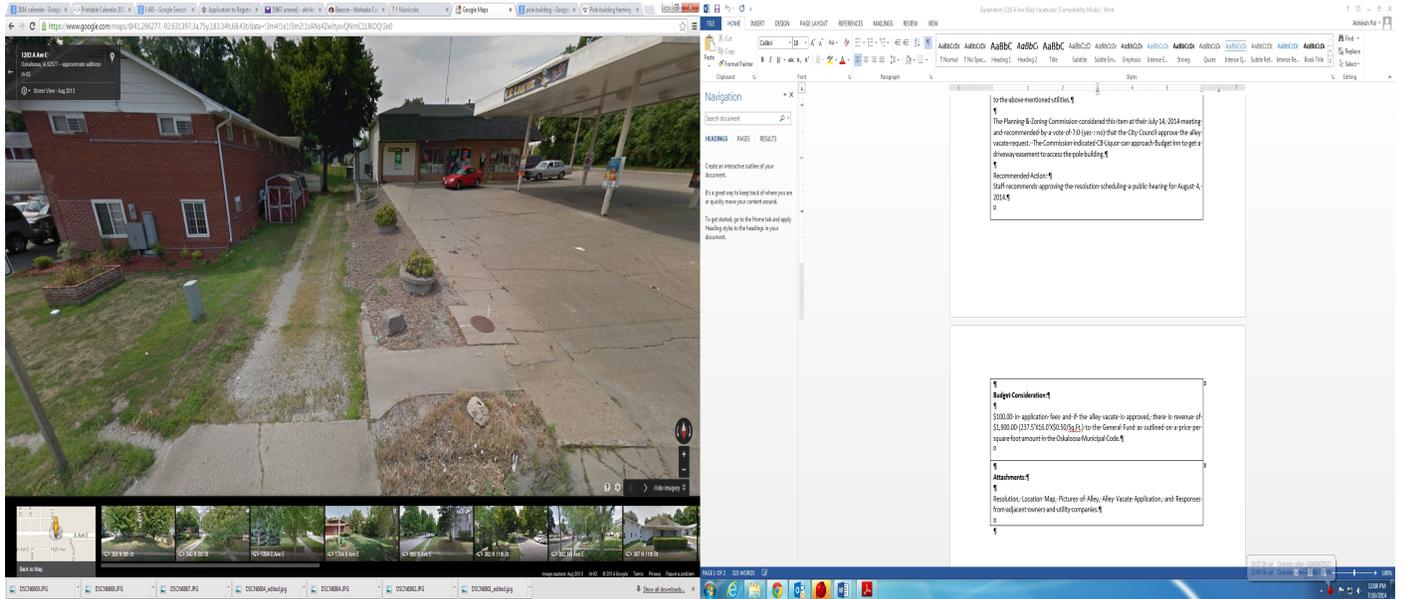
David Krutzfeldt, Mayor

ATTEST: _____
Amy Miller, City Clerk

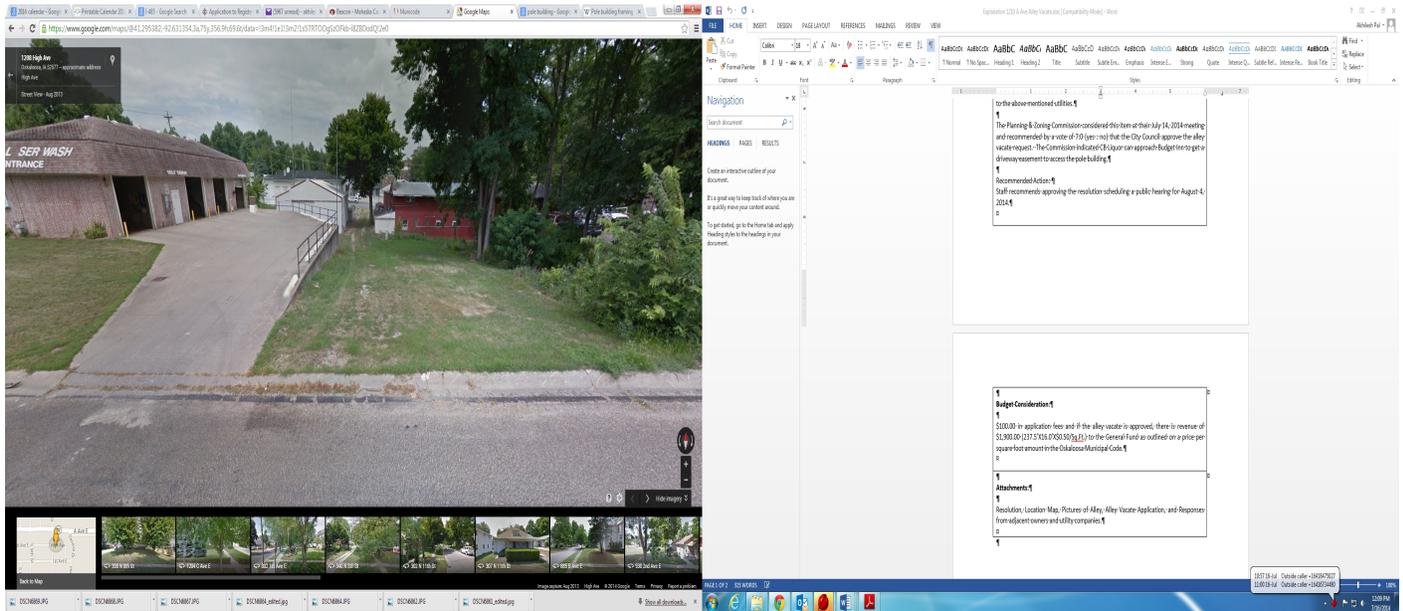
Alley Vacate Request for 1210 A Avenue East



Alley looking south from A Avenue



Alley looking north from High Avenue



Reference: www.maps.google.com

ALLEY VACATION REQUEST
City of Oskaloosa, Iowa

Policy for sale of alleys:

Policy Adopted: 2/18/2003

1. The property owner requesting the vacation of the alley will pay the \$100.00 application fee and the purchase price of one-half of the alley at the time of the request. If the alley vacation and sale is not approved, the amount of the purchase will be refunded. Other property owners adjacent to the alley that wish to purchase their half will have 30 days after the third reading of the ordinance to purchase their portion. After the 30 days it could be sold to other adjoining property owners.
2. Alleys sold within a residentially zoned area will be sold at the residential rate (\$.50/SF), and alleys located in commercially or industrially zoned areas will be sold at commercial rates (\$1.00/SF).

Date of Request: 6/3/2014

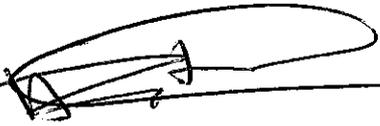
Property Owner Name: Meeswina Hospitality LLC (Vikshina. Patel)

Address: 1210 A Ave E.
OSKALOOSA, IA. 52577

Phone: (912)536-8779 / (641)-673-8333

Description of alley requested for vacation: I will like to purchase
240 x 16.5 of the North/South Alley.

Reason for requesting alley vacation: ADDITION of the House NO
Traffic using the Alley.

Signature 

OFFICE USE:

Application Fee Paid

Amount Paid For 1/2 of Alley: \$ 950.⁰⁰ (16' X 237.^{50'} X \$.504/SF)

Vacation Approved _____ Denied _____ Refund Payment _____

ALLEY VACATION RESPONSE : 1210 A Avenue East

ADDRESS	NAME	RESPONSE	COMMENTS
1210 A Avenue East	Vakshina Patel Meernia Hospitality LLC	Yes, Approve the proposed alley vacate	
1202 A Avenue East	Bill & Carrie Bainbridge	No, Do not approve the proposed alley vacate	We have things in our pole building to get in and out. We are wanting it open for security measures and fire. Fire trucks and police cars should be able to get in.
104 South 11th Street	Robert & Tina Schaffner	No Response	

UTILITY COMPANY RESPONSE

MCG	No Infrastructure
WATER DEPT.	Yes Major Infrastructure
CENTURY LINK	Yes Major Infrastructure
MIDAMERICAN ENERGY	Yes Major Infrastructure
CITY SANITARY SEWER	Yes Major Infrastructure



City Council
Communication
Meeting Date: July 21, 2014
Requested By: Public Works Dept.

Item Title: CONSENT AGENDA

Consider a resolution to temporarily close South 8th Street between 1st Avenue East and 2nd Avenue East on September 7, 2014 for a church activity.

Explanation:

Andy Baker from Central Reformed Church has applied for a temporary street closure on South 8th Street between 1st Avenue East and 2nd Avenue East. The proposed street closure is requested on September 7, 2014 from 8:00AM to 11:00AM for a fall launch celebration and a ministry fair. The church is requesting the approval of this temporary street closure for the safety of children and families attending the church activity. The church will be responsible for cleanup, all signs and barricades, and notifying the affected residents.

Recommended Action:

Staff recommends approval of the temporary street closure as requested.

Budget Consideration:

Street closure permit fee of \$25.00.

Attachments :

Resolution, application and letter.

RESOLUTION NO. _____

A RESOLUTION AUTHORIZING THE TEMPORARY STREET CLOSURE OF SOUTH EIGHTH STREET FROM FIRST AVENUE EAST TO SECOND AVENUE EAST TO ALLOW FOR A CHURCH ACTIVITY

WHEREAS, section 10.08.020 of the Oskaloosa Municipal Code requires a City Council resolution on temporary street closures; and

WHEREAS, South 8th Street is a public street that will require a temporary street closure; and

WHEREAS, members of the Central Reformed Church have requested temporary closure of South 8th Street from 1st Avenue East to 2nd Avenue East for a church activity; and

WHEREAS, members of the Central Reformed Church are requesting a temporary street closure for the aforementioned streets on September 7, 2014 from 8:00 A.M. to 11:00 A.M.; and

WHEREAS, members of the Central Reformed Church will be responsible for traffic control, cleanup, and notifying the affected residents; and

WHEREAS, said request has been reviewed by staff and recommended for approval; and

NOW, THEREFORE, BE IT RESOLVED by the City Council of Oskaloosa, Iowa that Central Reformed Church, is authorized to temporarily close the aforementioned requested streets, subject to certain terms and conditions.

PASSED AND APPROVED this _____ day of July, 2014.

David Krutzfeldt,
Mayor

ATTEST:

Amy Miller, City Clerk



CITY OF OSKALOOSA

Public Works Department

RIGHT-OF-WAY USE PERMIT APPLICATION

FOR CITY OF OSKALOOSA OFFICE USE ONLY				
Permit Number: _____		Location File: _____		
Fee Paid \$ _____	Date Paid / / _____	Cash _____	Check No. _____	Receipt # _____
PLEASE PRINT PERMIT IS VOID IF WORK DOES NOT PROCEED WITHIN 60 DAYS PLEASE PRINT				
Contractor/Organization: <u>Central Reformed church</u>		Contact Name: <u>Andy Baker</u>	Contact Phone #: <u>641-673-3843</u>	
Mailing Address (Include Zip Code): <u>915 2nd Ave E. Oskaloosa, IA 52577</u>		Phone: <u>641-673-3843</u>		
Email (PRINT): <u>andyb@centralosky.com</u>		Fax: _____		
Type of Work: (Check appropriate box) <input type="checkbox"/> Construction <input type="checkbox"/> Sidewalk <input type="checkbox"/> Driveway <input type="checkbox"/> Housemoving <input checked="" type="checkbox"/> Temporary Street Closure <input type="checkbox"/> Banner <input type="checkbox"/> Improvements <input type="checkbox"/> Other _____		Detailed Description: <u>close S. 8th Street between 1st Ave E. and 2nd Ave E. from 8am to 11am on Sunday September 7th</u>		
		Driveway Specifications: (Complete this section only if applicable) Total width of driveway & extension after proposed construction: _____ Driveway width: _____ Extension width: _____ Flare width/Radius per side: _____ Width of total curb cut: _____		
Start Date: <u>9/7/14</u>	Start Time: <u>8am</u>	End Date: <u>9/7/14</u>	End Time: <u>11am</u>	City Comments: _____
Location: <u>S. 8th Street</u>		From: <u>2nd Ave E</u>	To: <u>1st Ave E.</u>	
24-hour Emergency Contact: <u>Andy Baker</u>		24-hour Phone: <u>70-490-5217</u>	Check preferred method of permit approval Notification: <input type="checkbox"/> Fax <input checked="" type="checkbox"/> Email	
Complete the following only if excavation is required Excavation Information				
Width	Length	Depth	Distance from Curb Pavement Edge:	Will a street or lane closure be required? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
				Will sidewalk closure be required? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
				Will work involve any pavement removal? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Construction Plan Attached? <input type="checkbox"/> Yes <input type="checkbox"/> No				NOTE: Any pavement removal will require repair to City standards
THIS PERMIT IS SUBJECT TO CONDITIONS ON PAGE 2 OF THIS FORM				
I hereby state all information is correct and agree to the terms on the second page. I also agree to be bound by the provisions of the Ordinances, specifications and regulations of the City of Oskaloosa Code, or other government agencies to such special conditions, restrictions and regulations as may be imposed by the Public Works Department. The applicant is aware that any Public Street Closure of said portion of public street right-of-way will require City Council approval and is in accordance with approved maintenance of traffic plan.				
Permittee Signature: <u>Andy Baker</u>			Date: <u>6-26-14</u>	
The undersigned does hereby certify that he/she is the duly authorized Agent of the Applicant for the purpose of binding the Applicant to the terms and conditions of this application and this information.				
Permittee Signature: <u>Andy Baker</u>			Date: <u>6-26-14</u>	
FOR CITY OF OSKALOOSA OFFICE USE ONLY				
The applicant is hereby authorized to make an opening in or under the above named street at the specified location; provided all work is performed in accordance with the applicant's plans, City of Oskaloosa Ordinances, specifications, and regulations governing street openings, and the following special Conditions or such special conditions as may be imposed during the performance of the authorized work.				
<input type="checkbox"/> Approved		Public Works Department Signature		Date
<input type="checkbox"/> Disapproved				
APPROVAL		FOR CITY OF OSKALOOSA OFFICE USE ONLY		PERFORMANCE BOND INFORMATION
PLANS (Init.)	DATE	AMT. OF BOND	<input type="checkbox"/> SURETY BOND <input type="checkbox"/> CASH BOND	<input type="checkbox"/> LETTER OF CREDIT <input type="checkbox"/> OTHER SURETY, SPECIFY _____
				<input type="checkbox"/> CERTIFIED CHECK
PERMIT CLOSE OUT SECTION-To be signed upon Completion of Work-Permittee certifies work has been completed in accordance to the permit.				
I, the undersigned, do hereby attest that the construction approved by the subject Permit was installed in accordance with the permit requirements and in accordance with the City of Oskaloosa's standards and regulations and that all changes have been noted in the Record Drawings (As-builts) submitted.				
Permittee Signature: _____			Date: _____	
FOR CITY OF OSKALOOSA OFFICE USE ONLY				
Inspected by (Signature & Title): _____			Date: _____	
Final Acceptance: PUBLIC WORKS DEPARTMENT				
Accepted By: _____			Date: _____	

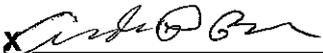
**CITY OF OSKALOOSA
PUBLIC WORKS DEPARTMENT**

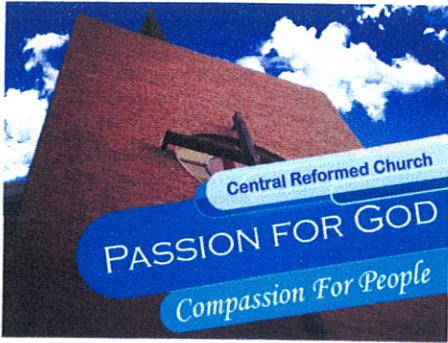
804 South D Street, Oskaloosa, IA 52577; Ph: (641) 673-7472 Fax (641) 673-3733

All work performed under this permit shall be done in accordance with City of Oskaloosa Code and the Public Works Department Guidelines. Approval is subject to the following:

1. IT IS STRONGLY SUGGESTED YOU MAKE CONTACT WITH YOUR NEIGHBORS REGARDING THIS PROPOSED ACTIVITY TO SOLICIT THEIR COOPERATION AND/OR INPUT. Temporary Street Closure Permits will be required in all instances where a street is proposed to be closed. The required permit application form should be filed in the Public Works Department at least TEN (10) calendar days in advance of a planned activity.
2. Street Closure Permits will generally NOT be issued: On major streets or On streets which provide major access for a subdivision, a church, a hospital, a public park, a fire station, a community center or a business which is in operation during the hours of the activity.
3. The right of ingress and egress (in/out) for every parcel of land must be maintained.
4. Street closure must meet signage requirements by the Manual on Uniform Traffic Control Devices. Standard barricades with "Street Closed" designation must also be placed along the streets at each intersection of the closure.
5. No obstacle may be placed adjacent to any fire hydrant.
6. A non-refundable street closure fee is due at the time of submitting the request.
7. The applicant certifies that each utility company, public and private within the rights-of-way have been contacted and a copy of their responses is attached as part of this permit application.
8. All work shall be done pursuant to the standards approved by the City Engineer. All materials and equipment shall be subject to inspection by said City Engineer or his/her designee.
9. All construction shall be performed in a manner meeting the approval of the Public Works Department Guidelines as prescribed by Manual on Uniform Traffic Control Devices Standards.
10. It is understood and agreed that the rights and privileges herein set out are granted to the extent of the City's right, title and interest in the land to be entered upon and used by the Permittee. The Permittee will, at all times, assume all risk of and indemnify, defend and save harmless the City from and against all loss, damage, cost or expense arising in any manner out of the exercise or attempted exercise of the aforesaid rights and privileges. Initials: AB
11. All City of Oskaloosa property and/or rights-of-way shall be restored to current standard or to original condition as far as approved by the City Engineer or designee. Initials: AB
12. It is expressly stipulated that this permit is a license for permissive use only and that placing facilities upon public property pursuant to this permit shall not operate to create or to vest any property rights in said holder. Initials: AB
13. Whenever necessary for the construction, repair, improvement, alteration or relocation of all, or any portion of a City facility as determined by the City Engineer or designee, any or all poles, wires, pipes, cables or other facilities appurtenances authorized hereunder, shall be removed from said rights-of-way, or reset or relocated thereon as required by the City Engineer or designee, and shall be done at the expense of the holder. Initials: AB
14. Violations of these regulations or public safety requirements, may cause revocation of the permit, termination of the activity and/or jeopardize future requests. Initials: AB
15. The City shall be notified 24 hours prior to starting work and again immediately upon completion of work at 1-641-673-7472.
16. The City shall be notified prior to any lane and road closures at 1-641-673-7472.
17. If excavation is involved then call Iowa One Call at 1-800-292-8989 prior to starting construction.
18. Permitted work must commence within 60 calendar days of permit approval. Extensions may be granted through written request only.
19. Execute and return the *original* permit with the Permit Close Out Section completed and record drawings (as-builts) to the City stating that the job is completed in accordance with the permit and all changes have been noted in the record drawings.
20. The Permittee is responsible for ensuring that all work is done in compliance with the Americans with Disabilities Act.
21. Permittee is responsible for providing an emergency contact person and phone number for 24 hours a day / 7 days a week. Inability to make contact in the event of an emergency may result in penalty, or fines such as suspension, revocation of permit, and/or back charge as a result of damages.

Please read and understand the above. Date and sign your agreement on front page and below:

Permittee's Signature  DATE: 6-26-19



Dear Members of the Council,

I am writing you on behalf of Central Reformed Church to request closure of S. 8th St. between 1st Ave E. and 2nd Ave E. from 8am to 11am on Sunday, September 7th. We will be holding our Fall Launch that day, and as part of our celebration will be holding a ministry fair, complete with food and family friendly activities, on our vacant lots located along S. 8th St.

We are asking for street closure primarily to allow safe crossing from our main church facility (815 2nd Ave E.) and the festivities. Since our Fall Launch is heavily focused on attracting young families with children we desire to provide the safest conditions possible. Closing the street allows for much safer passage from our main building and parking lots than if the street remained open. We have done this for many years during our Vacation Bible School program in June and it has worked very well.

If given permission the church will provide cones and barriers to denote the closing of the street, setting them up no earlier than 8am on September 7th and removing them no later than 11am that day. We will also be providing plenty of supervision that day.

Should the council or any city employees have any questions for us please do not hesitate to ask. Thank you for your time and consideration.

A handwritten signature in black ink, appearing to read 'Andy Baker', written in a cursive style.

Andy Baker
Director of Outreach and Assimilation
Central Reformed Church
815 2nd Ave E.
Oskaloosa, IA 52577
Office: 641-673-3843
Email: andyb@centralosky.com



City Council
Communication
Meeting Date: July 21, 2014
Requested By: Public Works Dept.

Item Title: CONSENT AGENDA

Consider a resolution for preliminary approval of plans, specifications, form of contract, and estimated cost; and also for ordering publication of notice of hearing, and notice to bidders for the South 11th Street Pavement Rehabilitation Project.

Explanation:

City of Oskaloosa Engineering Division staff has prepared plans and specifications for the South 11th Street Pavement Rehabilitation Project. This item allows staff to proceed with scheduling a public hearing on plans, specifications, and a bid letting date for the Project. The scope of this project includes, but is not limited to, milling the existing asphalt street, asphalt overlay, concrete pavement reconstruction, full depth and partial depth patching, repairing concrete curb & gutter sections, new ADA accessible sidewalk ramp reconstruction, sidewalk and driveway pavement replacement, storm sewer intake rebuilds, alley approach improvements, and other related construction. The preliminary engineering cost estimate for this project is \$732,875.00.

If the project is awarded, then construction is proposed to commence mid August to early September depending on the weather. The anticipated work completion time is 60 working days. Due to the length of time required for this project, the construction work may be suspended during the winter. If the construction is halted in winter, then the street reconstruction will begin in the spring of 2015 as soon as favorable weather conditions return.

The City Council is prepared to obtain bids for the South 11th Street Pavement Rehabilitation Project. Bids will be received and opened on Wednesday, July 30, 2014, at 10:00 a.m. and presented to the City Council on Monday, August 4, 2014.

Recommended Action:

Staff recommends approval of this item as presented and approval of the resolution scheduling a public hearing for August 4, 2014.

Budget Consideration:

No financial impact is associated with scheduling the public hearing. Minimal charges will be incurred as a result of printing the notice.

Attachments :

Resolution, Preliminary Plans, Notice to bidders, and Engineers Estimate.

RESOLUTION NO. _____

**RESOLUTION FOR PRELIMINARY APPROVAL OF PLANS,
SPECIFICATIONS, AND ESTIMATED COST; SETTING DATE OF PUBLIC
HEARING ON PLANS, SPECIFICATIONS, AND ESTIMATED COST; AND
ORDERING THE ADVERTISEMENT FOR BIDS ON THE SOUTH 11TH
STREET PAVEMENT REHABILITATION PROJECT**

WHEREAS, the Council has authorized the preparation of the proposed plans, specifications, contract documents, and estimate of cost for the South 11th Street Pavement Rehabilitation Project, which are hereby preliminarily approved and ordered filed in the office of the City Clerk for public inspection and

WHEREAS, said plans and specifications along with the Notice of Hearing and Notice to Bidders have been filed by the Engineer with the City Clerk of Oskaloosa, Iowa, as follows:

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Oskaloosa, Iowa, as follows:

- Section 1. That this Council will meet on the 4th day of August, 2014, at 6:00 p.m., at which time it will hold a public hearing on the proposed plans and specifications for the aforementioned project. At the hearing, any interested person may appear and file objections to the proposed plans, specifications, form of contract, or estimated cost of the project.
- Section 2. The preliminary plans and specifications, notice of hearing, notice to bidders, and estimate of cost are hereby approved for the purpose of enabling the solicitation of bids.
- Section 3. That the amount of the bid security to accompany each bid shall be in an amount which shall conform to the provisions of the notice to bidders as part of said specifications.
- Section 4. That the Clerk shall publish Notice of Hearing and Notice to Bidders the same being in the form herein above specified, which publication shall be made in the Oskaloosa Herald, a legal newspaper printed wholly in the English language, printed in Oskaloosa, Iowa, and of general circulation therein, which publication shall be in accordance with the State Code of Iowa.
- Section 5. That bids will be received by the City of Oskaloosa at the Office of the City Clerk at City Hall at 220 South Market Street until 10:00 a.m. on the 30th day of July, 2014, in connection with the aforementioned project.

Section 6. That this Council will meet at the City Council Chambers, Oskaloosa City Hall, Oskaloosa, Iowa, on the 4th day of August, 2014, at 6:00 p.m., and subsequent to the public hearing on said documents it will consider all bids filed pursuant to the plans, specifications, form of contract, and cost for the aforementioned project.

Section 7. That all resolutions or parts of resolutions thereof in conflict herewith be and same hereby repealed.

PASSED AND APPROVED this _____ day of July, 2014.

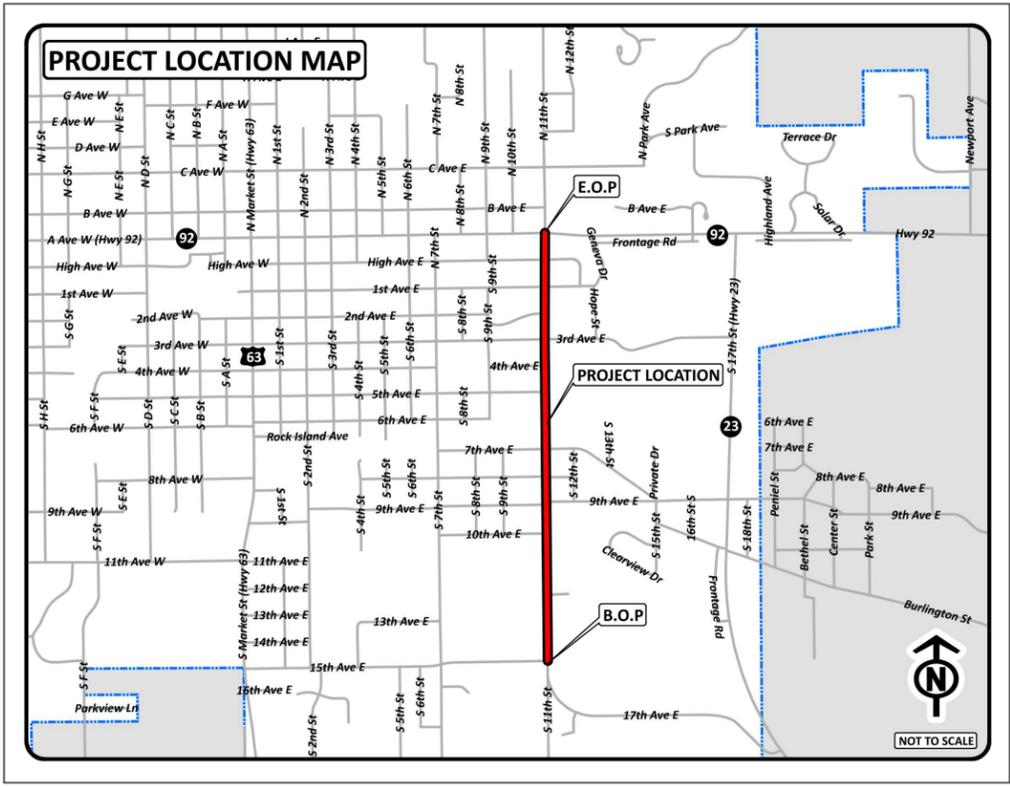
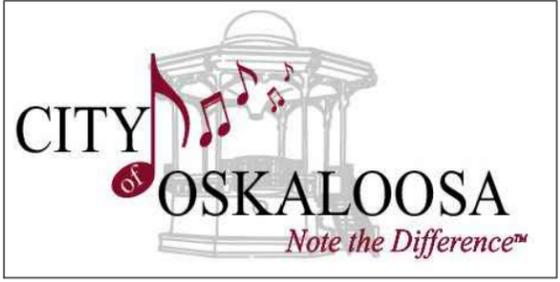
David Krutzfeldt,
Mayor

ATTEST:

Amy Miller, City Clerk

PRELIMINARY

SOUTH 11TH STREET PAVEMENT REHABILITATION PROJECT OSKALOOSA, IOWA 2014



SHEET INDEX

SHEET NO.	DESCRIPTION
A.1	TITLE SHEET
A.2	TRAFFIC CONTROL PLAN
A.3	GENERAL NOTES & QUANTITY TABULATION
A.4	TYPICAL SECTIONS
A.5	SUDAS SPECIFICATIONS
B.1-B.10	11TH STREET PLANS
15	TOTAL SHEETS

**AKHILESH
PAL
20813**

IOWA

I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

Akhilesh Pal, P.E. _____ Date _____

License Number: 20813
My license renewal date is: December 31, 2015

Pages or sheets covered by this seal:
ALL SHEETS

UTILITY CONTACT INFORMATION

UTILITY	ORGANIZATION/REPRESENTATIVE	PHONE
STORM AND SANITARY SEWER	CITY OF OSKALOOSA, KEVIN BORK	641-799-1625
WATER	OSKALOOSA WATER DEPT., CHAD COON	641-660-5555
NATURAL GAS	MID-AMERICAN ENERGY, JEFF FERGUSON	641-660-3068
ELECTRIC	MID-AMERICAN ENERGY, JASON SANDIFER	641-660-7217
COMMUNICATIONS	MCG, ANDY PADGETT	641-295-7068
TELEVISION	MEDIACOM, TIM EAGEN	319-350-3679
PHONE	CENTURY LINK, DUSTIN WITHERS	515-263-7202
PUBLIC WORKS	CITY OF OSKALOOSA, AKHILESH PAL & NATE WILLEY	641-673-7472
UNION PACIFIC RAILROAD	NATE WALTON	712-790-3888
TRAFFIC SIGNALS	DAVE DICKINSON	641-673-3256

CITY OF OSKALOOSA
Note the Difference

OSKALOOSA ENGINEERING DEPT.
804 SOUTH D STREET
OSKALOOSA, IA 52577
PHONE: (641)673-7472
FAX: (641)673-3733

SHEET TITLE: **TITLE SHEET**

PROJECT NAME:
**SOUTH 11TH STREET
PAVEMENT REHABILITATION PROJECT**

DRAWN BY: **NW** APPROVED BY: **AP** DATE: **JULY 14, 2014** PROJECT NO.: **2010-13**

SHEET NO. **A.1**

NO.	DATE

REVISION/ISSUE



① TYPE III BARRICADE



② TYPE III BARRICADE



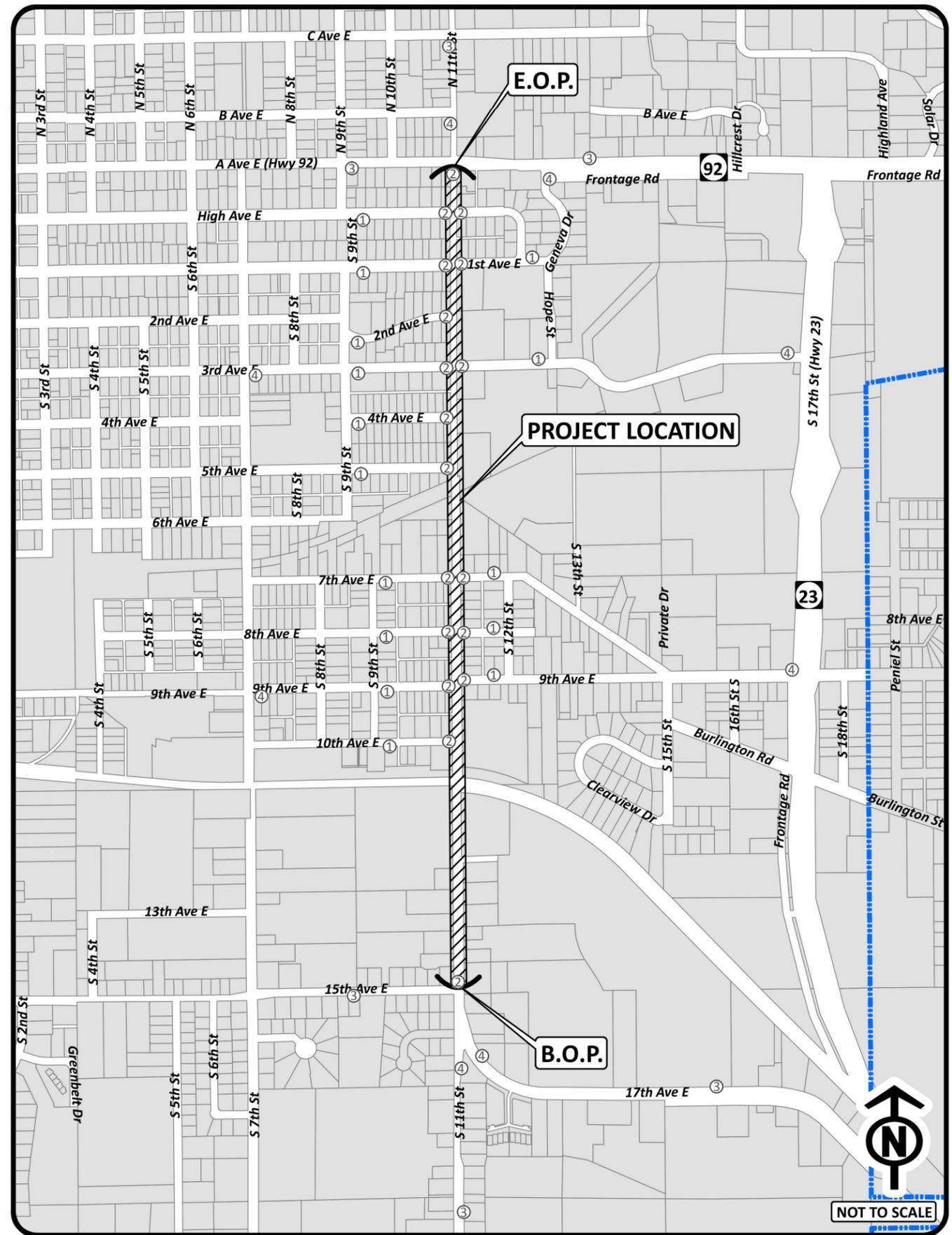
③ W20-1, 48" X 48"



④ W20-3, 48" X 48"

TRAFFIC CONTROL PLAN NOTES

1. TRAFFIC CONTROL AND SIGNING ON THIS PROJECT SHALL BE IN ACCORDANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL SIGNS SHALL USE REFLECTIVE HIGH INTENSITY SHEETING OR BETTER.
2. WHERE POSSIBLE ALL POST MOUNTED SIGNS SHALL BE PLACED A MINIMUM OF TWO FEET CLEAR OF THE BACK OF CURB.
3. PERMANENT SIGNS CONVEYING A MESSAGE CONTRARY OR CONTRADICTORY TO THE MESSAGE OF TEMPORARY SIGNS AND/OR NOT APPLICABLE TO WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE ENGINEER.
4. ALL TRAFFIC CONTROL DEVICES, INCLUDING WOODEN POSTS SHALL BE FURNISHED, MAINTAINED, AND REMOVED BY THE CONTRACTOR.
5. THE LOCATION FOR STORAGE OF CONTRACTOR MATERIALS OR EQUIPMENT DURING NON-WORKING HOURS SHALL BE APPROVED BY THE ENGINEER IN CHARGE OF CONSTRUCTION.
6. PROPOSED SIGN SPACING MAY BE MODIFIED WITH THE ENGINEER'S APPROVAL TO MEET EXISTING FIELD RESTRICTIONS OR TO PREVENT OBSTRUCTION OF MOTORISTS VIEW OF PERMANENT SIGNING.
7. PROPOSED CHANGES IN THE TRAFFIC CONTROL PLAN SHALL BE REVIEWED WITH THE ENGINEER BEFORE THE CHANGES ARE MADE.
8. THE BID ITEM "TRAFFIC CONTROL" SHALL INCLUDE THE COST FOR ALL TRAFFIC CONTROL MEASURES REQUIRED OF THE CONTRACTOR.
9. ALL CONTRACTOR-FURNISHED BARRICADES, VERTICAL PANELS, AND FIXED POST MOUNTED TRAFFIC CONTROL SIGNS SHALL BE REFLECTORIZED WITH ENCAPSULATED LENS SHEETING MEETING STANDARD SPECIFICATIONS.
10. ARTICLE 2528.12 OF THE I.D.O.T. STANDARD SPECIFICATIONS REQUIRES MAINTENANCE OF ALL TRAFFIC CONTROL DEVICES, INCLUDING MAINTENANCE OF THE DEVICES DURING NON-WORKING HOURS IN ORDER TO ASSURE PROPER OPERATION.
11. WHEN USED FOR TRAFFIC CONTROL OR PROTECTION OF THE WORK SITE, SAFETY FENCE MUST BE FIRMLY SUPPORTED IN A VERTICAL POSITION. RELATED COSTS WILL BE INCLUDED IN THE TRAFFIC CONTROL BID ITEM.
12. ALL "STOP" AND OTHER REGULATORY SIGNS ARE NOT TO BE DISTURBED UNTIL NECESSARY. IF A "STOP" OR OTHER REGULATORY SIGN MUST BE REMOVED, IT CAN BE REMOVED AND STORED FOR THE CITY TO PICKUP.
13. TYPE "A" FLASHING WARNING LIGHTS ARE REQUIRED AND SHALL BE VISIBLE TO BOTH DIRECTIONS OF TRAFFIC. THE BACKSIDE OF THE TYPE III BARRICADES SHALL BE FULLY REFLECTORIZED UNLESS THERE IS NO ACCESS PERMITTED BEYOND THE BARRICADE. STRIPES SHALL BE PROPERLY SLOPED DOWN TOWARDS THE TRAFFIC SIDE.
14. A MINIMUM OF 2 TYPE III BARRICADES ARE NECESSARY TO CLOSE AN ENTIRE STREET.
15. ALLEYS ON CLOSED STREETS ARE REQUIRED TO HAVE TYPE III BARRICADES.
16. PRIVATE DRIVEWAYS CAN BE CLOSED WITH TYPE II BARRICADES.
17. TRAFFIC CONTROL WILL BE PAID FOR AT THE CONTRACT LUMP SUM PRICE.
18. ALL EXISTING STREET INTERSECTIONS ARE TO BE OPEN FOR TRAFFIC AT ALL TIMES, EXCEPT WHEN PAVING AND/OR MAJOR CONSTRUCTION ACTIVITY IS IN PROGRESS.
19. THE CITY ENGINEER RESERVES THE RIGHT TO CHANGE THE TRAFFIC CONTROL PLAN WHEN REQUIRED.
20. IF CONSTRUCTION IS HALTED DUE TO EXTREME WEATHER CONDITIONS, CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND REINSTALLATION OF TRAFFIC CONTROL SIGNAGE AT NO ADDITIONAL COST.
21. CONTRACTOR IS RESPONSIBLE FOR ANY REQUIRED TRAFFIC CONTROL MEASURES ALONG A AVENUE (HWY 92) AT NO ADDITIONAL COST. TRAFFIC CONTROL, INCLUDING LANE CLOSURES, ALONG A AVENUE MUST FOLLOW IOWA DOT SPECIFICATIONS.



OSKALOOSA ENGINEERING DEPT.
804 SOUTH D STREET
OSKALOOSA, IA 52577
PHONE: (641)673-7472
FAX: (641)673-3733

SHEET TITLE:
TRAFFIC CONTROL PLAN

PROJECT NAME:
**SOUTH 11TH STREET
PAVEMENT REHABILITATION PROJECT**

DRAWN BY: NW
APPROVED BY: AP
DATE: **JULY 14, 2014**
PROJECT NO.: **2010-13**

SHEET NO.

A.2

NO. REVISION/ISSUE DATE

GENERAL NOTES:

- THIS PROJECT INCLUDES ALL WORK AND MATERIALS ASSOCIATED WITH THE MILLING AND HMA OVERLAY OF AN EXISTING ROADWAY, CONCRETE STREET RECONSTRUCTION, FULL DEPTH CONCRETE AND ASPHALT PATCHING, NEW CONCRETE CURB AND GUTTER, NEW ADA ACCESSIBLE SIDEWALK RAMPS AT INTERSECTIONS WITHIN THE PROJECT LIMITS, DRIVEWAY REPLACEMENT, RECONSTRUCTING STORM SEWER INTAKES, TRAFFIC CONTROL, AND MISCELLANEOUS ASSOCIATED WORK INCLUDING CLEAN UP.
- ALL CONSTRUCTION WORK SHALL BE IN ACCORDANCE WITH THE CITY OF OSKALOOSA DEPARTMENT OF PUBLIC WORKS STANDARD DRAWINGS AND THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) STANDARD SPECIFICATIONS 2014 EDITION PLUS CURRENT SUPPLEMENTAL SPECIFICATIONS AND DETAILED SPECIFICATION REQUIREMENTS. SUDAS SPECIFICATION MANUALS CAN BE ORDERED FROM THE INSTITUTE FOR TRANSPORTATION (FORMERLY CTRE) - ATTN: BETH RICHARDS, 2711 SOUTH LOOP DRIVE, SUITE 4700, AMES, IA 50010-8664, PHONE: 515-294-2869. SPECIFICATIONS CAN ALSO BE VIEWED AT THE SUDAS WEBSITE (WWW.IOWASUDAS.ORG). CONTRACTOR SHALL HAVE A MINIMUM OF ONE SET OF PLANS AND SPECIFICATIONS ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION ACTIVITIES.
- NOTIFY AKHILESH PAL, DIRECTOR OF PUBLIC WORKS, CITY OF OSKALOOSA, AT 641-673-7472 TWO WEEKS PRIOR TO COMMENCING WORK. THROUGHOUT THE PROJECT, MAKE EVERY EFFORT TO COORDINATE WORK AND COOPERATE WITH ALL CITY PERSONNEL AND ENGINEERS.
- CONTRACTOR SHOULD MAKE EVERY EFFORT TO ALLOW ACCESS DURING CONSTRUCTION AND SHALL NOTIFY PROPERTY OWNERS 48 HOURS IN ADVANCE IF ACCESS TO PROPERTIES WILL BE INTERRUPTED. ACCESS TO PRIVATE PROPERTY SHALL BE MAINTAINED AT ALL TIMES FOR EMERGENCY VEHICLES.
- 11TH STREET FROM A AVENUE TO 15TH AVENUE WILL BE CLOSED ONCE CONSTRUCTION BEGINS. ALL EXISTING STREET INTERSECTIONS ARE TO REMAIN OPEN FOR TRAFFIC AT ALL TIMES, EXCEPT WHEN PAVING AND/OR MAJOR CONSTRUCTION ACTIVITY IS IN PROGRESS. THE CITY ENGINEER RESERVES THE RIGHT TO MODIFY TRAFFIC CONTROL AS NEEDED. BARRICADES AND SIGNAGE SHALL BE FURNISHED BY THE CONTRACTOR AND INSTALLED PER THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). TRAFFIC CONTROL SHALL ALSO BE IN ACCORDANCE WITH THE PLAN SPECIFICATIONS, IOWA DOT STANDARD SPECIFICATION SECTION 2528, AND APPLICABLE IOWA DOT STANDARD ROAD PLANS. CONTRACTOR SHALL MAINTAIN, CLEAN AS NECESSARY, AND REPLACE DAMAGED TRAFFIC CONTROL DEVICES THROUGHOUT THE DURATION OF CONSTRUCTION.
- TRAFFIC CONTROL WILL BE PAID FOR AT THE CONTRACT LUMP SUM PRICE AND SHALL BE FULL COMPENSATION FOR PROVIDING, MAINTAINING, AND REMOVAL OF ALL TRAFFIC CONTROL DEVICES. NO SEPARATE PAYMENT WILL BE MADE FOR FLAGGERS AND PILOT CARS IF REQUIRED BY THE CONTRACT DOCUMENTS; INCLUDE IN LUMP SUM PRICE FOR TRAFFIC CONTROL.
- ASPHALT PAVEMENT MILLINGS GENERATED BY THE MILLING PROCESS SHALL REMAIN THE PROPERTY OF THE CITY OF OSKALOOSA. MILLINGS SHALL BE DELIVERED TO THE CITY STORAGE YARD AT THE INTERSECTION OF THIRD AVENUE AND SUFFOLK ROAD. MILLINGS SHALL BE DEPOSITED IN A LOCATION DESIGNATED BY THE CITY ENGINEER.
- ALL SALVAGE MATERIAL SHALL BE DELIVERED TO THE CITY STORAGE YARD.
- CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL TESTING, INCLUDING OBTAINING SAMPLES. REQUIRED TESTS INCLUDE DENSITY (7020 3.04B) AND THICKNESS (7020 3.04C). PAVEMENT SMOOTHNESS (7020 3.05B PROFILOGRAPH) NOT REQUIRED.
- CONTRACTOR SHALL PROVIDE QUALITY CONTROL IN ACCORDANCE WITH SECTION 7020 3.06B.
- CONTRACTOR IS RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES IN SERVICE DURING CONSTRUCTION. ALL FIXTURES SHALL BE ADJUSTED TO CONFORM TO THE FINISHED SURFACE OF THE STREET. IF CONFLICTS OCCUR, ADDITIONAL WORK WILL BE ACCOMMODATED AS EXTRA WORK.
- PROTECT ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION UNLESS OTHERWISE SHOWN ON PLANS. ANY UTILITIES DAMAGED DUE TO CONTRACTOR'S NEGLIGENCE WILL BE REPAIRED AT THEIR EXPENSE.
- CONTRACTOR SHALL PRESERVE ALL MONUMENTS, STAKES, PROPERTY PINS, REFERENCE POINTS, AND BENCHMARKS. IN CASE OF DESTRUCTION BY CONTRACTOR'S NEGLIGENCE OR CARELESSNESS, THEY WILL BE CHARGED WITH THE RESULTING EXPENSE OF REPLACEMENT AND RESPONSIBILITY FOR ANY MISTAKES OR LOSS OF TIME CAUSED THEREBY.
- CONTRACTOR SHALL PROVIDE HIS OWN WASTE AREA FOR WASTE MATERIAL REMOVED FROM THE PROJECT SITE. THE WASTE AREA WILL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
- CONTRACTOR SHALL PREVENT THE ENTRY OF MUD, DIRT, DEBRIS, AND OTHER MATERIAL INTO EXISTING SEWERS. SHOULD MUD, DIRT, DEBRIS, OR OTHER MATERIAL ENTER THE SEWERS, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER.
- CONCRETE MIX SHALL BE IDOT C-3WR-C OR C-4WR-C FOR ALL PAVEMENT, DRIVEWAYS, AND SIDEWALKS. COARSE AGGREGATE SHALL BE CLASS 3 DURABILITY. USE OF FLY ASH AND GROUND GRANULATED BLAST FURNACE SLAG (GGBFS) SHALL BE IN ACCORDANCE WITH SECTION 7010 2.02C OF THE SUDAS SPECIFICATIONS.
- CONTRACTOR SHALL BE THE RESPONSIBLE PARTY FOR ALL TESTING AND RE-TESTING OF P.C. CONCRETE REQUIRED BY SUDAS SPECIFICATIONS INCLUDING AIR CONTENT, SLUMP, AND CYLINDERS.
- THE JURISDICTION RESERVES THE RIGHT TO MAKE ALTERATIONS IN THE PLANS OR IN THE QUANTITIES OF THE WORK AS MAY BE CONSIDERED NECESSARY. SUCH ALTERATIONS SHALL BE IN COMPLIANCE WITH SUDAS SECTION 1040 1.06 AND SHALL NOT BE CONSIDERED AS A WAIVER OF ANY CONDITIONS OF THE CONTRACT DOCUMENTS OR TO INVALIDATE ANY OF THE PROVISIONS THEREOF.
- ALL TRAFFIC SIGNAGE INTERFERING WITH COSTRUCTION SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE ENGINEER.

ESTIMATED PROJECT QUANTITIES

SOUTH 11TH STREET (A AVENUE EAST TO 15TH AVENUE EAST)

NO.	BID ITEM NO.	BID ITEM DESCRIPTION	UNIT	ESTIMATED QUANTITY	REMARKS
1	1090-105-D	Mobilization	LS	1	
2	2010-108-E-0	Excavation - Class 10, 12, or 13	CY	500	Excavation required in order to place 6" granular subbase under new pavement, driveways, and curb and gutter. Includes excavation for new sidewalk and ramps.
3	2010-108-I-0	Subbase, Granular	TON	850	Place a minimum of 6" of compacted granular subbase under new pavement, driveways, and curb and gutter.
4	6010-108-B-0	Storm Sewer Intake Rebuild	EA	12	Reconstruct storm sewer intakes according to SUDAS Specifications Section 6010. Quantity may be adjusted to reflect partial reconstructions. Partial reconstructions will be approved at the discretion of the City engineer. Include removal in unit price.
5	6010-108-E	Manhole Adjustments	EA	12	See General Notes #11.
6	7010-108-A-0	PCC Pavement, 8" Thick	SY	1,800	Includes all reinforcement, saw cuts, and crack sealing. See page A.4 for details.
7	7010-108-E-0	2.5' Curb and Gutter, 8" Thick	LF	1,150	Includes saw cuts, crack sealing, and grout along the back of the new curb. See additional notes and details on page A.4 and A.5.
8	7010-108-I-0	PCC Pavement Samples and Testing	LS	1	See General Notes.
9	7020-108-A-0	HMA Interlayer Base (PG 64-34)	TON	625	1" Base Course on mainline paving
10	7020-108-A-0	HMA Surface (PG 64-22)	TON	1,050	1.5" Surface Course on mainline paving. Includes asphalt for driveways and an asphalt street approach.
11	7020-108-H-0	HMA Pavement Samples and Testing	LS	1	See General Notes.
12	7030-108-A-0	Sidewalk Removal	SY	250	
13	7030-108-A-0	Driveway Removal	SY	575	
14	7030-108-E-0	PCC Sidewalk, 4" Thick	SY	100	Quantity may be adjusted in order to accommodate ADA standards.
15	7030-108-E-0	PCC Sidewalk, 6" Thick	SY	200	All ramps, landings, and driveway sections shall be 6" thick. Follow SUDAS ADA ramp specifications. Includes crack sealing at expansion joints. Truncated domes will be provided and placed by City staff. Contractor will need to cut panels to fit when necessary.
16	7030-108-H-1	PCC Paved Driveway, 6" Thick	SY	250	Includes saw cuts and crack sealing at expansion joints.
17	7030-108-H-2	Granular Surfacing	TON	100	Material to be used for gravel driveways and to provide a smooth transition from the new overlay to the existing shoulder and/or roadways and to fill potholes in the existing shoulder. The material shall be placed and bladed smooth. Complete rebuilding of the shoulder is not a part of this project. All, part, or none of this bid quantity may be used.
18	7040-108-A-0	Full Depth Concrete Patches	SY	550	Includes saw cuts, dowels, concrete removal, and subgrade restoration.
19	7040-108-A-0	Full Depth Asphalt Patches	SY	25	Includes saw cuts, concrete removal, and subgrade restoration.
20	7040-108-D-0	Transverse Crack Cleaning and Filling	LF	4,000	Quantity to be used at the discretion of the City engineer. Includes cleaning out and filling transverse cracks with HMA. See page A.4 for details. All, part, or none of this bid quantity may be used.
21	7040-108-G-0	Pavement Milling	SY	6,100	Includes all necessary saw cuts. See page A.4 for edge milling details.
22	7040-108-H-0	Pavement Removal	SY	1,100	
23	7040-108-I-0	Curb and Gutter Removal	LF	1,150	
24	9010-108-A-0	Conventional Seeding, Fertilizing, and Mulching	LS	1	Fertilize, seed, and mulch all areas disturbed by construction within IA DOT specified seeding dates. Use Type 1 (Permanent Lawn Mixture) seed mix.
25	XXX-XXXX-X-X	Traffic Control	LS	1	Follow MUTCD Section 6. Refer to notes on pages A.2 and A.3.
26	XXX-XXXX-X-X	Water Valve Adjustments	EA	11	See General Notes #11.
27	XXX-XXXX-X-X	Fabric Matting	LF	12,500	To be utilized at the discretion of the City engineer over longitudinal joints and transverse cracks. All, part, or none of this bid quantity may be used.

CONSTRUCTION NOTES:

- PUBLIC UTILITY FIXTURES ARE EXISTING WITHIN THE CONSTRUCTION AREA. NOT ALL PUBLIC UTILITIES AND FIXTURES ARE SHOWN ON THE PLANS. WHEN ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES AND TO AVOID THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICE.
- THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING, AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
- PLAN SHEETS INCLUDED IN THE PROJECT ARE FOR THE PURPOSE OF ALIGNMENT, APPROXIMATE LOCATIONS, AND OVERALL SCOPE AND DIRECTION OF THE WORK TO BE PERFORMED UNDER THE CONTRACT. IRRELEVANT DATA ON THESE SHEETS IS NOT CONSIDERED A PART OF THIS CONTRACT.
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO PROVIDE WASTE AREAS AND DISPOSAL SITES FOR EXCESS MATERIAL (EXCAVATED MATERIAL) WHICH IS NOT DESIRABLE TO BE INCORPORATED INTO THE WORK INVOLVED ON THIS PROJECT. NO PAYMENT FOR OVERHAUL WILL BE ALLOWED FOR MATERIAL HAULED TO THESE SITES. NO MATERIAL SHALL BE PLACED WITHIN THE RIGHT-OF-WAY, UNLESS SPECIFICALLY STATED IN THE PLANS OR APPROVED BY THE CITY ENGINEER.
- LOCATIONS AND QUANTITIES OF CURB AND GUTTER REPAIRS, FULL AND PARTIAL DEPTH PATCHING, NEW 8" PCC PAVEMENT, DRIVEWAY REPLACEMENT, AND PCC SIDEWALK AND RAMPS SHOWN ON THE PLANS ARE APPROXIMATE. QUANTITIES AND LOCATIONS MAY BE ALTERED AT THE DISCRETION OF THE CITY ENGINEER. ADDITIONAL FULL AND/OR PARTIAL DEPTH PATCHING MAY BE REQUIRED IN EXISTING ASPHALT OVERLAY SECTIONS.
- NO ADDITIONAL COST WILL BE CHARGED IF PROJECT IS HALTED DUE TO EXTREME WEATHER CONDITIONS AND IF THE QUANTITIES, INCLUDING ALTERATIONS, REMAIN WITHIN THE PROJECT SCOPE PER SUDAS SECTION 1040.
- IF THE RESURFACING IS SUSPENDED DUE TO WINTER WEATHER, THE FULL DEPTH PATCHES MUST BE FILLED TO GRADE WITH AT NO ADDITIONAL COST.



**GENERAL NOTES &
QUANTITY TABULATION**

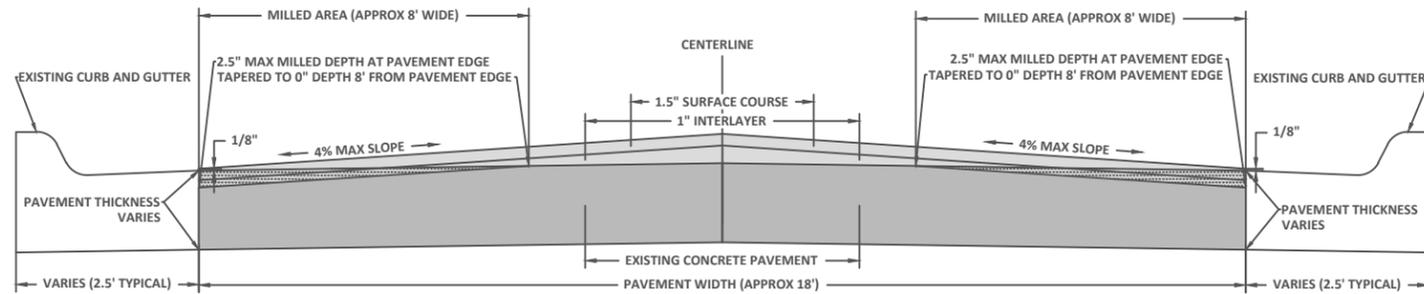
**PROJECT NAME:
SOUTH 11TH STREET
PAVEMENT REHABILITATION PROJECT**

DRAWN BY:	NW	APPROVED BY:	AP	DATE:	JULY 14, 2014	PROJECT NO.:	2010-13
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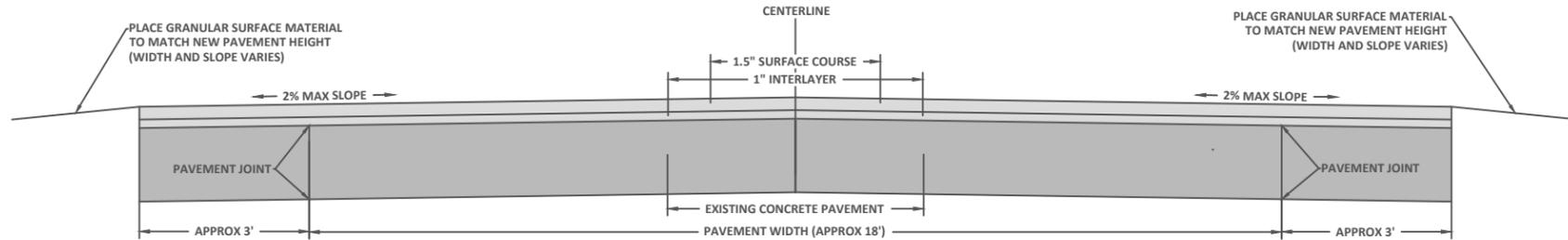
**SHEET NO.
A.3**

OSKALOOSA ENGINEERING DEPT. 804 SOUTH D STREET OSKALOOSA, IA 52577 PHONE: (641)673-7472 FAX: (641)673-3733	DATE	REVISION/ISSUE	NO.
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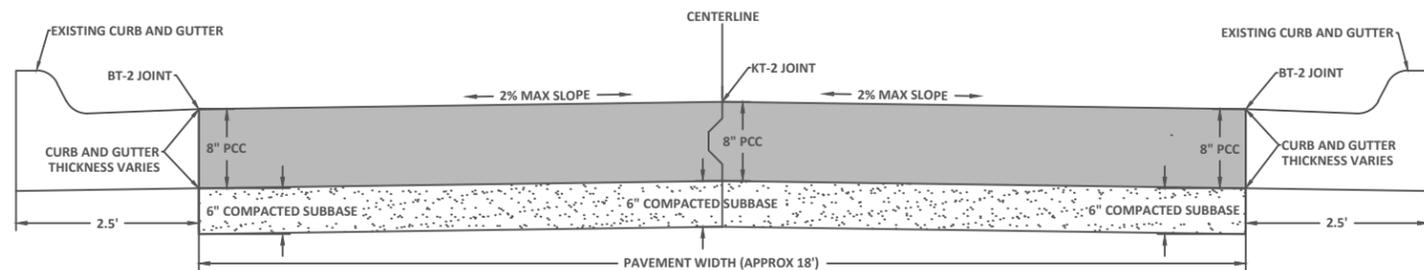
**TYPICAL SECTION - HMA RESURFACING WITH EXISTING CURB AND GUTTER
STA 18+16 (WEST SIDE) & 18+63 (EAST SIDE) TO 18+97 & STA 22+29 TO 52+17**



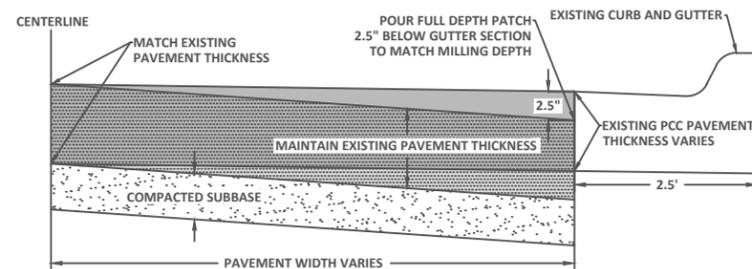
**TYPICAL SECTION - HMA RESURFACING WITHOUT CURB AND GUTTER
STA 0+46 TO 18+16 (WEST SIDE) & 18+63 (EAST SIDE)**



**TYPICAL SECTION - CONCRETE PAVEMENT RECONSTRUCTION
STA 18+97 TO 22+29**



FULL DEPTH CONCRETE PATCH WITH CURB AND GUTTER



ADDITIONAL CONSTRUCTION NOTES:

CURB AND GUTTER REPLACEMENT*:

1. CURB AND GUTTER SHALL BE 8" THICK.
2. DOWEL INTO STREET AND EXISTING CURB AND GUTTER WHERE POSSIBLE.
3. MATCH EXISTING CURB AND GUTTER WIDTH AND TYPE.
4. PLACE AND SEAL EXPANSION JOINT BETWEEN BACK OF CURB AND ANY OTHER PCC PAVEMENT.
5. JOINTS ARE TO BE SPACED A MAXIMUM OF 12' APART.
6. GROUT THE BACK OF CURB.

FULL DEPTH PATCHES*:

1. MATCH EXISTING PAVEMENT THICKNESS. ADDITIONAL EXCAVATION MAY BE REQUIRED.
2. DOWEL INTO EXISTING CONCRETE PER SUDAS SPECIFICATIONS (PCC PATCHES).
3. WHERE CURB AND GUTTER EXIST, PLACE SUBBASE AND CONCRETE AS SHOWN IN THE FULL DEPTH PATCH DETAIL ON THIS PAGE. WHERE NO CURB AND GUTTER EXISTS, MATCH EXISTING PAVEMENT THICKNESS.

CONSTRUCTION OF NEW ADA SIDEWALK AND RAMPS*:

1. COMPACT SUBGRADE. GRANULAR SUBBASE IS NOT REQUIRED FOR SIDEWALKS.
2. PLACE AND SEAL EXPANSION JOINT BETWEEN BACK OF CURB AND SIDEWALK RAMP.
3. TRUNCATED DOMES WILL BE PROVIDED AND PLACED BY CITY OF OSKALOOSA STAFF. CONTRACTOR WILL NEED TO CUT PANELS TO FIT WHEN NECESSARY.

NEW 8" CONCRETE PAVEMENT RECONSTRUCTION*:

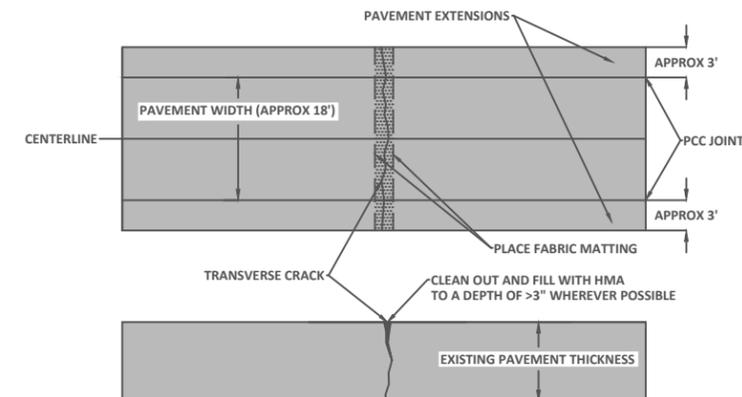
1. DOWEL INTO EXISTING PAVEMENT PER SUDAS SPECIFICATIONS.
2. PLACE DOWELS AT SAW CUT JOINTS. JOINT SPACING WILL BE DETERMINED BY ENGINEER.
3. SEAL ALL JOINTS.

DRIVEWAYS AND STREET APPROACHES (STA 0+46 TO 18+97)*:

1. MUST BE COMPLETED AFTER THE HMA RESURFACING.
2. ALL DRIVEWAYS SHALL BE 6" THICK. ASPHALT DRIVEWAYS SHALL BE PLACED IN 2 LIFTS. ASPHALT STREET APPROACH SHALL BE 8" THICK AND PLACED IN 3 LIFTS.
2. WHENEVER POSSIBLE, EQUIPMENT MUST NOT TRAVEL OVER OR BE PARKED ON THE NEW ASPHALT PAVEMENT. ANY DAMAGE TO THE NEW PAVEMENT WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

*SEE PLAN SHEETS FOR APPROXIMATE LOCATIONS.

TRANSVERSE CRACK FILLING DETAIL



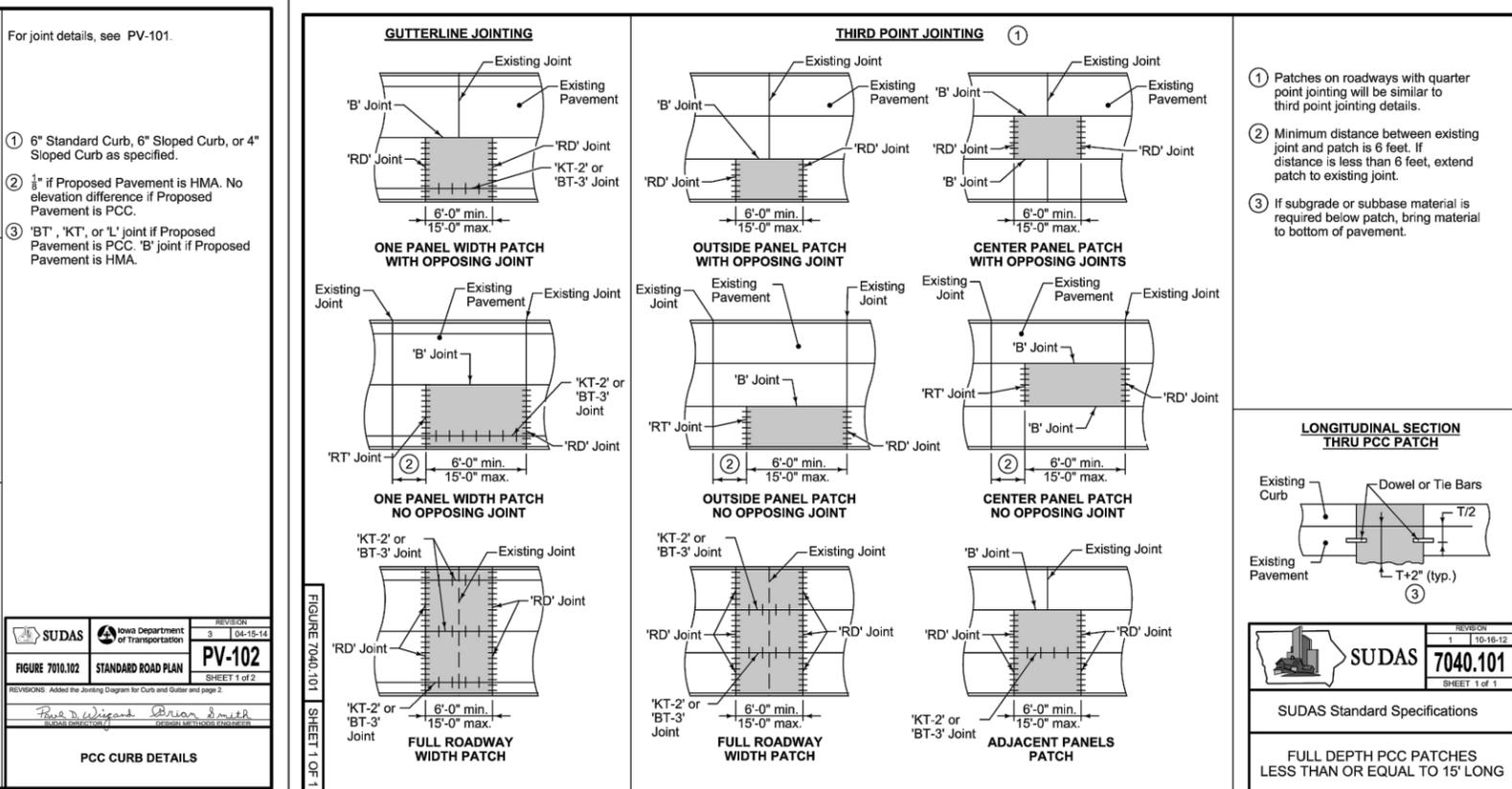
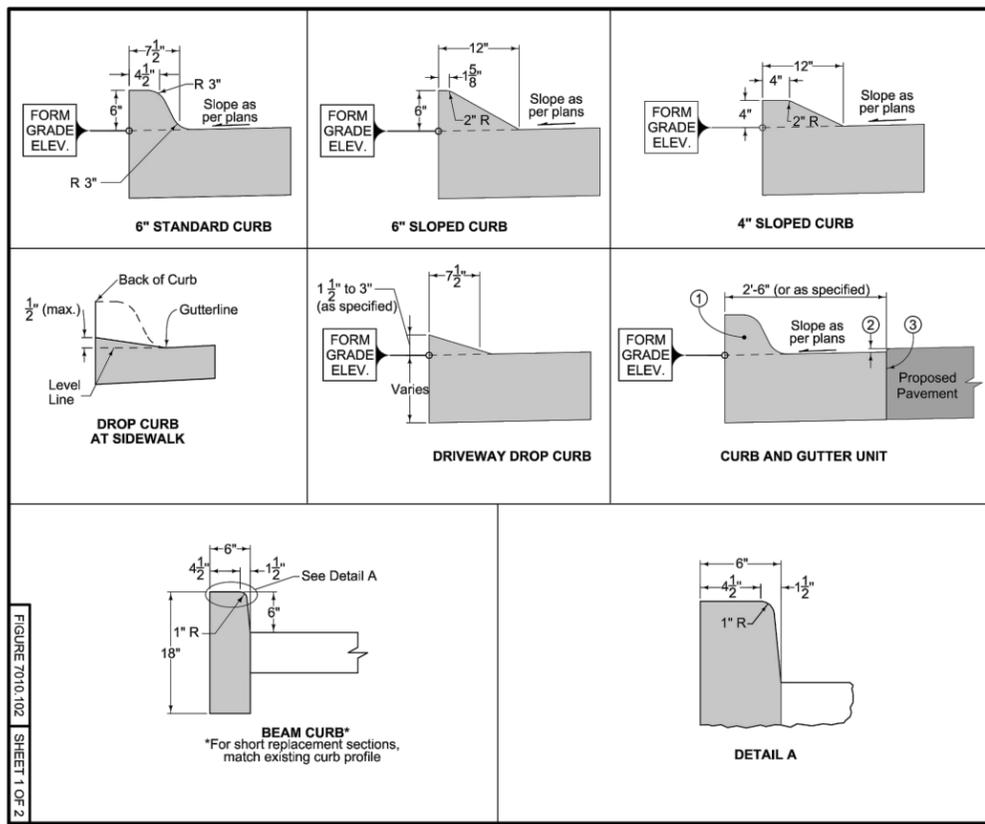
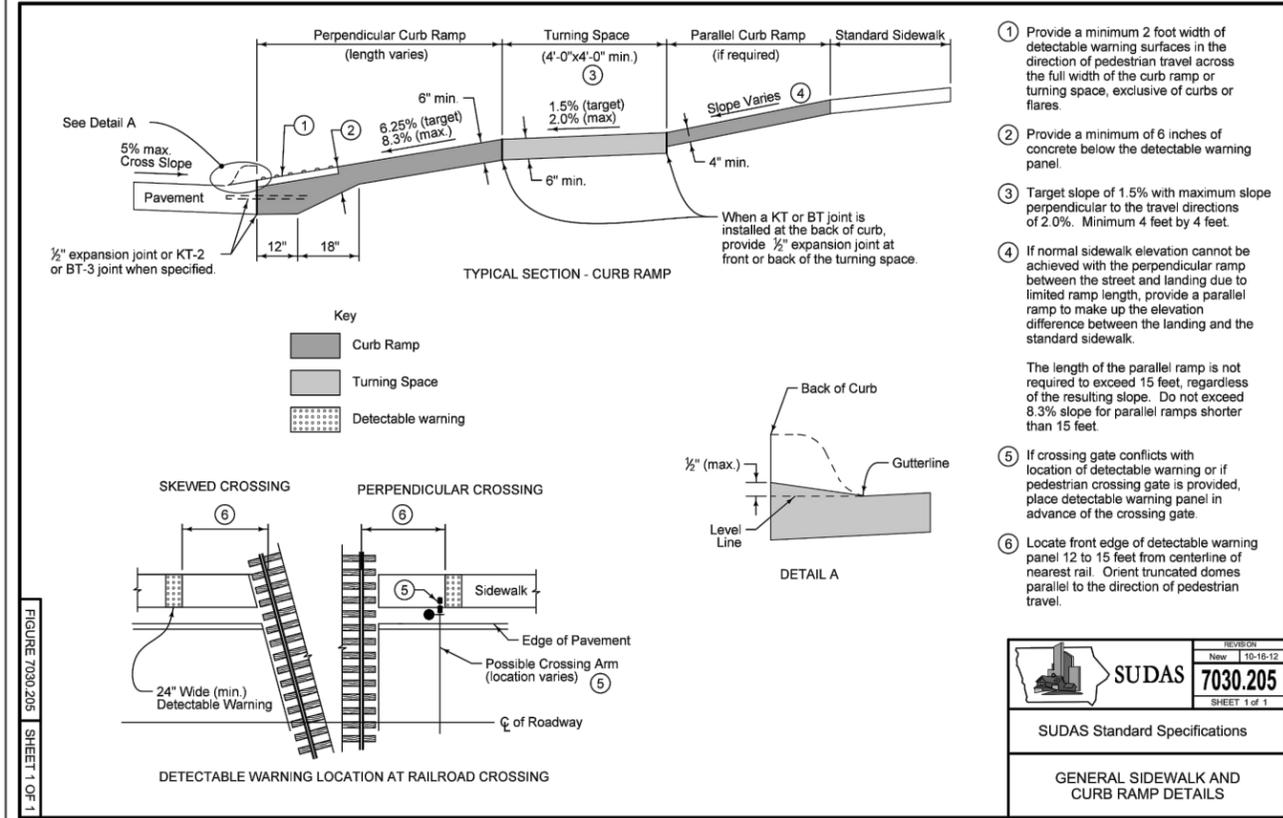
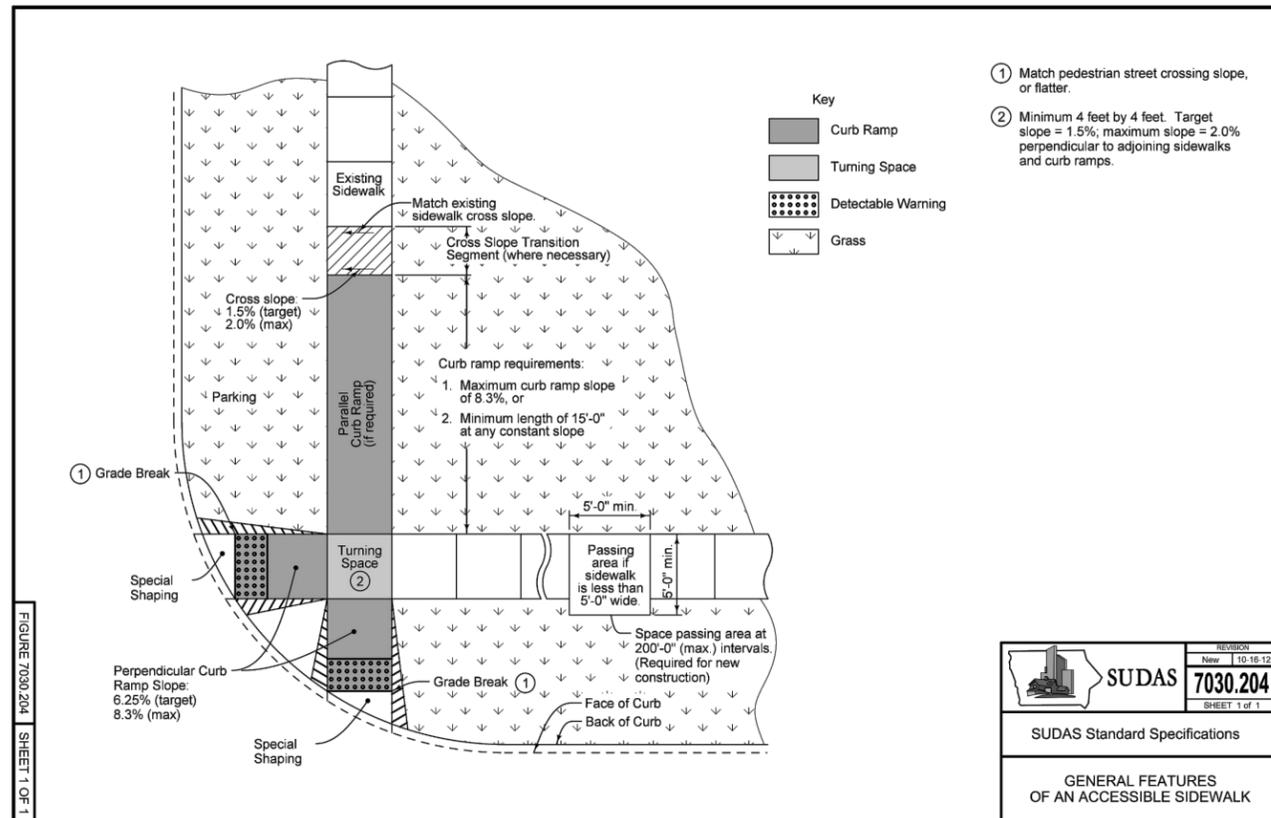
SHEET TITLE:
TYPICAL SECTIONS

PROJECT NAME:
**SOUTH 11TH STREET
PAVEMENT REHABILITATION PROJECT**

DRAWN BY: NW
APPROVED BY: AP
DATE: **JULY 14, 2014**
PROJECT NO.: **2010-13**

SHEET NO.:
A.4

OSKALOOSA ENGINEERING DEPT. 804 SOUTH D STREET OSKALOOSA, IA 52577 PHONE: (641)673-7472 FAX: (641)673-3733	DATE
NO.	REVISION/ISSUE



B.1

SHEET NO.

2010-13

PROJECT NO.

DATE:

JULY 14, 2014

APPROVED BY:

AP

DRAWN BY:

NW

PROJECT NAME:

SOUTH 11TH STREET
PAVEMENT REHABILITATION PROJECT

SHEET TITLE:
SOUTH 11TH STREET PLAN
(STA 0+00 TO 5+00)

NO.	REVISION/ISSUE	DATE

OSKALOOSA ENGINEERING DEPT.
804 SOUTH D STREET
OSKALOOSA, IA 52577
PHONE: (641) 673-7472
FAX: (641) 673-3733



LEGEND

- WATER VALVE
- MANHOLE
- STORM SEWER INTAKE
- RESURFACE WITH 2.5" HMA OVERLAY
- CONCRETE PAVEMENT, 8" THICK
- CONCRETE REPAIRS (CURB & GUTTER, DRIVEWAYS, & FULL DEPTH PATCHES)
- ASPHALT REPAIRS (DRIVEWAYS, APPROACH, & FULL DEPTH PATCHES)
- PCC SIDEWALK, 6" THICK
- PCC SIDEWALK, 4" THICK
- TRUNCATED DOMES (PROVIDED AND PLACED BY THE CITY)

B.2

SHEET NO.

PROJECT NO.
2010-13

DATE:
JULY 14, 2014

APPROVED BY: AP

DRAWN BY: NW

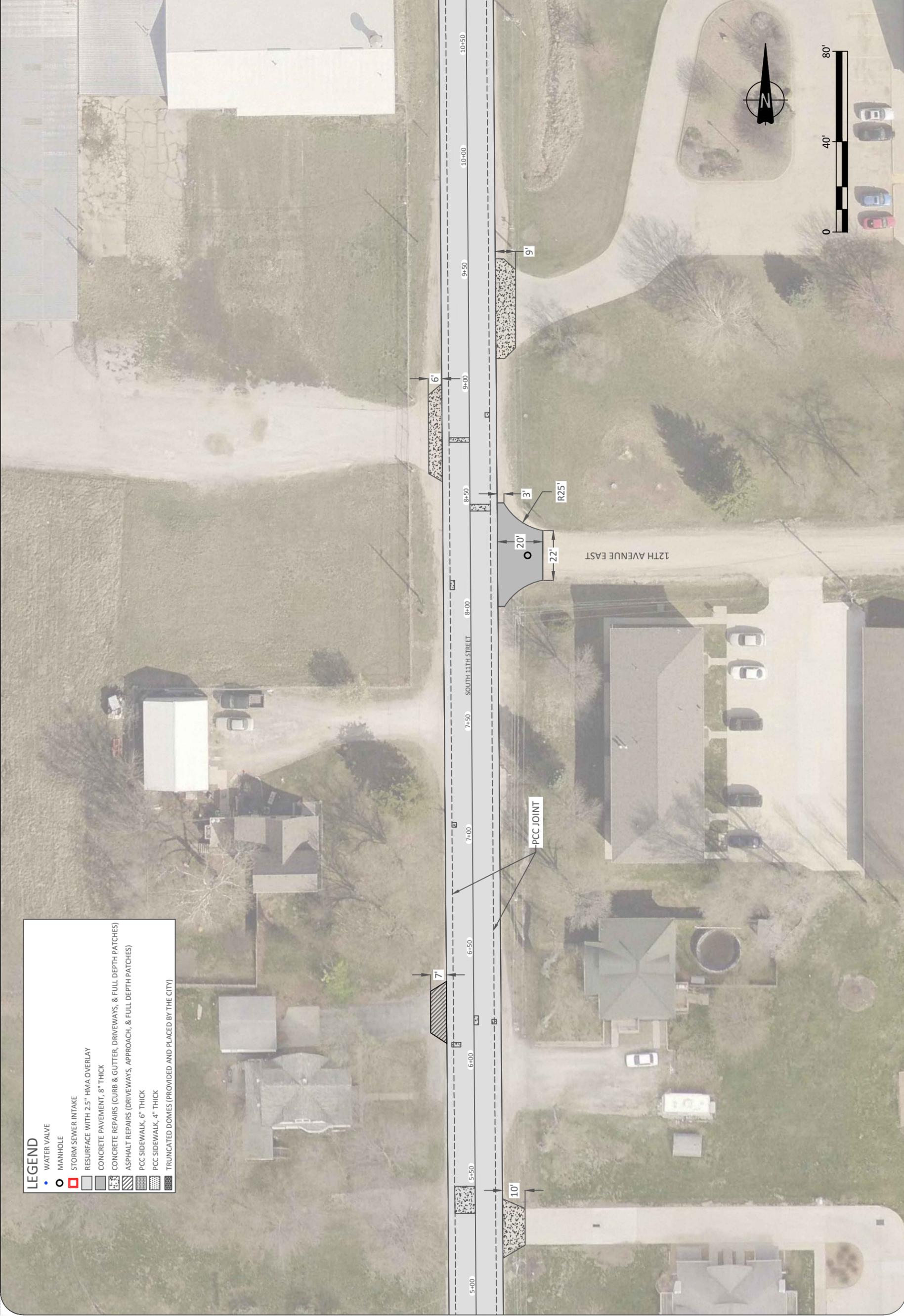
PROJECT NAME:
SOUTH 11TH STREET
PAVEMENT REHABILITATION PROJECT

SHEET TITLE:
SOUTH 11TH STREET PLAN
(STA 5+00 TO 10+50)



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OSKALOOSA, IA 52577
PHONE: (641) 773-7472
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NO.	REVISION/ISSUE	DATE



LEGEND

- WATER VALVE
- MANHOLE
- ◻ STORM SEWER INTAKE
- ▨ RESURFACE WITH 2.5" HMA OVERLAY
- ▩ CONCRETE PAVEMENT, 8" THICK
- ▧ CONCRETE REPAIRS (CURB & GUTTER, DRIVEWAYS, & FULL DEPTH PATCHES)
- ▦ ASPHALT REPAIRS (DRIVEWAYS, APPROACH, & FULL DEPTH PATCHES)
- ▤ PCC SIDEWALK, 6" THICK
- ▣ PCC SIDEWALK, 4" THICK
- ▢ TRUNCATED DOMES (PROVIDED AND PLACED BY THE CITY)

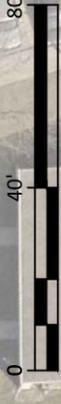
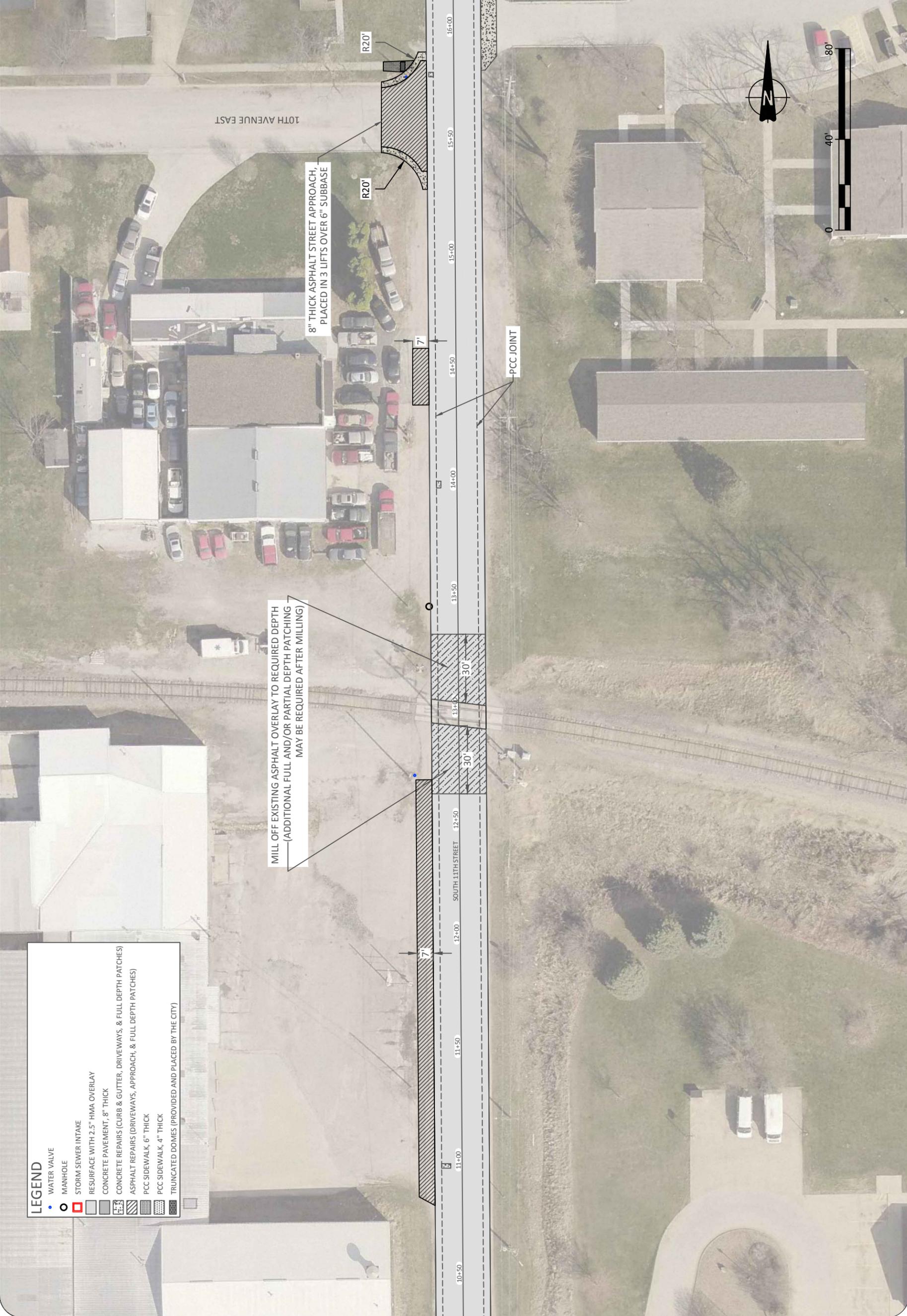
PROJECT NAME:
SOUTH 11TH STREET
PAVEMENT REHABILITATION PROJECT

SHEET TITLE:
SOUTH 11TH STREET PLAN
(STA 10+50 TO 16+00)

NO.	REVISION/ISSUE	DATE



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MILL OFF EXISTING ASPHALT OVERLAY TO REQUIRED DEPTH
(ADDITIONAL FULL AND/OR PARTIAL DEPTH PATCHING
MAY BE REQUIRED AFTER MILLING)

8" THICK ASPHALT STREET APPROACH,
PLACED IN 3 LIFTS OVER 6" SUBBASE

LEGEND

- WATER VALVE
- MANHOLE
- ◻ STORM SEWER INTAKE
- ◻ RESURFACE WITH 2.5" HMA OVERLAY
- ◻ CONCRETE PAVEMENT, 8" THICK
- ◻ CONCRETE REPAIRS (CURB & GUTTER, DRIVEWAYS, & FULL DEPTH PATCHES)
- ◻ ASPHALT REPAIRS (DRIVEWAYS, APPROACH, & FULL DEPTH PATCHES)
- ◻ PCC SIDEWALK, 6" THICK
- ◻ PCC SIDEWALK, 4" THICK
- ◻ TRUNCATED DOMES (PROVIDED AND PLACED BY THE CITY)

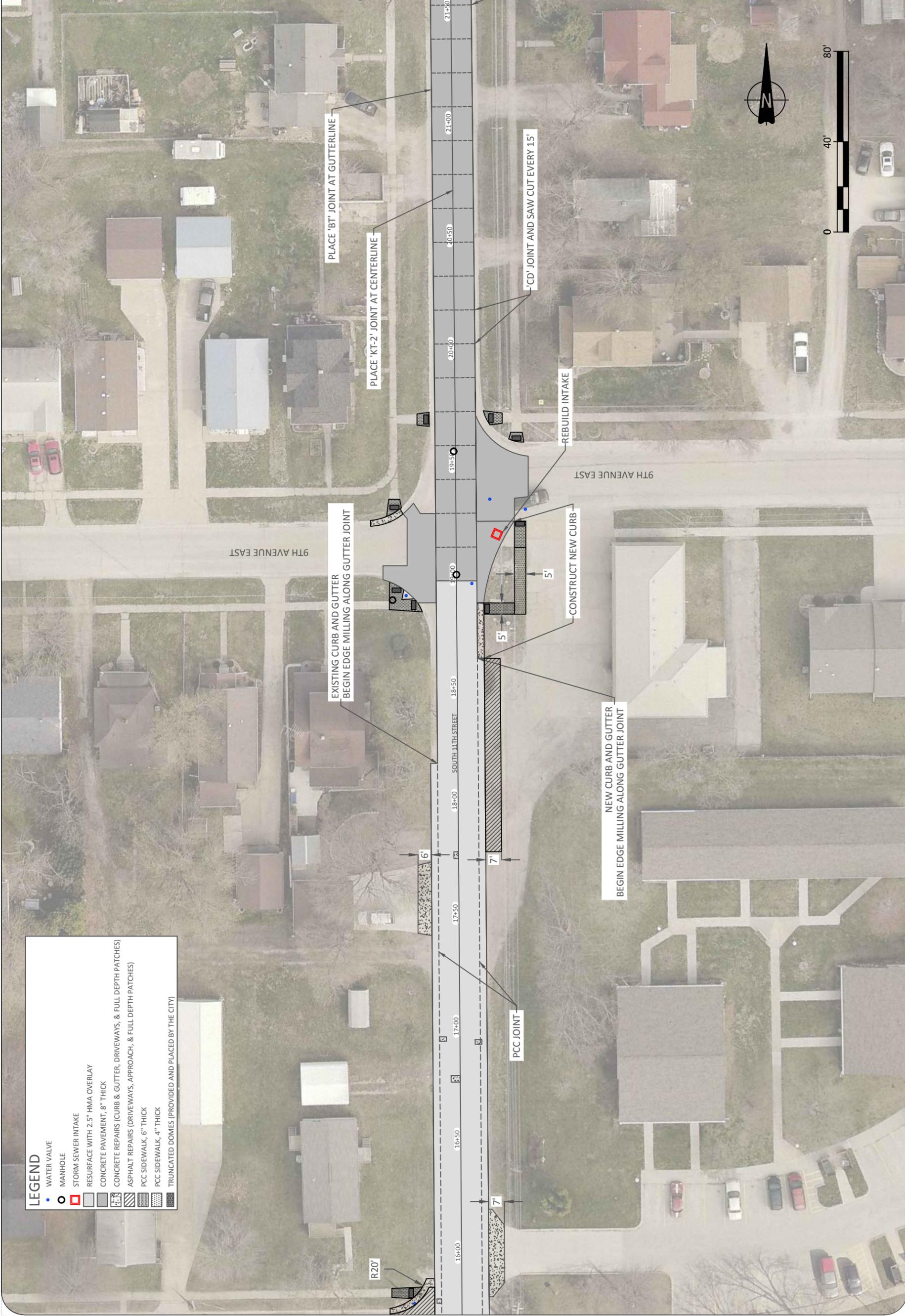
PROJECT NAME:
SOUTH 11TH STREET
PAVEMENT REHABILITATION PROJECT

SHEET TITLE:
SOUTH 11TH STREET PLAN
(STA 16+00 TO 21+50)

NO.	REVISION/ISSUE	DATE

OSKALOOSA ENGINEERING DEPT.
804 SOUTH D STREET
OSKALOOSA, IA 52577
PHONE: (641) 673-7472
FAX: (641) 673-3733

CITY OF OSKALOOSA
Note the Difference™



LEGEND

- WATER VALVE
- MANHOLE
- ◻ STORM SEWER INTAKE
- ▨ RESURFACE WITH 2.5" HMA OVERLAY
- ▩ CONCRETE PAVEMENT, 8" THICK
- ▧ CONCRETE REPAIRS (CURB & GUTTER, DRIVEWAYS, & FULL DEPTH PATCHES)
- ▦ ASPHALT REPAIRS (DRIVEWAYS, APPROACH, & FULL DEPTH PATCHES)
- ▤ PCC SIDEWALK, 6" THICK
- ▣ PCC SIDEWALK, 4" THICK
- ▢ TRUNCATED DOMES (PROVIDED AND PLACED BY THE CITY)

B.5

SHEET NO.

PROJECT NO.
2010-13

DATE:
JULY 14, 2014

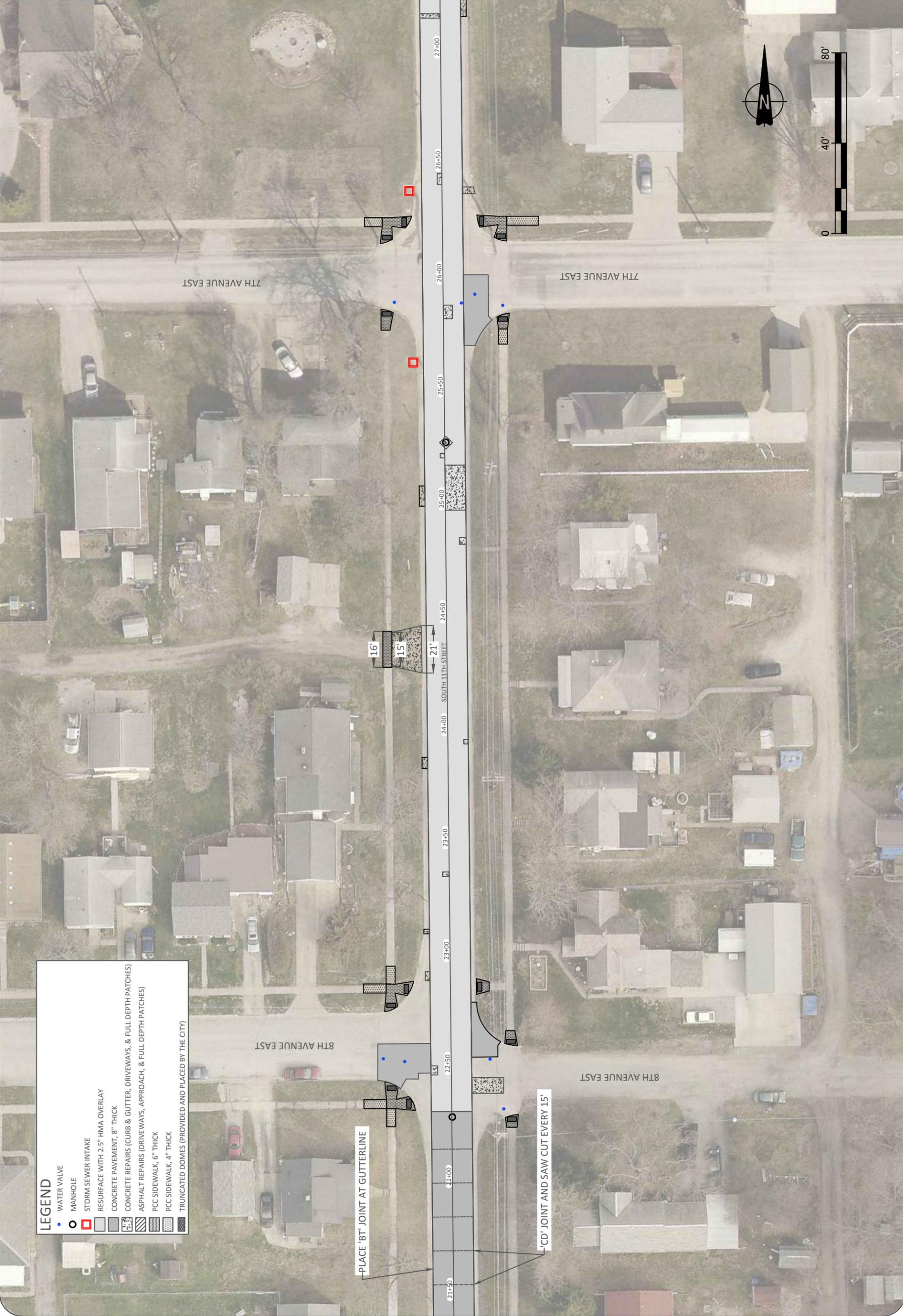
APPROVED BY: AP

DRAWN BY: NW

PROJECT NAME:
SOUTH 11TH STREET
PAVEMENT REHABILITATION PROJECT

SHEET TITLE:
SOUTH 11TH STREET PLAN
(STA 21+50 TO 27+00)

NO.	REVISION/ISSUE	DATE



LEGEND

- WATER VALVE
- MANHOLE
- ◻ STORM SEWER INTAKE
- ◻ RESURFACE WITH 2.5" HMA OVERLAY
- ◻ CONCRETE PAVEMENT, 8" THICK
- ◻ CONCRETE REPAIRS (CURB & GUTTER, DRIVEWAYS, & FULL DEPTH PATCHES)
- ◻ ASPHALT REPAIRS (DRIVEWAYS, APPROACH, & FULL DEPTH PATCHES)
- ◻ PCC SIDEWALK, 6" THICK
- ◻ PCC SIDEWALK, 4" THICK
- ◻ TRUNCATED DOMES (PROVIDED AND PLACED BY THE CITY)

-PLACE 'BT' JOINT AT GUTTERLINE

-'CD' JOINT AND SAW CUT EVERY 15'

B.6

SHEET NO.

PROJECT NO.
2010-13

DATE:
JULY 14, 2014

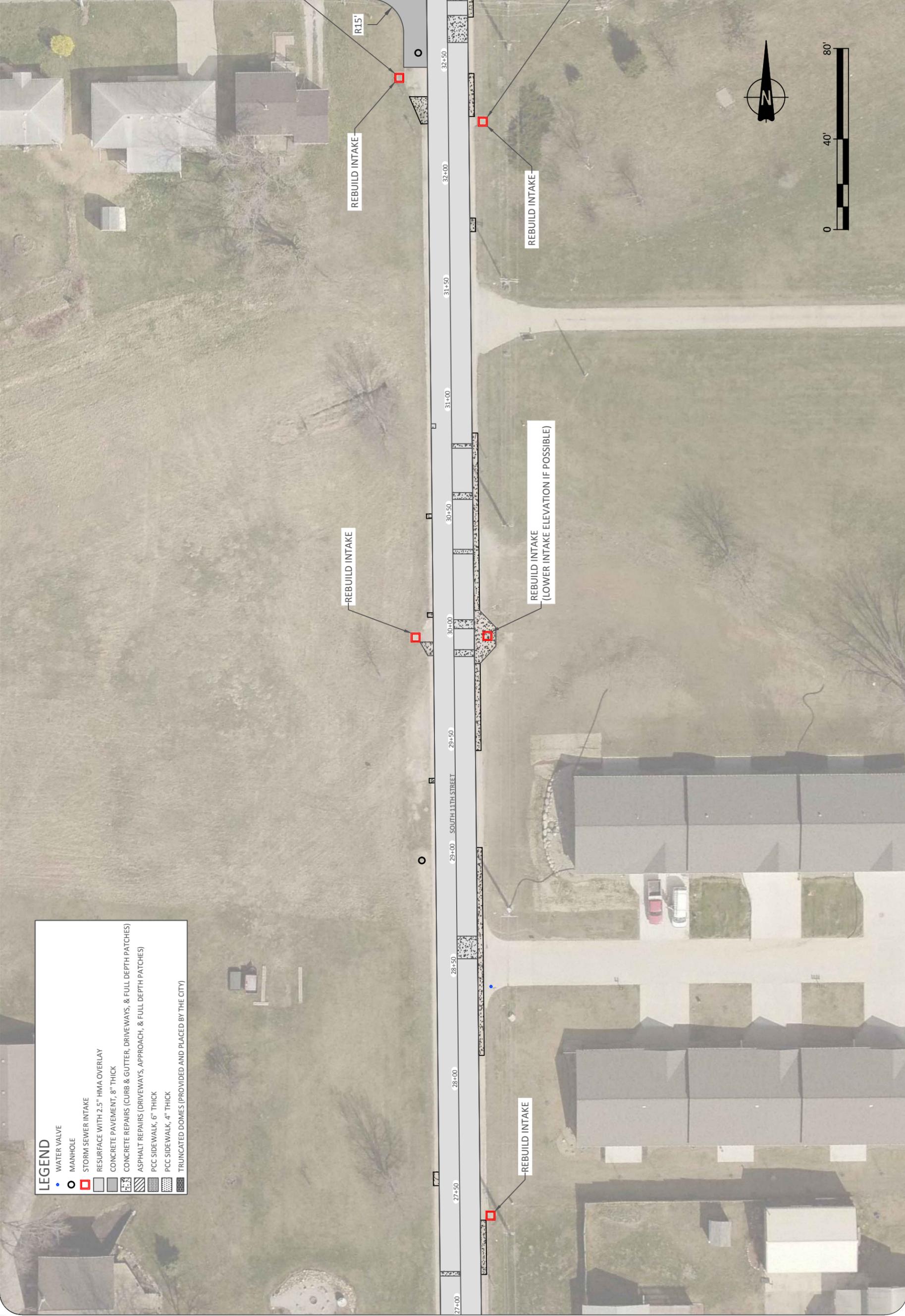
APPROVED BY:
AP

DRAWN BY:
NW

PROJECT NAME:
SOUTH 11TH STREET
PAVEMENT REHABILITATION PROJECT

SHEET TITLE:
SOUTH 11TH STREET PLAN
(STA 27+00 TO 32+50)

OSKALOOSA ENGINEERING DEPT.
804 SOUTH D STREET
OSKALOOSA, IA 52577
PHONE: (641) 673-7472
FAX: (641) 673-3733



LEGEND

	WATER VALVE
	MANHOLE
	STORM SEWER INTAKE
	RESURFACE WITH 2.5" HMA OVERLAY
	CONCRETE PAVEMENT, 8" THICK
	CONCRETE REPAIRS (CURB & GUTTER, DRIVEWAYS, & FULL DEPTH PATCHES)
	ASPHALT REPAIRS (DRIVEWAYS, APPROACH, & FULL DEPTH PATCHES)
	PCC SIDEWALK, 6" THICK
	PCC SIDEWALK, 4" THICK
	TRUNCATED DOMES (PROVIDED AND PLACED BY THE CITY)

B.7

SHEET NO.

PROJECT NO.
2010-13

DATE:
JULY 14, 2014

APPROVED BY: AP

DRAWN BY: NW

PROJECT NAME:
SOUTH 11TH STREET
PAVEMENT REHABILITATION PROJECT

SHEET TITLE:
SOUTH 11TH STREET PLAN
(STA 32+50 TO 38+00)



OSKALOOSA ENGINEERING DEPT.
804 SOUTH D STREET
OSKALOOSA, IA 52577
PHONE: (641) 673-7472
FAX: (641) 673-3733

NO.	REVISION/ISSUE	DATE



LEGEND

- WATER VALVE
- MANHOLE
- ◻ STORM SEWER INTAKE
- ◻ RESURFACE WITH 2.5" HMA OVERLAY
- ◻ CONCRETE PAVEMENT, 8" THICK
- ◻ ASPHALT REPAIRS (CURB & GUTTER, DRIVEWAYS, & FULL DEPTH PATCHES)
- ◻ ASPHALT REPAIRS (DRIVEWAYS, APPROACH, & FULL DEPTH PATCHES)
- ◻ PCC SIDEWALK, 6" THICK
- ◻ PCC SIDEWALK, 4" THICK
- ◻ TRUNCATED DOMES (PROVIDED AND PLACED BY THE CITY)

B.8

SHEET NO.

PROJECT NO.
2010-13

DATE:
JULY 14, 2014

APPROVED BY: AP

DRAWN BY: NW

PROJECT NAME:
SOUTH 11TH STREET
PAVEMENT REHABILITATION PROJECT

SHEET TITLE:
SOUTH 11TH STREET PLAN
(STA 38+00 TO 43+50)



OSKALOOSA ENGINEERING DEPT.
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OSKALOOSA, IA 52577
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FAX: (641) 673-3733

NO.	REVISION/ISSUE	DATE



LEGEND	
•	WATER VALVE
○	MANHOLE
◻	STORM SEWER INTAKE
▨	RESURFACE WITH 2.5" HMA OVERLAY
▩	CONCRETE PAVEMENT, 8" THICK
▧	CONCRETE REPAIRS (CURB & GUTTER, DRIVEWAYS, & FULL DEPTH PATCHES)
▦	ASPHALT REPAIRS (DRIVEWAYS, APPROACH, & FULL DEPTH PATCHES)
▤	PCC SIDEWALK, 6" THICK
▣	PCC SIDEWALK, 4" THICK
▢	TRUNCATED DOMES (PROVIDED AND PLACED BY THE CITY)

B.9

SHEET NO.

DRAWN BY: NW
 APPROVED BY: AP
 DATE: JULY 14, 2014
 PROJECT NO. 2010-13

PROJECT NAME: SOUTH 11TH STREET PAVEMENT REHABILITATION PROJECT

SHEET TITLE: SOUTH 11TH STREET PLAN (STA 43+50 TO 49+00)

NO.	REVISION/ISSUE	DATE

OSKALOOSA ENGINEERING DEPT.
 804 SOUTH D STREET
 OSKALOOSA, IA 52577
 PHONE: (641) 673-7472
 FAX: (641) 673-3733

CITY OF OSKALOOSA
Note the Difference



LEGEND

●	WATER VALVE
○	MANHOLE
◻	STORM SEWER INTAKE
▨	RESURFACE WITH 2.5" HMA OVERLAY
▩	CONCRETE PAVEMENT, 8" THICK
▧	CONCRETE REPAIRS (CURB & GUTTER, DRIVEWAYS, & FULL DEPTH PATCHES)
▦	ASPHALT REPAIRS (DRIVEWAYS, APPROACH, & FULL DEPTH PATCHES)
▤	PCC SIDEWALK, 6" THICK
▣	PCC SIDEWALK, 4" THICK
▢	TRUNCATED DOMES (PROVIDED AND PLACED BY THE CITY)

B.10

SHEET NO.

PROJECT NO.
2010-13

DATE:
JULY 14, 2014

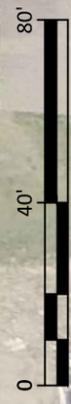
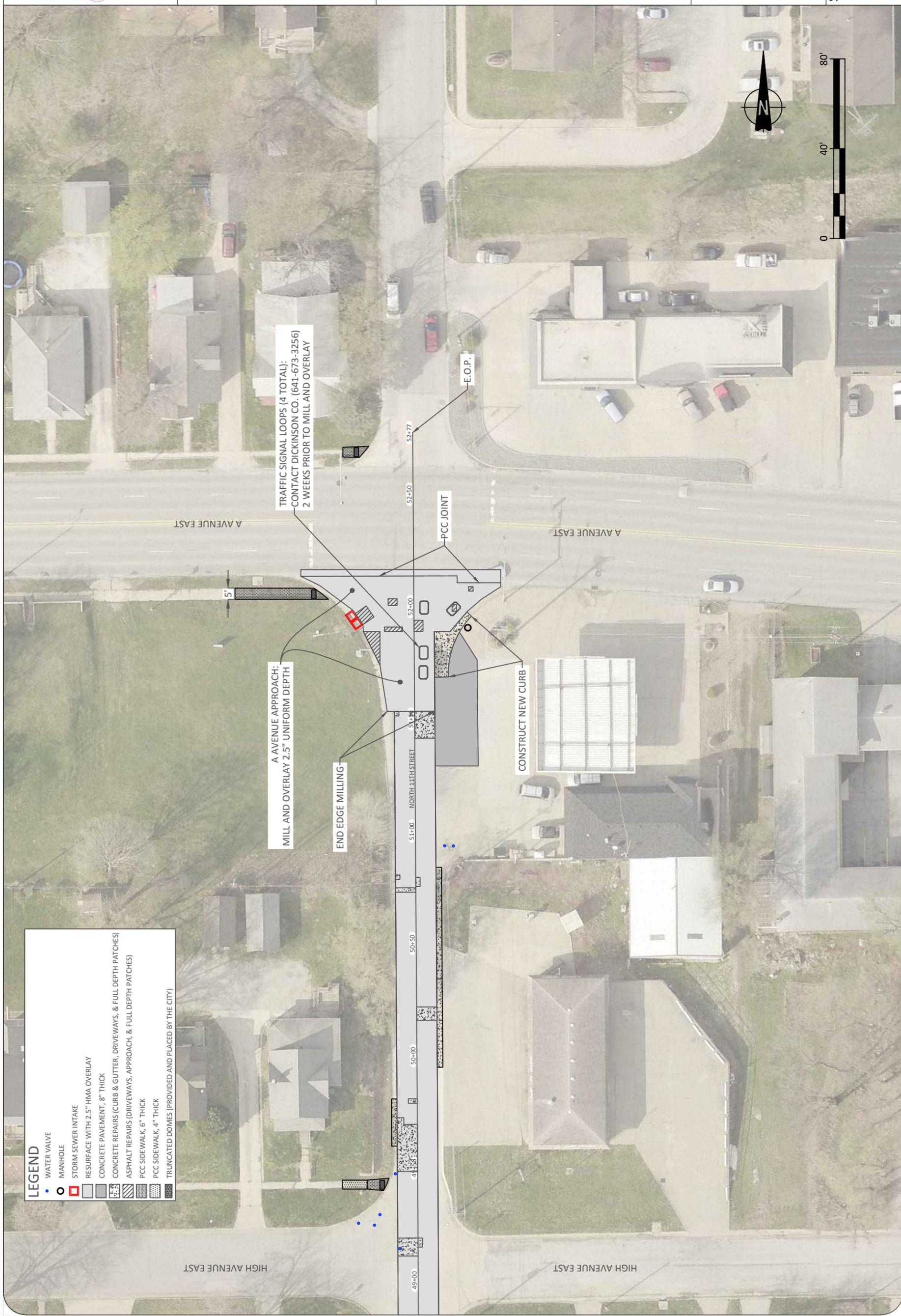
APPROVED BY: AP

DRAWN BY: NW

PROJECT NAME:
SOUTH 11TH STREET
PAVEMENT REHABILITATION PROJECT

SHEET TITLE:
SOUTH 11TH STREET PLAN
(STA 49+00 TO E.O.P.)

NO.	REVISION/ISSUE	DATE



LEGEND

	WATER VALVE
	MANHOLE
	STORM SEWER INTAKE
	RESURFACE WITH 2.5" HMA OVERLAY
	CONCRETE PAVEMENT, 8" THICK
	CONCRETE REPAIRS (CURB & GUTTER, DRIVEWAYS, & FULL DEPTH PATCHES)
	ASPHALT REPAIRS (DRIVEWAYS, APPROACH, & FULL DEPTH PATCHES)
	PCC SIDEWALK, 6" THICK
	PCC SIDEWALK, 4" THICK
	TRUNCATED DOMES (PROVIDED AND PLACED BY THE CITY)

NOTICE OF PUBLIC HEARING AND LETTING

NOTICE OF PUBLIC HEARING ON PROPOSED PLANS, SPECIFICATIONS AND FORM OF CONTRACT FOR THE CONSTRUCTION OF THE SOUTH 11TH STREET (A AVENUE EAST TO 15TH AVENUE EAST) PAVEMENT REHABILITATION PROJECT, IN OSKALOOSA, IOWA, AND NOTICE TO BIDDERS FOR THE TAKING OF BIDS FOR SAID IMPROVEMENTS.

Notice is hereby given that a public hearing will be held before the City Council of Oskaloosa, Iowa in the Council Chambers, City Hall, 220 South Market Street, Oskaloosa, Iowa, on August 4, 2014, commencing at 6:00 P.M., Local Time, on the proposed plans, specifications and form of contract for the **SOUTH 11TH STREET PAVEMENT REHABILITATION PROJECT** described in the Plans and Specifications therefore now on file in the Office of the City Clerk. At said hearing, the City Council will receive and consider any objections made by any interested party to said construction documents.

Sealed bids will be received at the Office of the City Clerk of the City of Oskaloosa, Iowa located in City Hall, 220 South Market Street, in said City, until **10:00 A.M., Local Time, Wednesday, July 30, 2014**, for the construction of the project, as described in the construction documents. The work includes, but not limited to, milling existing asphalt, asphalt overlay, concrete pavement reconstruction, full depth and partial depth concrete patching, repair concrete curb & gutter sections, new ADA accessible sidewalk ramp reconstruction, sidewalk and driveway pavement replacement, storm sewer intake rebuild, alley approach improvements, and related construction.

Bids received will be opened and tabulated at a public meeting, presided over by the City Engineer, in the 2nd Floor Council Chambers, City Hall, at 10:00 A.M., Local Time, on Wednesday, July 30, 2014. Bids will be acted upon by the City Council at the hearing which is to be held at 6:00 P.M., August 4, 2014, or as such later time and place as may then be fixed.

Each proposal shall be sealed in an envelope marked "Proposal for the South 11th Street Pavement Rehabilitation Project, Oskaloosa, Iowa". Each bidder shall accompany its bid with bid security as defined in Code of Iowa Section 26.8 and as specified in the Instructions to Bidders. Each bid must be accompanied in a separate envelope with a bid security in an amount equal to ten percent (10%) of the bid price. The bid security shall be security that the successful bidder will furnish the required bond and enter into contract with the City within ten (10) days after the award of the project. The bidder's security shall be acceptable to the City, made payable to the City Treasurer of the City of Oskaloosa, Iowa. The check or draft may be cashed by the City Treasurer as liquidated damages in the event the successful bidder fails to enter into a contract within the ten (10) days after notice of award and post bond satisfactory to the City ensuring the faithful fulfillment of the contract.

The contractor shall NOT include sales or use taxes in the bid. Pursuant to Iowa Code and Iowa Administrative Code, the contractor will be authorized to purchase building materials that will be incorporated into real property on this project tax-free. Iowa Construction Sales Tax Exemption Certificates will be issued by the City which will authorize suppliers of building materials to sell materials exempt from Iowa sales tax and any applicable local option sales tax and school infrastructure local option sales tax to the entity listed on the certificate. Upon award of the contract, the successful contractor will be required to provide project information on the contractor, and each subcontractor and supplier requiring the exemption certificates. Contractor will maintain records identifying the materials purchased sales tax exempt and will maintain records

verifying the use of said materials on said improvement.

By virtue of statutory authority; preference will be given to products and provisions grown and coal produced within the State of Iowa, and preference will be given to Iowa domestic labor in the construction of the improvements.

The successful bidder will be required to furnish performance, payment & maintenance bond in an amount equal to one hundred percent (100%) of the contract price, said bond to be issued by a responsible surety approved by the City Council and shall guarantee the faithful performance of the contract and the terms and conditions therein contained, and shall guarantee the prompt payment of all materials and labor and protect and same harmless the City from claims and damages of any kind caused by the operations of the contractor.

Liquidated damages in the amount of Six Hundred Dollars (\$600.00) per working day will be assessed for each day that the work shall remain uncompleted after the end of the contract period with due allowance for extension of contract period due to conditions beyond the control of the Contractor.

The contract will be awarded to the lowest responsive, responsible bidder. However, the City reserves the right to reject any or all proposals, re-advertise for new bids, to waive irregularities, and to accept any proposals which in the opinion of the City Council is deemed to be in the best interest of the City.

The work on this project shall begin upon receipt of the Notice to Proceed and be fully completed in 60 working days with an early start date of August 25, 2014 and a late start date of September 2, 2014. It is anticipated that the Notice to Proceed will be issued on or around August 25, 2014.

Copies of said construction documents are available at the office of the City Clerk of Oskaloosa for examination by the public. Construction documents for private use may be obtained from the Engineering Division, Public Works Department, 804 South D Street, Oskaloosa, Iowa, upon deposit of twenty-five dollars (\$25) for each set; which is refundable upon receipt of the plans and specifications if the construction documents are returned in good condition within fifteen (15) days from date of letting. A postage and handling fee of \$15.00 will be added for each set of plans and specifications to be mailed. Special arrangements must be made for overnight mail delivery.

Published upon order of the City Council of Oskaloosa, Iowa.

Amy Miller,
City Clerk of the City of Oskaloosa, Iowa

Publish in the Oskaloosa Herald, Oskaloosa, Iowa on July 25, 2014.

Engineers Opinion of Probable Cost
South 11th Street Pavement Rehabilitation Project - 2014
Bid Date: July 30, 2014 at 10:00AM

Item No.	Bid Item Description No.	Bid Item Description	Unit	Estimated Quantity	Unit Price	Amount
1	1090-105-D	Mobilization	LS	1	N/A	\$15,000.00
2	2010-108-E-0	Excavation - Class 10, 12, or 13	CY	500	\$15.00	\$7,500.00
3	2010-108-I-0	Subbase, Granular	TON	850	\$20.00	\$17,000.00
4	6010-108-B-0	Storm Sewer Intake Rebuild	EA	12	\$5,000.00	\$60,000.00
5	6010-108-E	Manhole Adjustments	EA	12	\$1,000.00	\$12,000.00
6	7010-108-A-0	PCC Pavement, 8" Thick	SY	1,800	\$50.00	\$90,000.00
7	7010-108-E-0	2.5' Curb and Gutter, 8" Thick	LF	1,150	\$30.00	\$34,500.00
8	7010-108-I-0	PCC Pavement Samples and Testing	LS	1	N/A	\$2,500.00
9	7020-108-A-0	HMA Interlayer Base (PG 64-34)	TON	625	\$160.00	\$100,000.00
10	7020-108-A-0	HMA Surface (PG 64-22)	TON	1,050	\$105.00	\$110,250.00
11	7020-108-H-0	HMA Pavement Samples and Testing	LS	1	N/A	\$4,000.00
12	7030-108-A-0	Sidewalk Removal	SY	250	\$10.00	\$2,500.00
13	7030-108-A-0	Driveway Removal	SY	575	\$10.00	\$5,750.00
14	7030-108-E-0	PCC Sidewalk, 4" Thick	SY	100	\$35.00	\$3,500.00
15	7030-108-E-0	PCC Sidewalk & Ramps, 6" Thick	SY	200	\$45.00	\$9,000.00
16	7030-108-H-1	PCC Paved Driveway, 6" Thick	SY	250	\$45.00	\$11,250.00
17	7030-108-H-2	Granular Surfacing	TON	100	\$20.00	\$2,000.00
18	7040-108-A-0	Full Depth Concrete Patching	SY	550	\$100.00	\$55,000.00
19	7040-108-A-0	Full Depth Asphalt Patching	SY	25	\$85.00	\$2,125.00
20	7040-108-D-0	Transverse Crack Cleaning and Filling	LF	4,000	\$4.00	\$16,000.00
21	7040-108-G-0	Pavement Milling	SY	6,100	\$7.50	\$45,750.00
22	7040-108-H-0	Pavement Removal	SY	1,100	\$5.00	\$5,500.00
23	7040-108-I-0	Curb and Gutter Removal	LF	1,150	\$10.00	\$11,500.00
24	9010-108-A-0	Conventional Seeding, Fertilizing, and Mulching	LS	1	N/A	\$5,000.00
25	XXX-XXXX-X-X	Traffic Control	LS	1	N/A	\$15,000.00
26	XXX-XXXX-X-X	Water Valve Adjustments	EA	11	\$250.00	\$2,750.00
27	XXX-XXXX-X-X	Fabric Matting	LF	12,500	\$7.00	\$87,500.00

PROJECT TOTAL: \$732,875.00



City Council
Communication
Meeting Date: July 21, 2014
Requested By: Mayor/City
Council/Staff

Item Title: REGULAR AGENDA

Explanation :

The following agenda items require specific action by the City Council.

Budget Consideration:

Not applicable.

Attachments :

None.



City Council
Communication
Meeting Date: July 21, 2014
Requested By: City Manager
Department

Item Title:

Consider request from the Mahaska Community Recreation Foundation to report on quarterly activities of MCRF.

Explanation :

A representative from the Mahaska Community Recreation Foundation, will attend the city council meeting to report on Mahaska Community Recreation Foundation quarterly activities. The quarterly progress report is included in your agenda packet.

Receive report.

Budget Consideration:

None.

Attachments :

None.



City Council
Communication
Meeting Date: July 7, 2014
Requested By: Police Department

Item Title:

Consider an ordinance amending Oskaloosa City Code Section 6.04.090 - Dangerous dogs and other dangerous animals - to delete the current section and substitute a revised section - 1st reading.

Explanation:

Oskaloosa City Ordinance 6.04.090 addresses the issue of Dangerous Dogs and Other Dangerous Animals. The City Manager has requested changes to the Ordinance to clarify definitional terms; clarify requirements relative to dangerous animals; and modify the Animal Review Board/Appeals language by removing the City Manager and Council Member from the board. It is proposed that current section 6.04.090 be deleted, and a new section 6.04.090 be substituted as shown in the attached ordinance.

Budget Consideration:

Costs associated with drafting changes to Section 6.04.090 of the Municipal Code.

Attachments :

Ordinance.

ORDINANCE NO. _____

AN ORDINANCE AMENDING THE OSKALOOSA, IOWA CITY CODE BY DELETING THE CURRENT SECTION 6.04.090 IN ITS ENTIRETY AND INSERTING IN LIEU THEREOF AN AMENDED SECTION 6.04.090.

BE IT ENACTED by the City Council of the City of Oskaloosa, Iowa:

SECTION 1. Section 6.04.090 is amended by deleting the current section 6.04.090 and inserting in lieu thereof the following as section 6.04.090:

“6.04.090 Dangerous Animals

- A. Definitions. For use in this chapter, the following terms are defined:
1. “Dangerous animal” means (a) any animal which is not naturally tame or gentle, and which is of a wild nature or disposition, and which is capable of killing, inflicting serious injury upon or causing disease among human beings and (b) the following animals, which are deemed to be dangerous animals per se:
 - a. Wolves, coyotes and foxes;
 - b. Badgers, wolverines, weasels, mink and other Mustelids;
 - c. Bats;
 - d. Bears;
 - e. Gila monsters, and lizards that are venomous or poisonous;
 - f. All apes (including chimpanzees), baboons and macaques;
 - g. Monkeys, except the squirrel monkey;
 - h. Elephants;
 - i. Wild Boar;
 - j. Black widow or brown recluse spiders and scorpions;
 - k. Snakes which are naturally venomous or poisonous;
 - l. Snakes which are constricting and exceeding six feet in length;
 - m. All cats; except domestic cats (Carnivora of the family Felidae, including but not limited to lions, cougars, tigers, jaguars, leopards, lynx, ocelots, bobcats, etc.);
And
 - n. Raccoons, opossums and skunks.

Dangerous animals shall not include dangerous domestic animals as defined in subsection D.

- B. Keeping of Dangerous Animals Prohibited. No person shall keep, shelter or harbor any dangerous animal or act as a custodian for such animal, or keep such animal for any purpose or in any capacity within the city except in the following circumstances;

1. The keeping of dangerous animals in a public zoo, bona fide educational or medial institution, humane society or museum where they are kept as live specimens for the public to view or for the purpose of instruction, research or study;
2. The keeping of dangerous animals for exhibition to the public by a circus carnival, exhibit or show where such circus, carnival, exhibit or show is of traveling nature, is displayed before large assemblages of people and maintains any and all required federal or state licenses;
3. The keeping of dangerous animals in bona fide, licensed veterinary hospital for treatment;
4. The keeping of dangerous animals by a wildlife rescue organization with appropriate permit from the State Department of Natural Resources;
5. Any dangerous animals under the jurisdiction of and in the possession of the Iowa Department of Natural Resources, pursuant to Chapters 481A and 481B of the Code of Iowa.

C. Seizure, Impoundment and Disposition of Dangerous Animals.

1. In the event that a dangerous animal is found at large and unattended upon public property, park property, public right-of-way or the property of someone other than its owner, thereby creating a hazard to persons or property, such animal may, in the discretion of the chief of police, be destroyed if it cannot be confined or captured. The city shall be under no duty to attempt the confinement or capture of a dangerous animal found at large, nor shall it have a duty to notify the owner of such animal prior to its destruction.
2. Upon the complaint of any individual that a person is keeping, sheltering or harboring a dangerous animal in the city, the chief of police shall cause the matter to be investigated, and if after investigation, the facts indicate that such person is keeping, sheltering or harboring a dangerous animal in the city, the chief of police shall issue a citation for the violation, and shall order such person to safely remove such animal from the city, and permanently place the animal with an organization or group allowed under subsection B of this section to possess dangerous animals, or destroy the animal, within three days of the receipt of such order. Such order shall be contained in a notice to remove the dangerous animal, which notice shall be given in writing to the person keeping, sheltering or harboring the dangerous animal, and shall be served personally or by certified mail. Such order and notice to remove the dangerous animal shall not be required where the dangerous animal has previously caused serious physical harm or death to any person, in which case, the chief of police shall cause the animal to be immediately seized and impounded or killed if seizure and impoundment are not possible without risk of serious physical harm or death to any person.

3. The order to remove a dangerous animal, issued by the chief of police, may be appealed to the animal review board as set forth in subsection I of this section. If the animal review board affirms the action of the chief of police, the board shall order in its written decision that the individual or entity owning, sheltering, harboring or keeping such dangerous animal, remove such animal from the city, permanently place such animal with an organization or group allowed under subsection B of this section to possess dangerous animals, or destroy it. If the original order of the chief of police is not appealed and it not complied with within three days, or if the order of the animal review board after appeal is not complied with within three days of its issuance, the chief of police is authorized to seize and impound for a period of seven days, with the costs thereof to be at the expense of the owner. If at the end of the impoundment period, the individual or entity against whom the decision and order of the animal review board was issued as not petitioned the Iowa District Court for review of said order, the city shall cause the animal to be disposed of by sale, permanently place such animal with an organization or group allowed under subsection B of this section to possess dangerous animals, or destroy such animals in a humane manner, Failure to comply with an order of the city issued pursuant hereto shall constitute a misdemeanor offense, punishable pursuant to this Code of Ordinances.

D. DEFINITIONS AND DETERMINATION OF DANGEROUS DOMESTIC ANIMALS.

1. It shall be unlawful for any person to keep a dangerous domestic animal except as otherwise provided in this section. For purpose of this section "Dangerous Domestic Animal" means:
 - (a) Any animal which has inflicted serious injury on a person without provocation.
 - (b) Any animal which has at the animals own initiative, seriously injured or killed a domestic animal.
 - (c) Any animal owned or harbored primarily or in part for the purpose of animal fighting.
 - (d) Any animal which by breeding, training, disposition or behavior may pose a potential risk of attacking and inflicting injury without provocation upon people or other animals.

"Provocation" for purpose of this subsection, means that the threat, injury or damage caused by the animal was sustained by a person who, at the time, was committing a willful trespass or other tort upon the premises occupied by the owner of the animal, or was tormenting, abusing, or assaulting the animal, or was committing or attempting to commit a crime.

“Serious Injury” for purpose of the subsection means any physical injury to a human being or a domestic animal as a result of an animal’s actions which demonstrate an intent to harm resulting in a major fracture, muscle tears, disfiguring lacerations or which requires multiple sutures or corrective or cosmetic surgery.

2. DETERMINATION OF DANGEROUS ANIMAL. The determination as to whether a particular animal is a dangerous domestic animal shall be made by the Chief of Police, or his designee, on the basis of reasonable evidence, which may include, but is not limited to, consideration of a verified report of an incident involving unprovoked aggressive behavior directed at a person or a domestic animal, any provocation or trespass on the part of the animal attacked; compliance, or lack of same, with all animal control ordinances on the part of any animal or the person responsible for any animal; and the opinions of experts.

3. SECURING ANIMAL.

(a) During the period of investigation, the Chief of Police or designee shall have the authority to order the owner or keeper of an animal under investigation to secure that animal. This may include the directive that the animal be secured off the premises of the owner or keeper, at the owner’s expense.

(b) Failure to strictly comply with all conditions of the order to secure an animal during investigation shall be municipal infraction punishable by a fine of \$500 for first offense and \$750 for any subsequent offense. Each day that the violation occurs or is permitted to exist constitutes a separate offense.

(c) If the Chief of Police or designee has reason to believe that the animal threatens the safety of person or domestic animal, the Chief of Police or designee may enter upon any premises upon which the animal is kept and remove the animal from those premises to a place of impoundment.

Entry onto said premises shall be only with the consent of the person in lawful control of the premises, or after obtaining a search warrant pursuant to law.

E. REGISTRATION REQUIRED.

1. All animals within the scope of section D shall be registered with the City by all adult person(s) responsible for the keeping of the animal. Failure or refusal to register each such animal, including providing the location where the animal resides and its identifying characteristics, on forms provided by the City, shall constitute a violation of the Oskaloosa Municipal Code.

2. Re-registration is required in the event animal’s owner, keeper or possessor is changed or the animal’s place of residence is moved to

another location. The registration requirements attach to the animal and compliance with all registration requirements shall be the strict duty of any person or entity which acquires ownership, keeping, or possession of the animal.

3. The registration of an animal shall be renewed annually. The premises and facilities where such registered animal is kept shall be inspected annually by the Chief of Police or designee, unless there is reason to believe animals are being improperly kept or cared for, in which case inspections may be made as the Animal Control Officer deems necessary. The City Council may establish a schedule of fees to cover costs of administration and inspection.

4. In the event the animal registered pursuant to these provisions is found to be missing, this event shall be promptly reported to the Police Department.

F. PROOF OF FINANCIAL RESPONSIBILITY REQUIRED.

1. Any person keeping a dangerous animal within the scope of section D shall be required to prove financial responsibility for any injury or damage that may be caused by the animal by either: (a) posting a cash or surety bond in the amount of one hundred thousand dollars (\$100,000.00), or (b) presenting a certificate of insurance issued by an insurance company licensed to do business in this state, providing person liability insurance coverage as in a homeowner's policy, with a minimum liability amount of one million dollars (\$1,000,000.00) for the injury or death of any person, for damage to property of others, and for acts of negligence by the owner of the owner's agents, in the keeping or owning of such potentially dangerous animal. The certificate shall require notice to the City, in conformity with general City standards for certificates of insurance, if the underlying policy of insurance is cancelled for any reason. If a certificate of insurance or policy is not immediately available, a binder indicating the coverage may be accepted for a period of up to thirty days following a determination that an animal is dangerous animal within the scope of section D.

2. Failure to provide a certificate of insurance after thirty days shall be violation of this section, and the dangerous animal shall be subject to removal and shall be humanely destroyed at the expense of the person keeping the dangerous animal.

G. CONFINEMENT STANDARDS.

All animals within the scope of Section D shall be confined pursuant to a confinement plan approved by the Chief of Police or designee. If such confinement facilities are indoors, all access doors must be continually locked. If such confinement facilities are outdoors, they must be securely constructed with chain link or masonry fence sides, with securely attached ceilings and with a concrete floor securely attached to the sides of the pen. Entrance gates must be continually locked with a key or combination

lock. A perimeter fence of appropriate height and material to prevent escape must be built at least four feet from the primary enclosure and shall be built so as to surround all sides of the enclosure not adjacent to a solid wall of building. When taken outdoors, whether on or off the owner or keeper's premises, the dangerous animals must at all times be muzzled and leashed with equipment which has been approved by the Chief of Police or designee, or confined in a vehicle, cage or other animal carrier so as to be out of the reach of passerby.

H. ADDITIONAL HANDLING REQUIREMENTS.

In addition to insurance and confinement, the Chief of Police or designee shall have the authority to place additional handling requirements on any animal which is within the scope of Section D and to require timely compliance with the requirements. Any or all of the following conditions may be imposed:

- (a) The requirement that the animal be spayed or neutered at the owner's expense by a specific date and proof of same furnished to Animal Control;
- (b) The requirement that the animal be photographed by Animal Control. And implanted at the owner's expense with a microchip containing owner identification information. The microchip information shall be registered with Animal Control;
- (c) The requirements that the owner and animal shall satisfactorily complete a safety course approved by the City, at the owner's expense.
- (d) That the animal shall at all times be required to wear a conspicuously colored collar with permanently affixed owner identification;
- (e) That the owner of the animal has posted on the premises a clearly visible written warning sign to be approved by the Chief of Police or designee stating that there is dangerous animal on the property with a conspicuous warning symbol that informs children of the presence of a dangerous animal. The sign shall be very visible from the public roadway or 50 feet, whichever is less; and
- (f) That the animal have current rabies vaccination and furnish proof of same to Animal Control.

I. REMOVAL AND ORDER FOR EUTHANASIA.

When the Chief of Police or designee determines that the owner has failed to keep an animal in compliance with the standards set forth in this Chapter, the Chief of Police or designee shall order in writing that an owner shall have an animal humanely euthanized within ten days of the order. Failure to comply with the Chief of Police or designee's order shall be a violation of this section.

J. APPEAL PROCEDURES.

Appeal of Euthanasia Order

1. Any person who receives an order from the Chief of Police or designee requiring that a dangerous domestic animal be removed and euthanized as provided in Section I may appeal the order by filing a written notice of appeal with the City Clerk within seven days of the date of the order. The written appeal shall state the grounds of the appeal, including how the person proposes to keep the dangerous domestic animal in a manner that is in compliance with the standards set out in this Chapter, and how the person proposes to reduce the risk of harm that the dangerous domestic animal poses to the public.
2. Upon receiving a notice of appeal, a hearing shall be convened, chaired by the Chief of Police or designee, to receive any testimony or other evidence that is deemed appropriate concerning the euthanasia order.
3. When an appeal has been filed, the City shall make a reasonable effort to notify any persons who would have had direct involvement in the situation which led to the euthanasia order, including those persons who were injured or who are owners or keepers of any animals which were injured by the dangerous domestic animal.
4. The appeal shall be heard by a committee appointed by the City and consisting of minimum of three people, including a member of the public, an animal professional, and a City Officer or designee.
5. Following such hearing, the committee shall issue a written decision within ten days from the date of the hearing, and may:
 - (a) Uphold the decision of the Chief of Police or designee and order the dangerous animal to be destroyed; or
 - (b) Modify or reverse the decision; after which the Chief of Police or designee shall take such action as is necessary to carry out the decision of the committee.
6. The decision of the committee and the reasons for it shall be summarized in writing and provided to the person who filed the appeal.

Appeal of Registration Requirement

1. Any person who receives an order from the Chief of Police or designee requiring that a dangerous domestic animal be registered as provided in section E may appeal the order by filing a written notice of the appeal to the City Clerk within seven days of the date of the order. The written appeal shall state the grounds of the appeal.
2. Upon receiving a notice of appeal, a hearing shall be convened, chaired by the Chief of Police or designee, to receive any testimony or other evidence that is deemed appropriate concerning the registration requirement.
3. When an appeal has been filed, the City shall make a reasonable effort to notify any persons who would have had direct involvement in the situation which led to the registration requirement.

4. The appeal shall be heard by a committee appointed by the City and consisting of minimum of three people, including a member of the public, an animal professional, and a City Officer or designee.

5. Following such hearing, the committee shall issue a written decision within ten days from the date of the hearing, and may:

(a) Uphold the decision of the Chief of Police or designee and order the registration requirement to be complied with; or

(b) Modify or reverse the decision; after which the Chief of Police or designee shall take such action as is necessary to carry out the decision of the committee.

6. The decision of the committee and the reasons for it shall be summarized in writing and provided to the person who filed the appeal.

K. LIFT OF REGISTRATION REQUIREMENTS

If any animal previously determined to be subject to a registration as a Dangerous Domestic Animal has not exhibited any of the behaviors specified under Section D for a period of thirty six (36) months since the date of the registration, then that animal is eligible for a review of the determination with a potential for a hearing on removing the registration requirements. Application for such review shall be the responsibility of the owner and must be filed with the City Clerk. The review shall be completed by a committee appointed by the Chief of Police and consisting of a minimum of three people, including a member of the public, an animal professional, and a City Officer or his/her designee.

L. REPORTING OF INCIDENTS REQUIRED

It shall be the duty of any person having knowledge of an incident in which any domestic animal has caused serious injury to a person or another domestic animal to report that incident within twenty four hours of its occurrence. Failure to do so is a violation punishable as a municipal infraction.

M. POLICE SERVICES DOGS EXEMPT

Police Service Dogs which are in active use by a Law Enforcement agency shall be exempt from the provisions of this Chapter.”

SECTION 2. WHEN EFFECTIVE. This amendment to the ordinance shall be in effect from and after its final passage, approval, and publication by law.

Passed by the Council the _____ day of _____ 2014, and approved this _____ day of _____ 2014.

David Krutzfeldt, Mayor

ATTEST: _____
Amy Miller, City Clerk

I certify that the foregoing was published as Ordinance No. _____ on the
_____ day of _____ 2014.

Signed



City Council
Communication
Meeting Date: July 21, 2014
Requested By: Public Works Dept.

Item Title:

Consider an ordinance amending the City Code of the City of Oskaloosa, Iowa, by amending provisions pertaining to Section 10.48.030 - "Angle Parking" by allowing angle parking on a portion of North K Street - 1st Reading.

Explanation:

The Public Works department is requesting to update the current code to reflect the 1107 A Avenue West Site Plan and their on-street parking improvements along the east side of North K Street. Presently there is a 50' long gravel area on the east side of North K Street, adjacent to the Great Expectations restaurant, which serves as on-street parking. The proposed site improvements to 1107 A Avenue West indicate a plan to convert this gravel area into a concrete surface in order to accommodate 4 angled on-street parking spaces on North K Street.

Staff recommends that the City Council approve amending Section 10.48.030 - "Angle Parking" to accommodate the site plan improvements at 1107 A Avenue West.

Note: If approved, then the following amendment will be added to Section 10.48.030 of the Oskaloosa Municipal Code:

10.48.030 - Angle Parking.
North K Street on the east side from 70 feet north of A Avenue West to 120 feet north of A Avenue West.

Budget Consideration:

There will be minimal impact to the City Budget for the cost associated with drafting revisions to Chapter 10.48 of the Oskaloosa Municipal Code.

Attachments:

Ordinance

ORDINANCE NO. _____

AN ORDINANCE AMENDING THE CITY CODE OF THE CITY OF
OSKALOOSA, IOWA, BY AMENDING PROVISIONS PERTAINING TO
SECTION 10.48.030 - "ANGLE PARKING" BY ALLOWING ANGLE PARKING
ON A PORTION OF NORTH K STREET

BE IT ENACTED by the City Council of the City of Oskaloosa, Iowa:

SECTION 1: The Oskaloosa City Code Section 10.48.255 is amended by adding the following item:

- North K Street on the east side from 70 feet north of A Avenue West to 120 feet north of A Avenue West;

SECTION 2: SEVERABILITY CLAUSE. If any section, provision, or part of this ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the ordinance as a whole or any section, provision, or part thereof not adjudged invalid or unconstitutional.

SECTION 3: WHEN EFFECTIVE. This ordinance shall be in effect from and after its final passage, approval, and publication by law.

Passed by the Council the _____ day of _____, 2014, and approved this _____ day of _____, 2014.

David Krutzfeldt, Mayor

ATTEST: _____
Amy Miller, City Clerk

I certify that the foregoing was published as Ordinance No. _____ on the _____ day of _____, 2014.

Signed



City Council
Communication
Meeting Date: July 21, 2014
Requested By: Public Works Dept.

Item Title:

Consider an ordinance amending Chapter 15.04 Building Code of the Oskaloosa Municipal Code (2nd reading) and a request to waive the 3rd reading of the ordinance.

Explanation:

The proposed service agreement with Safe Building Compliance and Technology requires five days for plan reviews and 48 hour notice for inspection services. The Oskaloosa Municipal Code currently requires 24 hour notice for inspection services and therefore is not in compliance with the contract terms with Safe Building. Staff is requesting the City Council consider amending the Oskaloosa Municipal Code, 15.04.470 be amended to reflect the change from 24 hours to 48 hours as noted below.

15.04.470 Inspection—Request deadline. The building official may require that every request for inspection be filed at least ~~one~~ two days before such inspection is desired. Such request may be in writing or by telephone, at the option of the building official.

City council approved the 1st reading of the ordinance at the July 7, 2014 city council meeting, but did not approve waiving the 2nd and 3rd readings of the ordinance by a vote of 5 (ayes) to 1 (nays). In order for readings to be waived six affirmative votes are required. Staff requests the 3rd reading of the ordinance amendment be waived so the code complies with the agreement with Safety Building Compliance and Technology.

Budget Consideration:

Costs associated with amending the Oskaloosa Municipal Code.

Attachments :

Ordinance.

ORDINANCE NO. _____

AN ORDINANCE AMENDING THE CITY CODE OF THE CITY OF OSKALOOSA, IOWA, BY AMENDING TITLE 15 - BUILDINGS AND CONSTRUCTION, CHAPTER 15.04 - BUILDING CODE, SECTION 15.04.470 - INSPECTION REQUEST DEADLINE.

BE IT ENACTED by the City Council of the City of Oskaloosa, Iowa:

SECTION 1: The Oskaloosa City Code Section 15.04.470 is amended by deleting the current section, and inserting in lieu thereof the following:

15.04.470 Inspection–Request deadline. The building official may require that every request for inspection be filed at least ~~one~~ **two days** before such inspection is desired. Such request may be in writing or by telephone, at the option of the building official.

SECTION 2: SEVERABILITY CLAUSE. If any section, provision, or part of this ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the ordinance as a whole or any section, provision, or part thereof not adjudged invalid or unconstitutional.

SECTION 3: WHEN EFFECTIVE. This ordinance shall be in effect from and after its final passage, approval, and publication by law.

Passed by the Council the _____ day of _____, 2014, and approved this _____ day of _____, 2014.

David Krutzfeldt, Mayor

ATTEST: _____
Amy Miller, City Clerk

I certify that the foregoing was published as Ordinance No. _____ on the _____ day of _____, 2014.

Signed



City Council
Communication
Meeting Date: July 21, 2014
Requested By: Public Works Dept.

Item Title:

Consider approval of a site plan for the property at 1107 A Avenue West.

Explanation:

Daryl Fisher with Fisher Investments Ltd. has submitted a site plan for 1107 A Avenue West. The west portion of the site is presently occupied by a restaurant, Great Expectations. The east portion used to be the Happy Joe's pizza building. The site in consideration is 0.33 acres and the present zoning of this property is Urban Corridor (UC) District with an A Avenue Overlay District.

The applicant has submitted the required site plan, along with elevations and a landscape plan, for review through the city staff. The site plan illustrates that the existing building, 1845 square feet, serving the Great Expectations restaurant will remain and the proposed building, 3024 square feet, will serve office and retail land use. The proposed site will have one access entrance on A Avenue and an exit on North K Street. The proposed site indicates 16 off-street parking spaces, including 1 handicap accessible space, and 4 on-street angle parking spaces. The site also indicates 5' wide sidewalk on A Avenue West and North K Street. The proposed site will be connecting to existing sanitary sewer and water utilities.

Staff recommends approval of this site plan with the following stipulations:

1. Iowa DOT approval
2. Provide landscaping along the property per Oskaloosa Municipal Code 17.26
3. The main entrance door to the existing restaurant, Great Expectations, needs to be the same level as the entrance sidewalk in order to comply with ADA regulations

At their meeting on July 14, 2014 the Planning and Zoning Commission, by a vote of 7 to 0, recommended approval of the site plan with the above mentioned stipulations.

Budget Consideration:

\$100.00 in application fees.

Attachments :

Site Plan and Application.

MISCELLANEOUS INFORMATION

OWNER:
 DEBORAH J. FISHER
 % FISHER INVESTMENTS, LTD.
 1107 A. AVE. WEST
 OSKALOOSA, IOWA 52577

ENGINEER & SURVEYOR:
 GARDEN & ASSOCIATES, LTD.
 1701 3RD AVE. EAST - SUITE 1
 P.O. BOX 451
 OSKALOOSA, IOWA 52577

ZONING: UC - URBAN CORRIDOR

PROPOSED USE: RETAIL & OFFICE SPACE

AREA OF DEVELOPMENT: 0.33 ACRES

EXISTING BUILDING AREA:
 1,845 SQUARE FEET (SINGLE STORY)

PROPOSED BUILDING AREA:
 3,024 SQUARE FEET (SINGLE STORY)

PARKING REQUIRED:
 1,845 SF GENERAL RETAIL 9.2 SPACES @ 1/200 SF
 3,024 SF GENERAL OFFICE 10.1 SPACES @ 1/300 SF
 TOTAL = 20 SPACES

PARKING PROVIDED:
 20 SPACES INCLUDING 1 ADA SPACE

BUILDING SETBACK REQUIREMENTS:
 FRONT YARD 25 FEET
 STREET SIDE YARD 15 FEET
 INTERIOR SIDE YARD 7 FEET
 REAR YARD 25 FEET

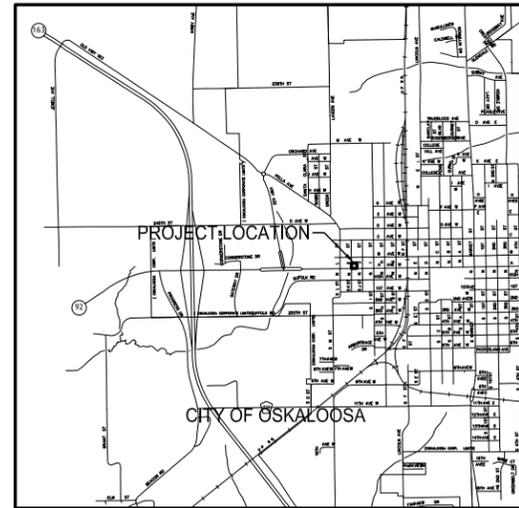
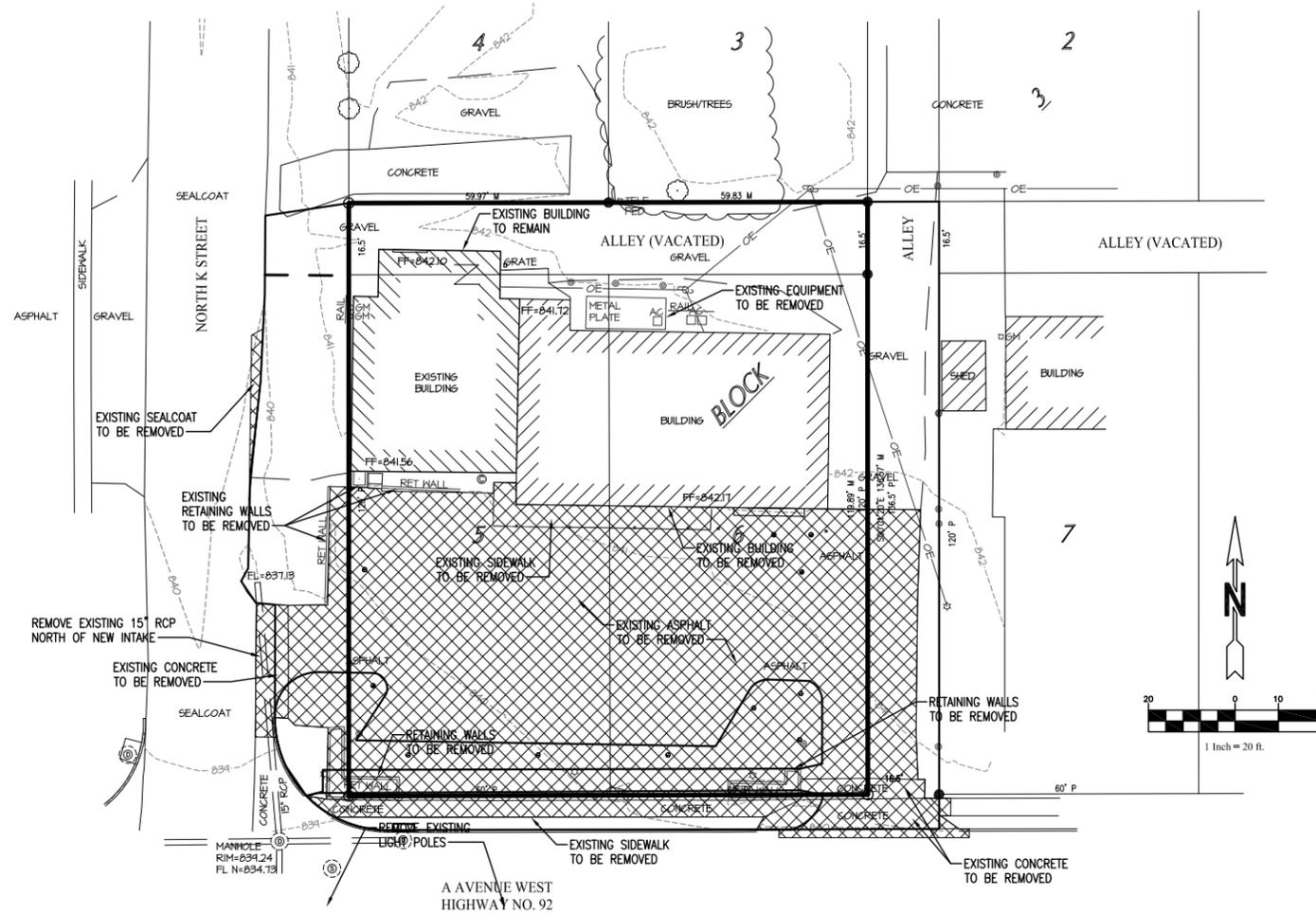
GREEN SPACE CALCULATION:
 GREEN AREA = 0.09 ACRES
 TOTAL AREA = 0.51 ACRES
 % GREEN AREA = 17.6%

UTILITIES:
 EXISTING UTILITY SERVICES TO BE UTILIZED FOR PROPOSED BUILDING.

BENCH MARK:
 NE CORNER OF A AVE. INTAKE - ELEV. = 839.62

LEGAL DESCRIPTION:
 LOTS 5 AND 6 OF BLOCK 3 LOUGHRIDGE AND CASSIDAY'S ADDITION TO THE CITY OF OSKALOOSA, MAHASKA COUNTY, IOWA AND THE VACATED 16.5 FOOT WIDE BY 120 FOOT LONG ALLEY NORTH OF AND ADJACENT TO LOTS 5 AND 6.

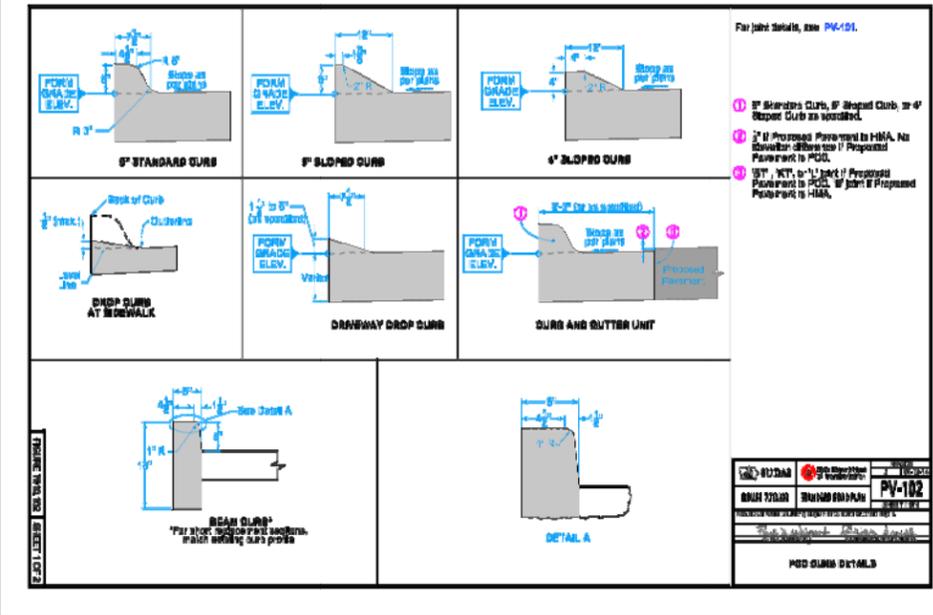
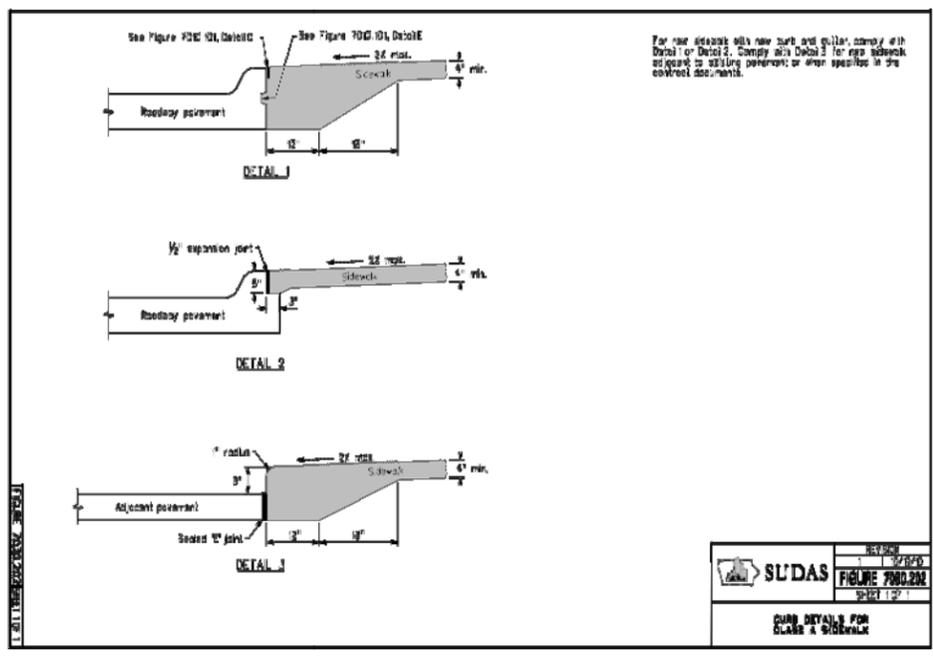
SIGNAGE:
 NO NEW SIGNAGE PROPOSED: ANY FUTURE SIGNAGE SHALL REQUIRE APPLICATION FOR A SIGN PERMIT.



Materials and construction shall be in accordance with the SUDAS Standard Specifications, 2014 Edition, plus current Supplemental Specifications and Special Provisions.

GENERAL SYMBOLS LEGEND	
●	PROPERTY CORNER FOUND
▲	SECTION CORNER FOUND
—000—	EXISTING GROUND CONTOUR LINE
—K—	EXISTING WATER LINE (SIZE VARIES)
—X—	EXISTING FIRE HYDRANT
—W—	EXISTING WATER VALVE
—V—	EXISTING WATER SERVICE SHUTOFF
—P—	EXISTING WATER METER PIT
—WELL	EXISTING WATER WELL
—M—	WATER METER
—ST—	EXISTING STORM SEWER LINE (SIZE VARIES)
—S—	EXISTING STORM SEWER ACCESS
—T—	EXISTING SEPTIC TANK
—S—	EXISTING SANITARY SEWER ACCESS
—SS—	EXISTING SANITARY SEWER MAN (SIZE VARIES)
—C—	CLEANOUT
—E—	ELECTRIC MANHOLE
—OE—	OVERHEAD ELECTRIC LINE
—UE—	UNDERGROUND ELECTRIC LINE
—EM	ELECTRIC METER
—FO—	FIBEROPTIC LINE
—T—	TELEPHONE MANHOLE
—TELE PED	TELEPHONE PEDESTAL
—UT—	TELEPHONE LINE
—TV PED	TELEVISION PEDESTAL
—TV—	TELEVISION LINE
—GM	GAS METER
—G—	GAS VALVE
—G—	EXISTING GAS LINE
—U—	UTILITY POLE
—G—	GUY WIRE
—L—	LUMINAIRE
—T—	TRANSFORMER
—S—	PROPOSED WATER MAN (SIZE VARIES)
—F—	PROPOSED FIRE HYDRANT
—V—	PROPOSED WATER VALVE
—V—	PROPOSED WATER SHUTOFF
—M—	PROPOSED SANITARY SEWER MANHOLE
—FO—	PROPOSED SANITARY SEWER END LINE CLEANOUT
—C—	PROPOSED SANITARY SEWER DOUBLE CLEANOUT
—SS—	PROPOSED SANITARY SEWER MAN (SIZE VARIES)
—L—	PROPOSED LIFT STATION
—S—	PROPOSED SANITARY SEWER FORCE MAIN
—S—	PROPOSED STORM SEWER ACCESS
—S—	PROPOSED STORM SEWER MAN
—S—	PROPOSED SECONDARY STORM SEWER
—000—	PROPOSED GROUND CONTOUR LINE
—S—	SURFACING REMOVAL
—S—	CONCRETE SURFACING REPLACEMENT
—A—	FLOW DIRECTION ARROW
—E—	FINISH GRADE ELEVATION MARKER

GENERAL ABBREVIATIONS LEGEND	
R/W	RIGHT OF WAY
R.O.W.	RIGHT OF WAY
P.C.	POINT OF CURVATURE
P.I.	POINT OF INTERSECTION
P.T.	POINT OF TANGENCY
CL	CENTERLINE
TC	TOP OF CURB
GU	GUTTER
FL	FLOW LINE
SB	SOIL BORING
R	RADIUS
BTM	BOTTOM
H.W.L.	HIGH WATER LEVEL
L.W.L.	LOW WATER LEVEL
EA	EACH
GN	GALLONS PER MINUTE
IN	INCHES
FT	FOOT OR FEET
SF	SQUARE FEET
LF	LINEAR FOOT
SY	SQUARE YARD
CY	CUBIC YARD
MJ	MECHANICAL JOINT
PE	FLAN END JOINT
FE	FLANGED JOINT
UT	UNION TITE JOINT
S.S.	STAINLESS STEEL
O.C.	ON CENTER
I.D.	INSIDE DIAMETER
O.D.	OUTSIDE DIAMETER
#	DIAMETER
DA	DIAMETER
#	NUMBER
INV	INVERT
TYP	TYPICAL
EA	EACH
PVC	POLYVINYL CHLORIDE PIPE
DI	DUCTILE IRON PIPE
CI	CAST IRON PIPE
CMP	CORRUGATED METAL PIPE
RC	REINFORCED CONCRETE PIPE



GARDEN & ASSOCIATES, LTD.
ENGINEERS & SURVEYORS
 1701 3rd Avenue East, Suite 1
 P.O. Box 451
 Oskaloosa, Iowa 52577
 641.782.2526 Phone
 641.782.2591 Fax
 email@gardenassociates.net
 800.491.2524 Iowa Toll Free

FISHER INVESTMENTS
1107 A AVENUE WEST
OSKALOOSA, IOWA
 © COPYRIGHT 2014 GARDEN & ASSOCIATES, LTD.

SHEET TITLE
REMOVAL PLAN

SCALE:
 1"=20'

FIELD BOOK:

DRAWN BY:
 TRH

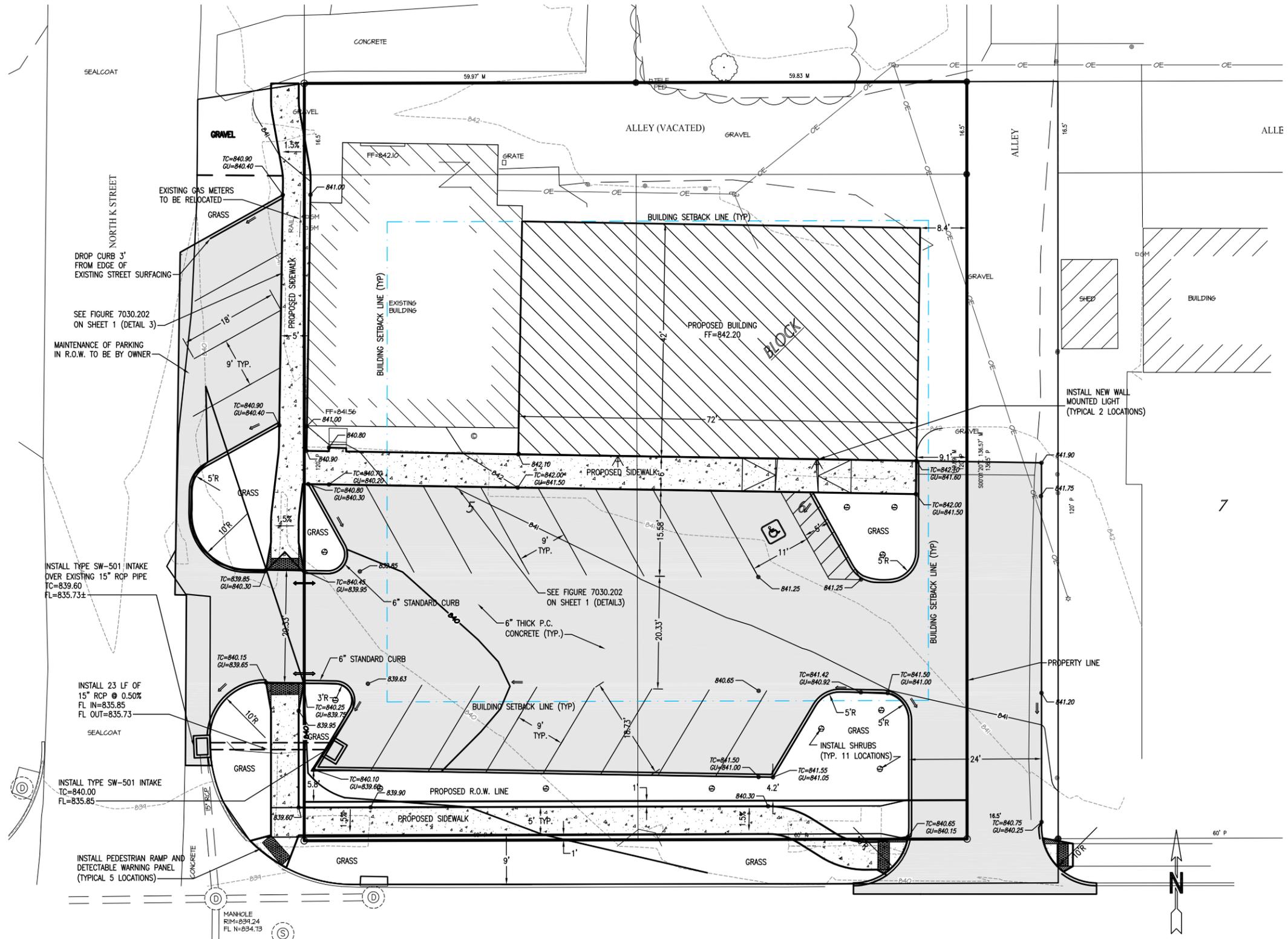
APPROVED:
 BJU

REVISIONS:

DATE:
 JULY 14, 2014

PROJECT NO.:
 6014117

SHEET NO.:
1 OF 2



SEALCOAT

NORTH K STREET

EXISTING GAS METERS TO BE RELOCATED

DROP CURB 3' FROM EDGE OF EXISTING STREET SURFACING

SEE FIGURE 7030.202 ON SHEET 1 (DETAIL 3)

MAINTENANCE OF PARKING IN R.O.W. TO BE BY OWNER

INSTALL TYPE SW-501 INTAKE OVER EXISTING 15\"/>

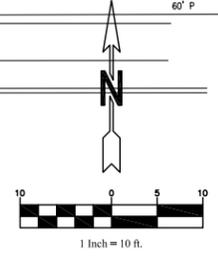
INSTALL 23 LF OF 15\"/>

INSTALL TYPE SW-501 INTAKE TC=840.00 FL=835.85

INSTALL PEDESTRIAN RAMP AND DETECTABLE WARNING PANEL (TYPICAL 5 LOCATIONS)

MANHOLE RIM=834.24 FL N=834.73

A AVENUE WEST HIGHWAY NO. 92



GARDEN & ASSOCIATES, LTD.
ENGINEERS & SURVEYORS
 500 E. Taylor, Suite C
 P.O. Box 651
 Oskaloosa, Iowa 52577
 641.782.2526 Phone
 641.782.2521 Fax
 email@gardensassociates.net

FISHER INVESTMENTS
1107 A AVENUE WEST
OSKALOOSA, IOWA
 © COPYRIGHT 2014 GARDEN & ASSOCIATES, LTD.

SHEET TITLE
SITE PLAN

SCALE:
 1"=10'

FIELD BOOK:

DRAWN BY:
 TRH

APPROVED:
 BJU

REVISIONS:

DATE:
 JULY 14, 2014

PROJECT NO.:
 6014117

SHEET NO.:
2 OF 2

G:\Projects\6014117 - Fisher Investments - Site Planning for New Building in Oskaloosa\Drawings\Civil 3D Plan Drawings\Site Plan 6014117.dwg

SITE PLAN APPLICATION
City of Okaloosa
Public Works Department
844 South D Street
Okaloosa, IA 32577
Phone number 641-673-7472

APPLICANT NAME: FISHER INVESTMENTS, LTD

APPLICANT ADDRESS: PO BOX 1065, OKALOOSA

PHONE NUMBER: 641-660-1538

FAX NUMBER: _____

EMAIL ADDRESS: fishinvest@comcast.net

OWNER NAME: FISHER INVESTMENTS, LTD

ADDRESS OF PROPERTY: 1107 A AVE WEST

LEGAL DESCRIPTION: INCLUDED ON SITE PLANS

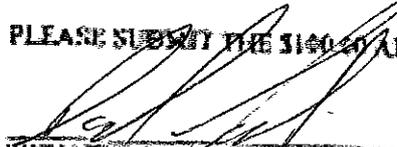
ZONING OF PROPERTY: UC - URBAN CORRIDOR

CURRENT USE OF LAND: RETAIL

INDICATE THE NATURE AND OPERATING CHARACTERISTICS FOR THE SITE PLAN CHANGE AND THE PROPOSED USE. RECONSTRUCTION OF THE EXISTING AREA AND PART OF THE EXISTING BUILDING FOR NEW ACCESS AND RETAIL SPACE

NOTE: ANY GRAPHIC INFORMATION, INCLUDING SITE PLANS, ELEVATIONS, OTHER DRAWINGS, OR OTHER MATERIALS DETERMINED BY ZONING ADMINISTRATOR TO BE NECESSARY TO DESCRIBE THE PROPOSED USE TO THE PLANNING AND ZONING COMMISSION AND/OR THE CITY COUNCIL, WILL BE INCLUDED WITH THIS APPLICATION. *PROVIDE 15 COPIES OF REQUESTED DOCUMENTS*

PLEASE SUBMIT THE \$100.00 APPLICATION FEE WITH THIS REQUEST.


SIGNATURE OF OWNER

DATE: 7-8-14

** PROPERTY OWNER LETTER OF APPROVAL FOR CHANGE IN SITE REQUIRED IF APPLICANT IS NOT OWNER **



City Council Communication

Meeting Date: July 21, 2014

Requested By: City Manager's Office

Item Title:

Consider a motion rescinding action taken at the May 5, 2014 city council meeting regarding the acquisition and demolition of the property located at 517 B Avenue West.

Explanation:

The property located at 517 B Avenue West was condemned by the city due to unsafe living conditions; all residents were ordered out of the property and the building secured until required improvements could be corrected. The property owner, Mr. Kelly Blunt, approached the city and offered to deed the property over to the city free and clear of any liens.

At the May 5, 2014 city council meeting staff asked for the council's input on acquiring the property at no cost from Mr. Blunt with the intent of pursuing demolition of the building as soon as practical with the understanding the city would be responsible for the demolition cost as well as any property maintenance that would need to occur thereafter. Staff recommended the building at 517 B Avenue West be demolished regardless of ownership. The city council voted (4 ayes, 3 nays) to direct the City Manager to execute the necessary documents for the acquisition and demolition of 517 B Avenue West.

The City Manager is requesting the City Council reconsider their previous motion and rescind the direction approved to acquire the property. The City Manager recommends the funds set aside for property acquisition by diverted to other needs within the city's operational budget, or be held to increase existing reserve levels. The City Manager also recommends the property owner be held responsible for bringing 517 B Avenue West into code compliance or seek demolition of the property within a reasonable period of time.

Budget Consideration:

The City Council approved FY2015 specifically includes \$100,000 for the purpose of acquiring and demolishing properties along the A Avenue Corridor. Costs associated with the demolition (and asbestos remediation) could be avoided if the City Council rescinds the action previously taken on May 5, 2014.

Attachments :

1. Property Information

Summary

Parcel ID 1013339021
 Office Map 919
 Property Address 517 B Ave West
 Oskaloosa
 Sec/Twp/Rng 13-75-16
 Brief Legal Description LOT 22 NORMAL LOT
 (Note: Not to be used on legal documents)
 Document(s) REC: 2008-1931 (5/30/2008)
 Gross Acres 0.00
 Exempt Acres N/A
 Net Acres 0.00
 CSR N/A
 Class C - Commercial
 (Note: This is for tax purposes only. Not to be used for zoning.)
 Tax District OSKALOOSA
 School District OSKALOOSA SCH



[Click to Enlarge](#)

If this property is being split, please contact the Assessor's Office at 641-673-5805 for property information.

Owner

Primary Owner (Deed Holder) Blunt, Kelly W/Debra K 2132 263rd St Oskaloosa, IA 52577-9577	Secondary Owner	Mailing Address
---	-----------------	-----------------

Land

Lot Dimensions Regular Lot: 102.00 x 150.00
 Lot Area 0.35 Acres; 15,300 SF

Commercial Buildings

Type	Base Area	Year Built
Apartment	1768	1852

Yard Extras

- #1 - (1) Garage 760 SF, Frame, Low Pricing, Built 1920
- #2 - (1) Paving 1,900 SF, Asphalt Parking, Average Pricing, Lighting: No, Built 1970

Sales

Date	Seller	Buyer	Recording	NUTC	Type	Multi Parcel	Amount
5/30/2008	GARNER, JOHN F	BLUNT, KELLY W/DEBRA K	2008-1931	Normal Arms-Length Transaction	Warranty Deed		\$74,500.00
5/30/2008			2008-1930	Unuseable Sale - Other	Affidavit		\$0.00
7/16/1975			205-349	Unuseable Sale - Other	Warranty Deed		\$0.00

Valuation

	2014	2013	2012	2011	2010
+ Land	\$16,370	\$16,370	\$16,370	\$15,000	\$15,000
+ Building	\$55,270	\$55,270	\$55,270	\$59,200	\$59,200
= Total Assessed Value	\$71,640	\$71,640	\$71,640	\$74,200	\$74,200

VALUES ARE NOT CERTIFIED UNTIL APRIL 15TH AND ARE SUBJECT TO BOARD OF REVIEW

Taxation

	2012	2011	2010
+ Taxable Land Value	\$16,370	\$15,000	\$15,000
+ Taxable Building Value	\$55,270	\$59,200	\$59,200
+ Taxable Dwelling Value	\$0	\$0	\$0
= Gross Taxable Value	\$71,640	\$74,200	\$74,200
- Military Exemption	\$0	\$0	\$0

=	Net Taxable Value	\$71,640	\$74,200	\$74,200
x	Levy Rate (per \$1000 of value)	37.25362	38.36108	41.30253
=	Gross Taxes Due	\$2,668.85	\$2,846.39	\$3,064.65
-	Ag Land Credit	\$0.00	\$0.00	\$0.00
-	Disabled and Senior Citizens Credit	\$0.00	\$0.00	\$0.00
-	Family Farm Credit	\$0.00	\$0.00	\$0.00
-	Homestead Credit	\$0.00	\$0.00	\$0.00
-	Prepaid Tax	\$0.00	\$0.00	\$0.00
=	Net Taxes Due	\$2,668.00	\$2,846.00	\$3,064.00

Pay Property Taxes

[Click here to pay property taxes for this parcel.](#)

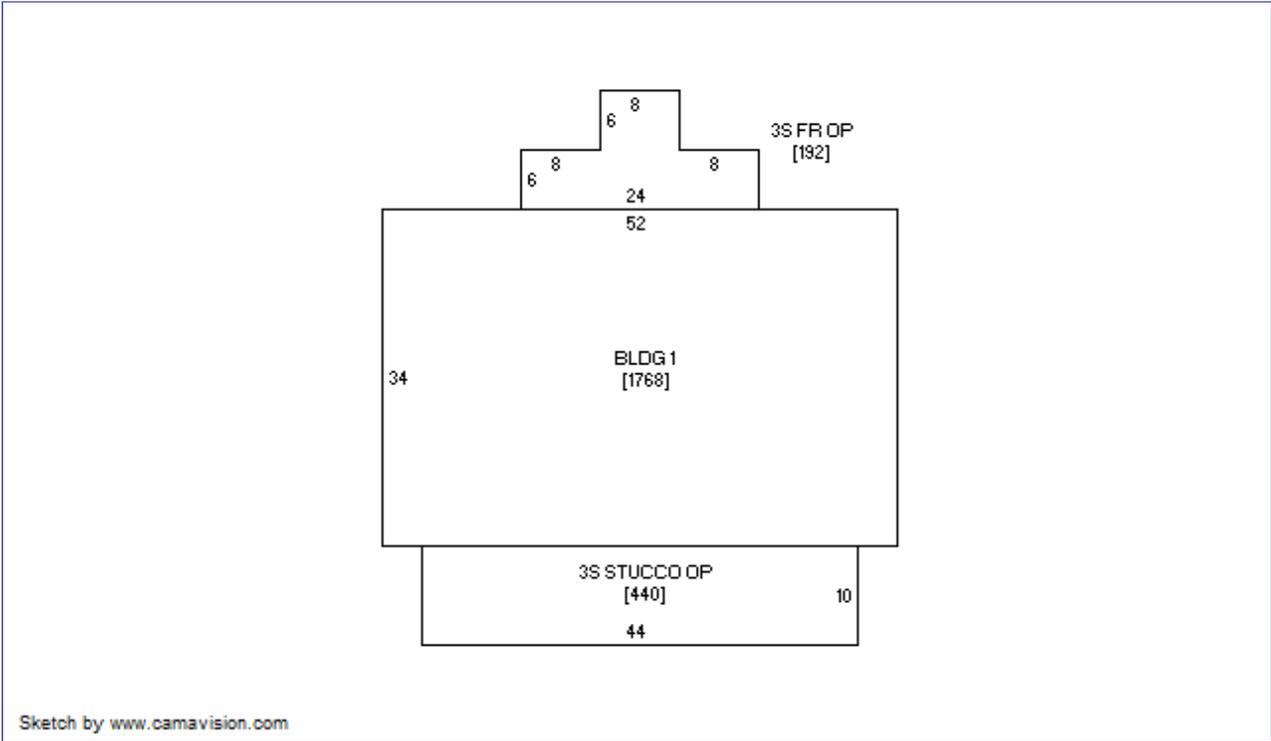
Tax History

Year	Due Date	Amount	Paid	Date Paid	Receipt
2012	March 2014	\$1,334	Yes	3/28/2014	11990
	September 2013	\$1,334	Yes	9/30/2013	
2011	March 2013	\$1,423	Yes	3/26/2013	11980
	September 2012	\$1,423	Yes	9/24/2012	
2010	March 2012	\$1,532	Yes	3/28/2012	12030
	September 2011	\$1,532	Yes	9/29/2011	

Photos



Sketches



Real Estate Changes

[Click here for the Assessor's form to report real estate changes.](#)

No data available for the following modules: Residential Dwellings, Agricultural Buildings, Tax Sale Certificate. [Click here for help.](#)

*Disclaimer: The information in this web site represents current data from a working file which is updated continuously. Information is believed reliable, but its accuracy cannot be guaranteed. No warranty, express or implied, is provided for the data herein, or its use. **Special assessments not shown.***

When using this information for payment purposes or for closing information please contact the Treasurer's office at (641)673-5482.



City Council Communication

Meeting Date: July 21, 2014

Requested By: City Manager's Office

Item Title:

Consider a Resolution setting dates of a consultation and a public hearing on proposed Amendment No. 1 to the Oskaloosa Amended and Restated Urban Renewal Plan in the City of Oskaloosa, State of Iowa.

Explanation :

The Oskaloosa Urban Renewal Plan for the Oskaloosa Urban Renewal Area was originally adopted in 1978 and amended in 1980, 1983, 1989, 1992 (three times), 1995, 1996, 1999, and 2001. The Oskaloosa Urban Renewal Plan is now being Amended and Restated and will be known as the Oskaloosa Amended and Restated Urban Renewal Plan for the Oskaloosa Urban Renewal Area. Objectives of this Amendment #1 to the Amended and Restated Urban Renewal Plan include:

1. Confirming the objectives and types of urban renewal projects which may be undertaken by the City;
2. Confirming the list of proposed projects to be undertaken within the Urban Renewal Area;
3. Adding land to the Urban Renewal Area. The land being added by this Amendment is primarily undeveloped agricultural property located adjacent to Highway 23. This land is zoned General Industrial and the area has potential to be developed as an industrial corridor. The land added is designated as "Amendment #1 to the Amended and Restated Urban Renewal Plan";
4. Reaffirming all legal descriptions from previous amendments to the Urban Renewal Area; and
5. Removing self-imposed voluntary expiration dates and clarifying the timeframe that the Area will remain in full force and effect.

The consultation on the proposed Amendment No. 1 to the Oskaloosa Amended and Restated Urban Renewal Plan is required by Section 403.5(2) of the Code of Iowa, as amended, and shall be held on the 28th day of July, 2014, in the City Manager's Office, City Hall, 220 South Market Street, Oskaloosa, Iowa, at 10:00 o'clock A.M., and the City Manager, or his delegate, is hereby appointed to serve as the designated representative of the City for purposes of conducting the consultation, receiving any recommendations that may be made with respect

thereto and responding to the same in accordance with Section 403.5(2).

If this item is approved as presented, a public hearing shall be held on the proposed Amendment No. 1 to the Oskaloosa Amended and Restated Urban Renewal Plan before the City Council at its meeting which commences at 6:00 o'clock P.M. on August 18, 2014, in the Council Chambers, City Hall, 220 South Market Street, Oskaloosa, Iowa

Specific information regarding Amendment No. 1, including an explanation of the history, purpose, description, project objectives, types of renewal activities, proposed urban renewal projects, financial information, development plan, public building analysis, agreement to include agricultural land, urban renewal financing, property acquisition/disposition/development agreements, urban renewal plan amendments, effective period, repealer, and severability clause can be found specifically within pages 2-15 of the Amendment #1 to the Oskaloosa Amended and Restated Urban Renewal Plan for the Oskaloosa Urban Renewal Area document included with this item.

Budget Consideration:

Action associated with the setting of the consultation and public hearing on the amendment to the urban renewal area carries minimal financial impact. However, future action(s) associated with the use of urban renewal as a tool by the City Council may carry significant undetermined financial implications for the city.

Attachments : Resolution and Exhibit 1

RESOLUTION NO. _____

RESOLUTION SETTING DATES OF A CONSULTATION AND A
PUBLIC HEARING ON A PROPOSED AMENDMENT NO. 1 TO THE
OSKALOOSA AMENDED AND RESTATED URBAN RENEWAL
PLAN IN THE CITY OF OSKALOOSA, STATE OF IOWA

WHEREAS, by Resolution No. 78-14, adopted February 20, 1978, this Council found and determined that certain areas located within the City are eligible and should be designated as an urban renewal area under Iowa law, and approved and adopted the Oskaloosa Urban Renewal Plan (the "Original Plan") for the Oskaloosa Urban Renewal Area (the "Oskaloosa Urban Renewal Area") described therein, which Plan is on file in the office of the Recorder of Mahaska County; and

WHEREAS, by Resolution No. 80-134, adopted October 6, 1980, this City Council approved and adopted an Amendment No. 1 to the Original Plan; and

WHEREAS, by Resolution No. 83-34, adopted August 8, 1983, this City Council approved and adopted an Amendment No. 2 to the Original Plan; and

WHEREAS, by Resolution No. 83-35, adopted August 15, 1983, this City Council approved and adopted an Amendment No. 2 (Amendment "A") to the Original Plan; and

WHEREAS, by Resolution No. 84-10-123, adopted October 22, 1984, this City Council approved and adopted an Amendment No. 2 (Amendment "A-1") to the Original Plan; and

WHEREAS, by Resolution No. 84-12-147, adopted December 3, 1984, this City Council approved and adopted a Correction Resolution to the Original Plan; and

WHEREAS, by Resolution No. 89-2-8, adopted February 6, 1989, this City Council approved and adopted an Amendment No. 3 to the Original Plan; and

WHEREAS, by Resolution No. 89-2-10, adopted February 14, 1989, this City Council approved and adopted an Amendment No. 3 (Amendment "A") to the Original Plan; and

WHEREAS, by Resolution No. 89-9-128, adopted September 5, 1989, this City Council approved and adopted an Amendment No. 3 (Amendment "B") to the Original Plan; and

WHEREAS, by Resolution No. 89-11-157, adopted November 20, 1989, this City Council approved and adopted an Amendment No. 3 (Amendment "C") to the Original Plan; and

WHEREAS, by Resolution No. 92-12-125, adopted December 23, 1992, this City Council approved and adopted an Amendment No. 4, Amendment No. 5 and Amendment No. 6 to the Original Plan; and

WHEREAS, by Resolution No. 95-5-49, adopted May 15, 1995, this City Council approved and adopted an Amendment No. 7 to the Original Plan; and

WHEREAS, by Resolution No. 95-12-105, adopted December 4, 1995, this City Council approved and adopted a corrected Amendment No. 7 to the Original Plan; and

WHEREAS, by Resolution No. 96-11-80, adopted November 18, 1996, this City Council approved and adopted an Amendment No. 8 to the Original Plan; and

WHEREAS, by Resolution No. 99-10-106, adopted October 18, 1999, this City Council approved and adopted an Amendment No. 9 to the Original Plan; and

WHEREAS, by Resolution No. 01-4-29, adopted April 2, 2001, this City Council approved and adopted an Amendment No. 10 to the Original Plan; and

WHEREAS, this Urban Renewal Area currently includes and consists of:

ORIGINAL URBAN RENEWAL AREA

Original Urban Renewal Area shall mean that portion of the City of Oskaloosa, Iowa described in the Urban Renewal Plan for the Oskaloosa Urban Renewal Area approved by Resolution No. 78-14 on February 20, 1978, which Original Project Area includes the entire territory within the corporate boundaries of the City of Oskaloosa, Iowa, as of February 20, 1978;

Ordinance No. 576 adopted November 17, 1980, included the following land in a TIF Ordinance:

All the territory within the corporate boundaries of the City of Oskaloosa.

AMENDMENT NOS. 1, 2, 3, 4 & 5 AREA

NOTE: Amendment Nos. 1, 2, 3, 4, and 5 did not add new property to the Original Urban Renewal Area; however, certain geographic areas that were already within the Original Urban Renewal Area were designated for specific projects in Amendment Nos. 1, 2, 3, 4, and 5.

AMENDMENT NO. 6 AREA

Amendment No. 6 Area shall mean that portion of the City of Oskaloosa, Iowa, described in Amendment No. 6 to the Urban Renewal Plan for the Oskaloosa Urban Renewal Area approved by Resolution No. 92-12-125 on December 23, 1992, which Amendment No. 6 Area includes the lots and parcels located within the area legally described as follows:

Industrial Site A is legally described as the Southeast 1/4 of the Northeast 1/4 and the South 100 feet of the Northeast 1/4 of the Northeast 1/4 of Section 29, Township 75 North, Range 15 West of the 5th P.M. in the City of Oskaloosa, Mahaska County, Iowa.

AMENDMENT NO. 7 AREA

Amendment No. 7 Area shall mean that portion of the City of Oskaloosa, Iowa, described in Amendment No. 7 to the Urban Renewal Plan for the Oskaloosa Urban Renewal Area approved by Resolution No. 95-5-49 on May 15, 1995, which Amendment No. 7 Area includes the lots and parcels located within the area legally described as follows:

The Southwest Fractional 1/4 of the Northwest Fractional 1/4; the Southeast 1/4 of the Northwest Fractional 1/4; Lot A of the Southwest 1/4 of the Northeast 1/4; Lot 2 of the Northwest 1/4 of the Southeast 1/4; the Northeast 1/4 of the Southwest Fractional 1/4; Northwest Fractional 1/4 of the Southwest Fractional 1/4; Lot 1 of the Southeast 1/4 of the Southwest Fractional 1/4; and Lot 1 of the Southwest Fractional 1/4 of the Southwest Fractional 1/4; all in Section 30 - Township 75 North - Range 15 West of the 5th P.M., except the following described tract:

A part of the SE 1/4 of the NW Fractional 1/4; and a part of Lot A of the SW 1/4 of the NE 1/4; all in Section 30 - Township 75 North - Range 15 West of the 5th P.M., Mahaska County, Iowa and more particularly described as follows: Commencing at the NE corner of said SE 1/4 - NW Fractional 1/4; thence South 72.60 feet along the East line thereof; said point also being the NW corner of said Lot A; thence S 56°24'00" E 157.45 feet; thence S 89°53'00" W 131.12 feet to the West line of said Lot A; thence continuing S 89°53'00" W 412.28 feet; thence N 0°12'00" E 160.0 feet to the North line of said SE 1/4 - NW Fractional 1/4; thence N 89°53'00" E 411.64 feet to the point of beginning containing 1.64 acres and subject to the county road along the Easterly side thereof. The East line of said SE 1/4 - NW Fractional 1/4 is assumed to bear due South for purposes of this description.

Also Lot 1 and a part of Lot 2 of the subdivision of the Southeast 1/4 of the Northeast 1/4 of Section 25 - Township 75 North - Range 16 West of the 5th P.M., more particularly described as follows: Commencing at the Northeast corner of said Lot 2; thence South along the section line 1.06 chains to the Northeast corner of said Lot 1; thence West along the North line of said Lot 1 3.16 1/4 chains to the Northwest corner thereof; thence North to the North line of said Lot 2; thence East along said North line 3.16 1/4 chains to the point of beginning.

Note: The following legal description was added by Resolution No. 95-12-105 dated December 4, 1995, as a correction to Resolution No. 95-5-49 dated May 15, 1995.

And more particularly described as follows:

Commencing at the Northwest corner of said Southwest Fractional 1/4 of the Northwest Fractional 1/4 of Section 30; thence South 89°49'50" East 1125.58 feet along the North line thereof; thence North 89°50'41" East 905.55 feet along the North line of said Southeast 1/4 of the Northwest Fractional 1/4, said line being subject to a fence line agreement recorded in Book 1 "Record of Partition Fences" on page 109 in the office of the Mahaska County Recorder; thence South 0°09'41" West 160.00 feet; thence North

89°50'41" East 581.72 feet to the centerline of the existing roadway as presently maintained; thence South 53°45'05" East 633.26 feet along said centerline; thence Southeasterly 238.67 feet along a 229.2 foot radius curve, concave Southwesterly having a chord which bears South 23°55'13" East 228.02 feet tangent to the preceding and following courses; thence South 5°54'39" West 1898.15 feet along the said centerline to the South line of said Lot 2 of the Northwest ¼ of the Southeast ¼; thence South 89°47'39" West 571.02 feet along said South line; thence South 0°07'53" East 327.60 feet along the East line of said Lot 1 of the Southeast ¼ of the Southwest Fractional ¼; thence South 89°46'11" West 1223.36 feet along the South line of said Lot 1 of the Southeast ¼ of the Southwest Fractional ¼; thence South 89°55'19" West 1212.58 feet along the South line of Lot 1 of the Southwest Fractional ¼ of the Southwest Fractional ¼; thence North 0°23'32" West 984.52 feet; thence North 0°16'07" West 659.62 feet along the West line of said Lot 1 and the West line of the Northwest Fractional ¼ of the Southwest Fractional ¼ to the Northwest corner thereof; thence South 89°43'47" West 208.73 feet along the said Lot 1 of the Southeast ¼ of the Northeast ¼, Section 25 – Township 75 North – Range 16 West; thence North 0°10'32" West 278.85 feet along the West line of said Lot 1 to the North line of said Lot 2 of said Southeast ¼ of the Northeast ¼; thence North 89°43'47" East 208.73 feet to the Northeast corner of said Lot 2; thence North 0°10'32" West 1043.49 feet along the West line of said Southwest Fractional ¼ of the Northwest Fractional ¼ to the point of beginning, containing 202.11 acres, and subject to the existing public roadway along the Easterly and Southerly sides thereof, also subject to any and all easements of record.

AMENDMENT NO. 8 AREA

Amendment No. 8 Area shall mean that portion of the City of Oskaloosa, Iowa, described in Amendment No. 8 to the Urban Renewal Plan for the Oskaloosa Urban Renewal Area approved by Resolution No. 96-11-80 on November 18, 1996, which Amendment No. 8 Area includes the lots and parcels located within the area legally described as follows:

Beginning at a point seven hundred twenty (720) feet West of the Southeast corner of the Northeast Quarter of the Southeast Quarter of Section fourteen (14), Township seventy-five (75), Range sixteen (16) West of the fifth P.M. which is the intersection of the West Corporate Limits of the City of Oskaloosa and the South line of Iowa Highway 92; thence West one thousand nine hundred forty-one and 85/100 (1,941.85) feet to the Southwest corner of the Northwest Quarter of the Southeast Quarter of said Section fourteen (14); thence North seven hundred nine and 73/100 (709.73) feet; thence East one thousand seventy-six and 21/100 (1,076.21) feet to the center line of Iowa Highway 163; thence Northwesterly along the center line of Iowa Highway 163 to the intersection of the center line of D Avenue West; thence West along the center line of D Avenue West (County-designated 245th Street) to the West line of said Section Fourteen (14); thence South along the West line of said Section fourteen (14) to the center line of Suffolk Road; thence Easterly along the center line of said Suffolk Road to its intersection with the West Corporate Limits of Oskaloosa on the West property line of Lot 3 of Lot 8 of the Southeast Quarter of the Southwest Quarter of Section fourteen (14); thence North along the West line to the Northwest corner; thence East along the North line of said Lot three

(3) of Lot eight (8) one hundred ninety-eight (198) feet to the Southeast corner of Lot nine (9); thence North along the East line of Lot nine (9) to the Northwest corner of Lot three (3) of Lot eight (8); thence East along the North line of said Lot three (3) of Lot eight (8) and the center line of High Avenue West to a point seven hundred twenty (720) feet West of the East line of said Section fourteen (14); thence North to the point of beginning.

AMENDMENT NO. 9 AREA

Amendment No. 9 Area shall mean that portion of the City of Oskaloosa, Iowa described in Amendment No. 9 to the Urban Renewal Plan for the Oskaloosa Urban Renewal Area approved by Ordinance No. 1064 on November 15, 1999, which Amendment No. 9 Area includes the lots and parcels located within the area legally described as follows:

All that part of the Southwest Quarter of Section 21, and all that part of the West three-fourths of the Northwest Quarter of Section 28, all in Township 75 North, Range 15 West of the 5th P.M., Mahaska County, Iowa which lies Southwest of the centerline of the 265th Street (formerly Burlington Road) Excepting there from the tract of land described as follows: Commencing at the NW corner of said Section 28; thence N 88 ° 46' 00" E 739.67 feet along the north line thereof to the Point of Beginning; said point also being on the westerly line of the tract of land described and recorded in Deed Book 278 at page 303 Mahaska County Records; thence N 9° 45' 10" E 209.29 feet to the NW corner of said tract and the centerline of 265th Street (formerly Burlington Road); thence S 70° 40' 50" E 588.59 feet along said centerline to the north line of said Section 28; thence S 70° 23' 20" E 692.10 feet along said centerline to the east line of the west 3/4 of the NW 1/4 of said Section 28; thence S 1° 00' 00" E 275.54 feet along said east line; thence N 77° 20' 10" W 1315.84 feet; thence N 9° 45' 10" E 209.83 feet to the point of beginning. The above tract contains in all 116 acres more or less.

and

The East one-half of the Southwest Quarter of Section 28, Township 75 North, Range 15 West of the 5th P.M., Mahaska County, Iowa, excepting therefrom the Former Chicago and Northwestern Railroad right-of-way through the southern portion of said tract.

and

A part of the North Half of the Northwest Quarter of the Northeast Quarter, all in Section 33, Township 75 North, Range 15 West of the 5th P.M. in Mahaska County, Iowa more particularly described as follows:

Beginning at the Southeast corner of said NW¹/₄- NE¹/₄; thence N 00° 00' 43" E along the East line of said NW¹/₄- NE¹/₄ a distance of 316.25 feet to the Southerly right-of-way line of the abandoned Chicago and Northwestern Railroad; thence N 59° 22' 46" W along said South right-of-way line a distance of 1953.44 feet to the North line of said North Half of the NW¹/₄; thence S 89° 39' 57" W along said North line a distance of 959.55 feet to the

Northeast corner of the NE¹/₄- NW¹/₄; thence continuing S 89° 39' 57" W along said North line a distance of 545.05 feet to the Northerly right-of-way line of Iowa Highway No. 23, formerly U.S. Highway 63; thence S 48° 28' 56" E along said Northerly right-of-way line a distance of 1979.51 feet to the South line of said North ¹/₂ of the NW¹/₄; thence N 89° 41' 20" E along said South line a distance of 382.76 feet to the Southeast corner thereof; thence N 89° 40' 31" E along the south line of said NW¹/₄- NE¹/₄ a distance of 1320.84 feet to the Point of beginning containing 54.74 acres, and subject to any and all easements or restrictions recorded or non-recorded. The West line of the Northwest Quarter (NW¹/₄) of the Northwest Quarter (NW¹/₄) Section 33 is assumed to bear North 0° 00' 00" East for the purposes of this description;

and

Commencing at the Northwest corner of the Northwest Quarter-Southeast Quarter Section 29, Township 75 North, Range 15 West of the Fifth P.M.; thence East 434.9 feet to the North R.O.W. line of Highway 63; thence South 48°39' East along said North R.O.W. line 1185.6 feet to the East line of the Northwest Quarter-Southeast Quarter Section 29, Township 75 North, Range 15 West of the Fifth P.M. the point of beginning; thence South 48°39' East along said North R.O.W. Line 628'; thence North 41°21' East 369.1 feet to the South line of the Chicago and Northwestern Railroad R.O.W.; thence North 59°31' West along said South R.O.W. line 831 feet to the East line of the Northwest Quarter-Southeast Quarter Section 29, Township 75 North, Range 15 West of the Fifth P.M.; thence South 0°15' East along said East line of said Northwest Quarter-Southeast Quarter 283.3 feet to the point of beginning. Containing 4.98 acres more or less. (The North line of the Northwest Quarter-Southeast Quarter Section 29, Township 75 North, Range 15 West is assumed due East and West). Also a strip of land 50 feet in width extending over and across part of the Northeast Quarter of the Southeast Quarter of Section 29, Township 79 North, Range 15 West of the Fifth P.M., said strip of land being 25 feet in width on each side of the center line of the main track (now removed) of the Chicago Burlington and Pacific Railroad Company (later the Iowa Central Railway Company, the Minneapolis & St. Louis Railway Company, now the Chicago and North Western Transportation Company), as said main track center line was originally located and established over and across Section 29, except from a line drawn at right angles to said center line at a point thereon distant 133 feet Northwesterly from its intersection with the East line of said Section 29 to a line drawn at right angles to said center line Northwesterly 492.5 feet.

AMENDMENT NO. 10 AREA

Amendment No. 10 Area shall mean that portion of the City of Oskaloosa, Iowa described in Amendment No. 10 to the Urban Renewal Plan for the Oskaloosa Urban Renewal Area approved by Resolution No. 01-4-29 on April 2, 2001, which Amendment No. 10 Area includes the lots and parcels located within the area legally described as follows:

Commencing at the Southeast corner of Section Twenty-nine, Township Seventy-five, Range Fifteen, thence North 690.35 feet to the North right of way line of Highway 23,

thence North 48 degrees 21' West 657.64 feet to the point of beginning, thence North 48 degrees 21' West 483.67 feet to a point that is 628 feet Southeasterly from the West line of the Northeast Quarter of the Southeast Quarter of said Section Twenty-nine, as measured along the North right-of-way line of Highway 23, thence North 41 degrees, 39' East 369.10 feet to the South right-of-way line of the Chicago, North Western Railroad, thence South 59 degrees 13' East 492.50 feet along said Southerly right-of-way line, thence South 41 degrees 39' West 462.15 feet to the point of beginning.

and

The Northeast Quarter of the southeast Quarter of Section 29, Township 75, Range 15, lying north of the Chicago, Northwestern Railway Company right-of-way, all in Mahaska County, Iowa.

and

Commencing at the Southeast corner of Section 29, Township 75, Range 15, thence North 690.35' to the North Right-of-way line of Highway 23, thence North 48 degrees 21' West 657.64', thence North 41 degrees 38' East 462.15' to the point of beginning, thence North 59 degrees 13' West 492.5' along the south right-of-way line of the Chicago, North Western Railroad, thence North 41 degrees 39' East 25' to the centerline of the Chicago North Western Railroad right-of-way, thence South 59 degrees 13' East 492.5' along said centerline, thence South 41 degrees 39' West 25' to the point of beginning; and also the northern half (25') of the Chicago North Western Railroad right-of-way lying within the Northeast Quarter of the Southeast Quarter of Section 29, Township 75, Range 15 West of the 5th P.M. in Mahaska County, Iowa.

Ordinance No. 1106 adopted May 7, 2001, included the area identified above for Amendment No. 10 area.

and

WHEREAS, City staff has caused there to be prepared a form of Amendment No. 1 (“Amendment No. 1” or “Amendment”) to the Oskaloosa Amended and Restated Urban Renewal Plan (“Plan” or “Amended and Restated Plan”), a copy of which has been placed on file for public inspection in the office of the City Clerk and which is incorporated herein by reference, the purpose of which is to confirm the objectives and types of urban renewal projects which may be undertaken by the City, confirm the list of proposed projects to be undertaken within the Urban Renewal Area; add land to the Urban Renewal Area (called the “Amendment No. 1 Area”); reaffirm all legal descriptions from previous amendments; and remove a self-imposed voluntary expiration date; and

WHEREAS, it is desirable that the Amendment No. 1 Area be redeveloped as part of the overall Urban Renewal Area covered by the Plan; and

WHEREAS, this proposed Amendment No. 1 to the Plan adds land, as follows:

AMENDED AND RESTATED OSKALOOSA URBAN RENEWAL PLAN –
AMENDMENT #1 AREA

Amendment #1 Area to the Amended and Restated Plan shall include the lots and parcels located within the area legally described as follows:

Beginning at the Northwest corner of Section 29, Township 75 North, Range 15 West of the 5th P. M. in Mahaska County, Iowa; thence East along the South line of Section 20 to the West line of the SE $\frac{1}{4}$ of the SE $\frac{1}{4}$ of Section 20, which is the East Corporate Limits of the City of University Park; thence North along said line to the South right-of-way line of Burlington Road; thence Southeast along said line to the East line of Section 20; thence South along said line to a point 100 feet North of the Southeast corner of the NE $\frac{1}{4}$ of the NE $\frac{1}{4}$ of Section 29; thence West to a point 100 feet North of the Southwest corner of the NE $\frac{1}{4}$ of the NE $\frac{1}{4}$ of Section 29; thence South to the North right-of-way line of Iowa Highway 23; thence Northwest along said line to the West line of the NE $\frac{1}{4}$ of Section 29; thence South along said line to the Northwest corner of the NW $\frac{1}{4}$ of the SE $\frac{1}{4}$ of Section 29; thence West to the Southwest corner of the SE $\frac{1}{4}$ of the NW $\frac{1}{4}$ of Section 29; thence North to the Southeast corner of the NW $\frac{1}{4}$ of the NW $\frac{1}{4}$ of Section 29; thence West 659.8 feet; thence North to the South right-of-way line of Iowa Highway 23; thence Northwest along said line to a point 200 feet South of the North line of Section 29; thence West along a line parallel to and 200 feet normally distant from the North line of Section 29 to the West line of Section 29; thence North 200 feet to the point of beginning;

EXCEPT

The NW $\frac{1}{4}$ of the NE $\frac{1}{4}$ of Section 29; and the SW $\frac{1}{4}$ of the NE $\frac{1}{4}$ of Section 29 North of the RR right-of-way and South of the North 15 acres of said section.

WHEREAS, the proposed Amendment No. 1 to the Oskaloosa Amended and Restated Urban Renewal Area includes land classified as agricultural land and consequently written permission of the current owners will be obtained; and

WHEREAS, the Iowa statutes require the City Council to notify all affected taxing entities of the consideration being given to the proposed Amendment No. 1 to the Oskaloosa Amended and Restated Urban Renewal Plan and to hold a consultation with such taxing entities with respect thereto, and further provides that the designated representative of each affected taxing entity may attend the consultation and make written recommendations for modifications to the proposed division of revenue included as a part thereof, to which the City shall submit written responses as provided in Section 403.5, as amended; and

WHEREAS, the Iowa statutes further require the City Council to hold a public hearing on the proposed Amendment No. 1 to the Oskaloosa Amended and Restated Urban Renewal Plan subsequent to notice thereof by publication in a newspaper having general circulation within the City, which notice shall describe the time, date, place and purpose of the hearing, shall generally identify the urban renewal area covered by the Amendment and shall outline the general scope of the urban renewal project(s) under consideration, with a copy of the notice also being mailed to each affected taxing entity.

NOW THEREFORE, BE IT RESOLVED, BY THE CITY COUNCIL OF THE CITY OF OSKALOOSA, STATE OF IOWA:

Section 1. That the consultation on the proposed Amendment No. 1 to the Oskaloosa Amended and Restated Urban Renewal Plan required by Section 403.5(2) of the Code of Iowa, as amended, shall be held on the 28th day of July, 2014, in the City Manager's Office, City Hall, 220 South Market Street, Oskaloosa, Iowa, at 10:00 o'clock A.M., and the City Manager, or his delegate, is hereby appointed to serve as the designated representative of the City for purposes of conducting the consultation, receiving any recommendations that may be made with respect thereto and responding to the same in accordance with Section 403.5(2).

Section 2. That the City Clerk is authorized and directed to cause a notice of such consultation to be sent by regular mail to all affected taxing entities, as defined in Section 403.17(1), along with a copy of this Resolution and the proposed Amendment No. 1 to the Oskaloosa Amended and Restated Urban Renewal Plan, the notice to be in substantially the following form:

NOTICE OF A CONSULTATION TO BE HELD BETWEEN THE CITY OF
OSKALOOSA, STATE OF IOWA AND ALL AFFECTED TAXING ENTITIES
CONCERNING THE PROPOSED AMENDMENT NO. 1 TO THE
OSKALOOSA AMENDED AND RESTATED URBAN RENEWAL PLAN
FOR THE CITY OF OSKALOOSA, STATE OF IOWA

The City of Oskaloosa, State of Iowa will hold a consultation with all affected taxing entities, as defined in Section 403.17(1) of the Code of Iowa, as amended, commencing at 10:00 o'clock A.M. on July 28, 2014, in the City Manager's Office, City Hall, 220 South Market Street, Oskaloosa, Iowa concerning a proposed Amendment No. 1 to the Oskaloosa Amended and Restated Urban Renewal Plan, a copy of which is attached hereto.

Each affected taxing entity may appoint a representative to attend the consultation. The consultation may include a discussion of the estimated growth in valuation of taxable property included in the proposed Urban Renewal Area, the fiscal impact of the division of revenue on the affected taxing entities, the estimated impact on the provision of services by each of the affected taxing entities in the proposed Urban Renewal Area, and the duration of any bond issuance included in the Amendment. Note that the Amendment includes an analysis of alternative development options and funding for public buildings and why such options are less feasible than the proposed urban renewal projects.

The designated representative of any affected taxing entity may make written recommendations for modifications to the proposed division of revenue no later than seven days following the date of the consultation. The City Manager, or his delegate, as the designated representative of the City of Oskaloosa, State of Iowa, shall submit a written response to the affected taxing entity, no later than seven days prior to the public hearing on the proposed Amendment No. 1 to the Oskaloosa Amended and Restated Urban Renewal Plan, addressing any recommendations made by that entity for modification to the proposed division of revenue.

This notice is given by order of the City Council of the City of Oskaloosa, State of Iowa, as provided by Section 403.5 of the Code of Iowa, as amended.

Dated this _____ day of _____, 2014.

City Clerk, City of Oskaloosa, State of Iowa

(End of Notice)

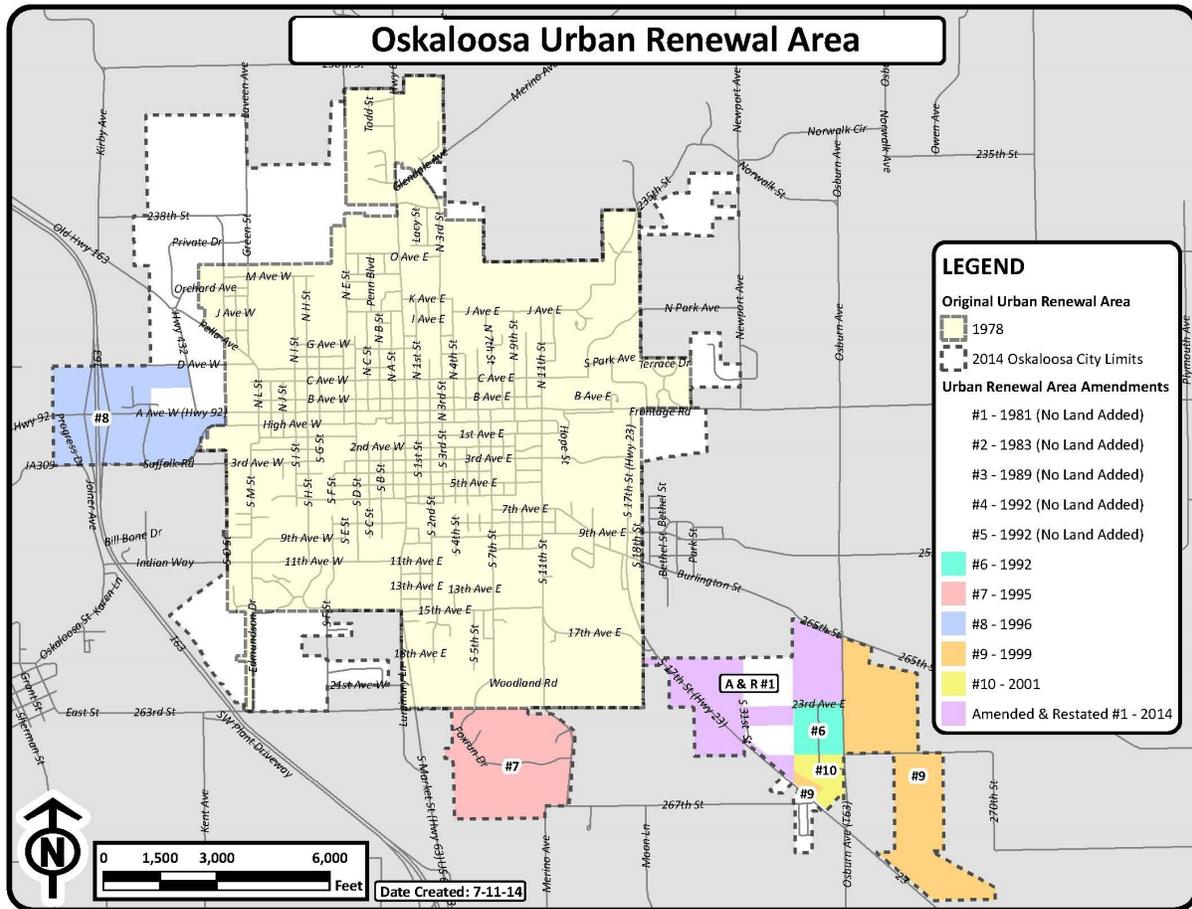
Section 3. That a public hearing shall be held on the proposed Amendment No. 1 to the Oskaloosa Amended and Restated Urban Renewal Plan before the City Council at its meeting which commences at 6:00 o'clock P.M. on August 18, 2014, in the Council Chambers, City Hall, 220 South Market Street, Oskaloosa, Iowa.

Section 4. That the City Clerk is authorized and directed to publish notice of this public hearing in the Oskaloosa Herald, once on a date not less than four (4) nor more than twenty (20) days before the date of the public hearing, and to mail a copy of the notice by ordinary mail to each affected taxing entity, such notice in each case to be in substantially the following form:

(One publication required)

NOTICE OF PUBLIC HEARING TO CONSIDER APPROVAL
OF A PROPOSED AMENDMENT NO. 1 TO THE
OSKALOOSA AMENDED AND RESTATED URBAN
RENEWAL PLAN FOR AN URBAN RENEWAL AREA IN
THE CITY OF OSKALOOSA, STATE OF IOWA

The City Council of the City of Oskaloosa, State of Iowa, will hold a public hearing before itself at its meeting which commences at 6:00 o'clock P.M. on August 18, 2014 in the Council Chambers, City Hall, 220 South Market Street, Oskaloosa, Iowa, to consider adoption of a proposed Amendment No. 1 to the Oskaloosa Amended and Restated Urban Renewal Plan (the "Amendment") concerning an Urban Renewal Area in the City of Oskaloosa, State of Iowa, generally depicted in the following map:



which land (A & R #1) is to be included as part of this amended Urban Renewal Area.

A copy of the Amendment is on file for public inspection in the office of the City Clerk, City Hall, City of Oskaloosa, Iowa.

The City of Oskaloosa, State of Iowa is the local public agency which, if such Amendment is approved, shall undertake the urban renewal activities described in such Amendment.

The general scope of the urban renewal activities under consideration in the Amendment is to promote the growth and retention of qualified industries and businesses in the Urban Renewal Area through various public purpose and special financing activities outlined in the Amendment. The urban renewal activities under consideration in the Amendment are expected to promote economic development and to rehabilitate, conserve and redevelop land, buildings and other improvements within such area through the elimination and containment of conditions of blight so as to improve the community through the establishment of effective land use controls, through use of an effective program of rehabilitation of existing buildings and elimination of those structures which cannot be economically rehabilitated, with a limited amount of acquisition, clearance, resale and improvement of land for various purposes specified in the Amendment. To accomplish the objectives of the Amendment, and to encourage the further economic development of the Urban Renewal Area, the Amendment provides that such special financing activities may include, but not be limited to, the making of loans or grants of public funds to private entities under Chapter 15A of the Code of Iowa. The City also may reimburse or directly undertake the installation, construction and reconstruction of substantial public improvements, including, but not limited to, street, water, sanitary sewer, storm sewer or other public improvements. The City also may acquire and make land available for development or redevelopment by private enterprise as authorized by law. The Amendment provides that the City may issue bonds or use available funds for purposes allowed by the Plan, as amended, and that tax increment reimbursement of the costs of urban renewal projects may be sought if and to the extent incurred by the City. The Amendment initially proposes specific urban renewal projects to be undertaken by the City, and provides that the Amendment may be amended from time to time.

The proposed Amendment No. 1 confirms the objectives and types of urban renewal projects which may be undertaken by the City, confirms the list of proposed projects to be undertaken within the Urban Renewal Area (including assistance for a Section 42 rental housing project and a fire station facility); adds land to the Urban Renewal Area; reaffirms all legal descriptions from previous amendments; and removes a self-imposed voluntary expiration date. Other provisions of the Plan not affected by the Amendment would remain in full force and effect.

Any person or organization desiring to be heard shall be afforded an opportunity to be heard at such hearing.

This notice is given by order of the City Council of the City of Oskaloosa, State of Iowa, as provided by Section 403.5 of the Code of Iowa.

Dated this _____ day of _____, 2014.

City Clerk, City of Oskaloosa, State of Iowa

(End of Notice)

AMENDMENT #1

to the

**OSKALOOSA AMENDED AND RESTATED
URBAN RENEWAL PLAN**

for the

OSKALOOSA URBAN RENEWAL AREA

CITY OF OSKALOOSA, IOWA

Original Area Adopted – 1978

Amendment #1 – 1980

Amendment #2 – 1983

Amendment #3 – 1989

Amendment #4 – 1992

Amendment #5 – 1992

Amendment #6 – 1992

Amendment #7 – 1995

Amendment #8 – 1996

Amendment #9 – 1999

Amendment #10 – 2001

Amended and Restated Plan – Amendment #1 – 2014

**AMENDMENT #1
to the
OSKALOOSA AMENDED AND RESTATED
URBAN RENEWAL PLAN
for the
OSKALOOSA URBAN RENEWAL AREA**

The Oskaloosa Urban Renewal Plan for the Oskaloosa Urban Renewal Area was originally adopted in 1978 and amended in 1980, 1983, 1989, 1992 (three times), 1995, 1996, 1999, and 2001. The Oskaloosa Urban Renewal Plan is now being Amended and Restated and will be known as the Oskaloosa Amended and Restated Urban Renewal Plan (“Urban Renewal Plan” or “Plan”) for the Oskaloosa Urban Renewal Area (“Urban Renewal Area” or “Area”). Objectives of this Amendment #1 to the Amended and Restated Urban Renewal Plan (“Amendment #1” or “Amendment”) include:

1. Confirming the objectives and types of urban renewal projects which may be undertaken by the City;
2. Confirming the list of proposed projects to be undertaken within the Urban Renewal Area;
3. Adding land to the Urban Renewal Area. The land being added by this Amendment is primarily undeveloped agricultural property located adjacent to Highway 23. This land is zoned General Industrial and the area has potential to be developed as an industrial corridor. The land added is designated as “Amendment #1 to the Amended and Restated Urban Renewal Plan”;
4. Reaffirming all legal descriptions from previous amendments to the Urban Renewal Area; and
5. Removing self-imposed voluntary expiration dates and clarifying the timeframe that the Area will remain in full force and effect.

The Original Area and each Amendment Area are referred to as subareas in this Amendment. The subareas make up the Urban Renewal Area. The base valuation of the Original Area and each of the existing Amendment Areas will remain unchanged by this Amendment.

Except as modified by this Amendment, the provisions of the original Oskaloosa Urban Renewal Plan, as previously amended, are hereby ratified, confirmed, and approved and shall remain in full force and effect as provided herein. In case of any conflict or uncertainty, the terms of this Amendment shall control.

HISTORY AND PURPOSE

Urban Renewal in Oskaloosa was initially adopted to provide an overall planning program on which community revitalization, reinvestment incentives, and blight remediation efforts could be developed. The Original Plan outlined goals and aimed at blight remediation, preserving and enhancing neighborhood environments, improving public services, increasing access to affordable housing, facilitating efficient urban planning, and providing opportunities for economic well-being.

Early amendments identified specific neighborhoods and authorized projects related to housing development, infrastructure upgrades, street enhancements, building of a community center, eliminating blighting influences, downtown redevelopment, and creating additional public parking.

In 1992, the focus of projects proposed in amendments shifted from neighborhood revitalization to a focus on community-wide economic development and blight remediation:

- The Meadow Creek Industrial Park and Southeast Industrial Park areas were identified for development with the goal of expanding the tax and employment base of the community.
- Amendment #7 (1995) laid plans to facilitate the development of the Fox Run housing and golf course subdivision in order to stimulate private investment in this portion of the community.
- Amendment #8 (1996) focused on projects to encourage development in the West Annexation Area.
- Amendments #9 (1999) and #10 (2001) were adopted with economic development designations in order to promote industrial development and provide public infrastructure to a new USA Toskuku, LLC. soybean processing facility and to identify an industrial park area for the International Multi-Foods Corporation and Allied Gas.

DESCRIPTION OF THE URBAN RENEWAL AREA

The legal description of the property being added to the Oskaloosa Urban Renewal Area is attached hereto as Exhibit “A.” A map of the Amendment #1 Area is attached hereto as Exhibit “B.” A map of the entire Oskaloosa Urban Renewal Area, as amended, is attached hereto as Exhibit “C.” Exhibit “D” contains legal descriptions of the Oskaloosa Urban Renewal Area.

AREA DESIGNATION

The City of Oskaloosa continues to designate this Area as a mixed blight/economic development area that is appropriate for blight remediation and the promotion of new residential, commercial,

and industrial development. Since the Original Plan was adopted in 1986, this Area has exhibited blighted conditions. It has also been an economic development area. Therefore, the Area is a mixed blight/economic development area.

PROJECT OBJECTIVES

Objectives for development within the Oskaloosa Urban Renewal Area are as follows:

1. To stimulate, through public action and commitment, private investment in LMI residential development and rehabilitation. The City realizes the availability of affordable, decent, safe, and sanitary housing is important to the overall economic viability of the community.
2. To provide for the repair, installation or upgrade of public works, transportation networks, and related facilities, which contribute to the revitalization, orderly growth, and sound development of the Area.
3. To provide a more marketable and attractive investment climate through the use of various Federal, State, and local incentives.
4. To encourage commercial and industrial growth and expansion through governmental policies which make it economically feasible to do business.
5. To develop a sound economic base that will serve as the foundation for future growth and development.
6. To plan for and provide sufficient land for residential, commercial, and industrial development in a manner that is efficient from the standpoint of providing municipal services and to discourage uncontrolled urban sprawl.
7. To achieve a diversified, well-balanced economy that provides a desirable standard of living, creates job opportunities, and strengthens the tax base.
8. To enhance the Oskaloosa community by fostering an entrepreneurial climate, diversifying the local economy, encouraging opportunities for new businesses, and supporting retention of existing businesses.
9. To eliminate blighting influences and promote revitalization, including but not limited to, through public action and commitment, or by providing incentives to private persons or businesses, to acquire, rehabilitate, renovate, demolish and/or redevelop existing structures or property.

EXHIBIT 1

10. To establish a pattern of land-use activities arranged in compact, compatible groupings to enhance their efficiency of operation and economic interrelationships.
11. To encourage rehabilitation and promote diversity in the central business district while retaining its retail nature.
12. To encourage coordinated development of parcels and structures in order to achieve efficient building design, multipurpose use of sites, unified off-street parking, and internal pedestrian linkages.
13. To stimulate, through public action and commitment, private investment in commercial and industrial expansion.
14. To improve retail trade, recreational, tourism, cultural, and educational opportunities.
15. To promote development utilizing any other objectives allowed by Chapter 403 of the Code of Iowa.

TYPES OF RENEWAL ACTIVITIES

To meet the objectives of this Urban Renewal Plan and to encourage orderly development of the Area, the City intends to utilize the powers conferred under Chapter 403 and Chapter 15A, Code of Iowa. Activities may include:

1. To undertake and carry out urban renewal projects through the execution of contracts and other instruments.
2. To arrange for or cause to be provided the construction, enhancement, or repair of public infrastructure including, but not limited to, streets and sidewalks, water and sanitary sewer systems, storm water drainage systems, parking facilities, public utilities or other facilities in connection with urban renewal projects.
3. To provide for the construction of specific site improvements such as grading and site preparation activities, access roads and parking, fencing, utility connections, and related activities.
4. To arrange for or cause to be provided the construction, expansion, or repair of commercial or public buildings (including fire stations/fire safety buildings), public parks and open spaces, and recreational facilities in order to enhance services, improve the appearance, comply with current building standards, or

preserve historic value.

5. To acquire property through a variety of means (purchase, lease, option, etc.) and to hold, clear, or prepare the property for redevelopment.
6. To undertake the demolition and clearance of existing development, including but not limited to, dilapidated or blighted structures in order to prepare sites for new development.
7. To dispose of property that has been acquired.
8. To plan the relocation of persons or businesses displaced by a project and to make any required relocation payments.
9. To make loans, forgivable loans, tax rebate payments or other types of grants or incentives to private persons, or businesses for economic development or blight remediation purposes, including housing projects, on such terms as may be determined by the City Council.
10. To finance programs which will directly benefit housing conditions and promote the availability of market-rate housing as well as housing affordable to low and moderate income residents in the community.
11. To provide financial assistance to local development organizations to support activities that promote economic development.
12. To borrow money and to provide security therefor.
13. To make or have made surveys and plans necessary for the implementation of the Urban Renewal Program or specific urban renewal projects.
14. To use tax increment financing for a number of purposes, including, but not limited to, achieving a more marketable and competitive land offering price and providing for necessary physical improvements and infrastructure.
15. To use any or all other powers granted by the Urban Renewal Act to develop and provide for improved economic conditions for the City of Oskaloosa and the State of Iowa.

PROPOSED URBAN RENEWAL PROJECTS (Amendment #1)

Although certain project activities may occur over a period of years, the Proposed Urban Renewal Projects under this Amendment #1 to the Amended and Restated Plan include:

1. Blight Remediation - Acquisition/Demolition:

Project	Estimated Date	Estimated Cost	Rationale
Acquisition and demolition of existing dilapidated structures and conveyance to developers. The buildings targeted are located along the Market Street and A Avenue corridors.	2014 to 2018	Not to exceed \$1,500,000	Demolition of these dilapidated structures will eliminate blighting influences and provide land for new residential or commercial development. Redevelopment of the properties could encourage economic growth and expansion, create job opportunities, and strengthen the tax base. (See Public Building Analysis for further information.)

2. Blight Remediation - Fire Station Renovation:

Project	Estimated Date	Estimated Cost	Rationale
Renovation of 8,800 square feet of existing fire station space and construction of a 7,200 square foot addition to accommodate needs of the fire department, as well as to provide space for the Mahaska County Emergency Management Agency (MCEMA) to relocate to the fire station.	2014 to 2017	Not to exceed \$2,800,000	The project represents the second phase of a blight remediation project in downtown Oskaloosa. The first phase was completed in 2013-2014 and involved the demolition of a very dilapidated building deemed to be structurally unsafe. The proposed fire station addition will be constructed on the site where the blighted structure was demolished. Once renovation is completed, the space will allow for the fire department and MCEMA to be located in the same facility, thus allowing for improved interaction between departments, and hopefully improved service area response. This blight remediation project may also serve as a catalyst and prompt investment in other nearby properties and therefore, extend the benefits to a wider area. (See Public Building Analysis for further information.)

3. Streetscape Project:

Project	Estimated Date	Estimated Cost	Rationale
Downtown streetscape improvements along the Market Street and A Avenue corridors including, but not limited to, new sidewalks, street lighting, way-finding signage, street reconstruction, added parking, and repair and replacement of aging infrastructure.	2014 to 2019	Not to exceed \$2,000,000	Downtown corridor improvements are intended to revitalize the downtown area and attract new businesses.

4. Incentives for Downtown Building Renovation/Rehabilitation:

Project	Estimated Date	Estimated Cost	Rationale
The City expects to consider incentives to downtown building owners to provide financial assistance necessary to stabilize and renovate deteriorating structures.	2014 to 2019	Not to exceed \$1,500,000	Renovation and rehabilitation of the targeted properties will preserve locally important buildings, enhance the downtown area, and promote economic activity. Such incentives may be in the form of loans, grants, or other incentives that make the renovation and rehabilitation costs of these dilapidated structures financially feasible to the owners.

5. Funding for the Local Area Economic Development Corporation and/or the Chamber of Commerce:

Project	Estimated Date	Estimated Cost	Rationale
To provide reimbursement for economic development activities conducted by the Economic Development Corporation and/or the Chamber of Commerce in compliance with the development agreements between the City and these agencies.	2015 to 2019	\$100,000 annually, not to exceed \$500,000 over a five-year period.	These organizations support existing businesses and conduct activities that promote new business and jobs for the community.

6. Development Agreements:

- A. *Overland Property Group and its affiliates:* The proposed urban renewal project involves providing incentives to assist with the cost of constructing a new residential subdivision called The Reserves at Ironwood, developed by Overland Property Group and its affiliates. The development is expected to include three, 16-unit apartment buildings (a total of 48 units) at the southwest corner of the High Avenue West and South L Street intersection in Oskaloosa. The rental units will be Section 42 Housing and at least 40% of the units will be ADA-accessible. Of the 48 apartments, it is anticipated that one to four of the units will be rented at market rate, all others are expected to be affordable to low-to-moderate individuals or families. Construction is expected to take place in 2014-2015. Development Grants in the form of incremental tax rebates will not exceed \$510,000 - \$550,000, depending on the assessed valuation of the units and the terms and conditions of the development agreement.

- B. *Additional Development Agreements:* The City expects to consider requests for Development Agreements for blight remediation or economic development projects that are consistent with this Plan, in the City’s sole discretion. Such Agreements are unknown at this time, but based on past history, and dependent on blight remediation or development opportunities and climate, the City expects to consider a broad range of incentives as authorized by this Plan, including but not limited to land, loans, grants, tax rebates, public infrastructure assistance, and other incentives. The costs of such Development Agreements will not exceed \$ 1,000,000.

7. Planning, engineering fees (for urban renewal plans), attorney fees, other related costs to support urban renewal projects and planning:

Project	Date	Estimated Cost
Fees and costs	Undetermined	Not to exceed \$ 100,000

FINANCIAL INFORMATION

1.	Constitutional debt limit:	\$24,847,675
2.	Outstanding general obligation debt:	\$4,075,000
3.	Proposed amount of indebtedness to be incurred: A specific amount of debt to be incurred for the Proposed Urban Renewal Projects (Amendment #1) has not yet been determined. This document is for planning purposes. The estimated project costs in this Amendment #1 are estimates only and will be incurred and spent over a number of years. In no event will the City’s constitutional debt limit be exceeded. The City Council will consider each project proposal on a case-by-case basis to determine if it is in the City’s best interest to participate before approving an urban renewal project or expense. It is further expected that such indebtedness, including interest on the same, may be financed in whole or in part with tax increment revenues from the Urban Renewal Area. Subject to the foregoing, it is estimated that the cost of the Proposed Urban Renewal Projects as described above will be approximately as follows:	\$9,910,000 - \$9,950,000

DEVELOPMENT PLAN

Oskaloosa has a general plan for the physical development of the City, as a whole, outlined in the City of Oskaloosa Comprehensive Plan adopted March 6, 2000. The Amended and Restated Plan and the projects proposed in this Amendment #1 are consistent with this Comprehensive Plan. Offering better housing opportunities for all, implementing enhancements along A Avenue, rehabilitating aging infrastructure, supporting downtown retail renovations, and partnering with local organizations that support development in Oskaloosa were all identified as goals in the Comprehensive Plan.

This Urban Renewal Plan Amendment #1 does not in any way replace the City’s land use planning and zoning regulation process.

PUBLIC BUILDING ANALYSIS

Two of the projects proposed in this Amendment involve public buildings. These projects both involve blight remediation and include the acquisition/demolition of Market Street and A Avenue corridor buildings and the fire station renovation project.

If these projects are ultimately approved by the City, the City intends to finance the cost through tax increment financing. For the costs of these projects, the City proposes to issue general

obligation bonds and abate the principal and interest payments from incremental tax revenues within the Area, if available. Specifically, under these circumstances, Iowa law requires an analysis of alternative development options and funding for the projects and reasons why such options would be less feasible than the use of incremental tax revenues for the projects.

Project Descriptions:

- 1) Blight Remediation – Acquisition/Demolition: Acquisition and demolition of the deteriorated targeted corridor structures will improve livability of the community by ridding the area of blight conditions which are a menace to the public's health, safety, and welfare. Transformation of the lots will improve the quality of life within the community and could attract potential employees and their families to Oskaloosa. Increased employment opportunities and enhanced livability are necessary factors in sustaining the population of Oskaloosa. An attractive, vibrant, and developing community, in turn, will benefit the Oskaloosa School District and Mahaska County.
- 2) Blight Remediation – Fire Station Renovation: The proposed fire station renovation includes both new construction to enlarge the existing facility and renovation of the existing space to better accommodate fire and emergency management services. The new addition to the fire station will be built on a vacant site that resulted from the 2013-2014 demolition of a blighted building that had been adjacent to the fire station. The renovated fire station will result in space to house fire apparatus and equipment, office space, firefighter living quarters, vehicle bays, and a training room. The training room will also be used as a community room that provides space to host public and private events. In addition, the enlarged facility will also allow for space to accommodate the Mahaska County Emergency Management Agency (MCEMA) to locate in the fire station. Currently, these services are housed in cramped quarters in the basement of the County law enforcement center.

The Oskaloosa Fire Department provides fire protection services to residents within a 146 square mile coverage area. This coverage area includes the City limits of Oskaloosa, Beacon, University Park, and Lake Keomah as well as part or all of Adams, Garfield, Harrison, Jefferson, Lincoln, Madison, Scott, and Spring Creek Townships. While alarm incidents may vary in any given year, on average, 20% of the calls received by the fire department are from outside of the Oskaloosa corporate limits. MCEMA provides services to all of Mahaska County.

Alternative Funding Options:

One alternative funding option for these blight remediation projects is the issuance of general obligation bonds that would be paid by the City's debt service levy (i.e. without using incremental tax revenues). This option would mean that only taxpayers of the City would be responsible for payment of the bonds/notes.

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The City may also consider state, federal, and/or local grant programs. Although in past years acquisition/demolition types of activities were eligible for funding through Brownfield Redevelopment, CDBG, HOME, and NSP grant programs administered by the Iowa Economic Development Authority and Iowa Finance Authority, these revenue sources have either totally lost funding or no longer allow grant dollars to be used for acquisition/demolition. Despite these funding resources no longer being viable, the City will continue to consider other grant and loan programs that might become available.

Another alternative funding source for this project would be the use of local option sales tax. This option is not feasible because the City Council has made a determination to commit LOST funds to debt retirement on street construction projects. As a result, LOST funds are not available as a funding source for these blight remediation projects.

The use of TIF funds as a funding mechanism for redevelopment of the targeted properties is appropriate when considering the long-term economic development that the Projects provide. Redevelopment of the targeted properties will eliminate blighting influences, will help to rebuild the tax base, and could result in a ripple effect stimulating investment to and redevelopment of surrounding properties.

The previously identified alternative options for funding of the Urban Renewal Projects are less feasible than the use of incremental tax revenues. Issuing general obligation bonds that would be paid only with the City's debt levy on the projects is less feasible than the use of TIF funds because there would be no contribution of tax increment revenues from the School District and County.

As a result of the proposed Urban Renewal Projects benefiting County residents and school patrons, the use of tax increment is the most appropriate funding mechanism because it is fair for the School District and the County to share in the costs for the projects. Both projects demonstrate regional benefit to both the County and School District.

For all of the aforementioned reasons, the tax increment revenue funding alternative option (general obligation debt abated by incremental tax revenues) is the most feasible, fair, and equitable mechanism for funding the projects described above. Alternative development options and funding described above have been considered and are deemed less feasible than the use of incremental tax revenues to fund the projects.

AGREEMENT TO INCLUDE AGRICULTURAL LAND

Because some of the area being added to the Oskaloosa Amended and Restated Urban Renewal Area contains land that is defined as "agricultural land" by Iowa Code Section 403.17(3), the City and property owners have entered into an agreement in which the property owners agree to allow the City to include real property defined as "Agricultural Land" in the Urban Renewal Area. A copy of the agreements are attached hereto as Exhibit "E." The original signed

agreements are on file at the City Clerk's office.

URBAN RENEWAL FINANCING

The City of Oskaloosa intends to utilize various financing tools such as those described below to successfully undertake the proposed urban renewal actions. The City of Oskaloosa has the statutory authority to use a variety of tools to finance physical improvements within the Area. These include:

A. Tax Increment Financing.

Under Section 403.19 of the Iowa Code, urban renewal areas may utilize the tax increment financing mechanism to finance the costs of public improvements, economic development incentives or other urban renewal projects. Upon creation of a tax increment district within the Area, by ordinance, the assessment base is frozen and the amount of tax revenue available from taxes paid on the difference between the frozen base and the increased value, if any, is segregated into a separate fund for the use by the City to pay costs of the proposed urban renewal projects. The increased taxes generated by any new development, above the base value, are distributed to the taxing entities, if not requested by the City, and in any event upon the expiration of the tax increment district.

B. General Obligation Bonds.

Under Division III of Chapter 384 and Chapter 403 of the Iowa Code, the City has the authority to issue and sell general obligation bonds for specified essential and general corporate purposes, including the acquisition and construction of certain public improvements within the Area and for other urban renewal projects. Such bonds are payable from the levy of unlimited ad valorem taxes on all the taxable property within the City of Oskaloosa. It may be the City will elect to abate some or all of the debt service on these bonds with incremental taxes from this Area.

The City may also determine to use tax increment financing to provide incentives such as cash grants, loans, tax rebates or other incentives to developers or private entities in connection with the urban renewal projects identified in the Plan, as amended. In addition, the City may determine to issue general obligation bonds, tax increment revenue bonds or such other obligations, or loan agreements for the purpose of making loans or grants of public funds to private businesses located in the Area. Alternatively, the City may determine to use available funds for making such loans or grants or other incentives related to urban renewal projects.

Nothing herein shall be construed as a limitation on the power of the City to exercise any lawful power granted to the City under Chapter 15, Chapter 15A, Chapter 403, Chapter 427B, or any other provision of the Code of Iowa in furtherance of the objectives of the Urban Renewal Plan.

PROPERTY ACQUISITION/DISPOSITION/DEVELOPMENT AGREEMENTS

Notwithstanding prior Urban Renewal Plan provisions, the City will follow any applicable requirements for the acquisition and disposition of property, and shall determine the terms of development agreements, subject to the City's discretion.

URBAN RENEWAL PLAN AMENDMENTS

The Oskaloosa Amended and Restated Urban Renewal Plan may be amended from time to time for a variety of reasons, including, but not limited to, adding or deleting land, adding urban renewal projects, or modifying goals or types of renewal activities.

The City Council may amend this Plan in accordance with applicable State law.

EFFECTIVE PERIOD

This Amendment #1 to the Amended and Restated Urban Renewal Plan will become effective upon its adoption by the City Council. Notwithstanding anything to the contrary in the Urban Renewal Plan, any prior amendment, resolution, or document, the Urban Renewal Plan shall remain in effect until terminated by the City Council, and the use of incremental property tax revenues, or the "division of revenue," as those words are used in Chapter 403 of the Code of Iowa, will be consistent with Chapter 403 of the Iowa Code. The division of revenues shall continue on the Urban Renewal Area, including all Amendment Areas, for the maximum period allowed by law.

The Oskaloosa Urban Renewal Area was originally established in 1986 by the Oskaloosa Urban Renewal Plan. At that time there was no statutorily required sunset or expiration date governing the ability to collect incremental taxes because the Plan was based on the presence of blighted conditions. Certain subsequent resolutions indicate an expiration date of August 1, 2017. Such an expiration date is voluntary because areas which contain blighted conditions are not statutorily required to have an expiration date. Therefore, in this Amendment #1 to the Amended and Restated Plan, the City is eliminating the self-imposed expiration date previously adopted in the Urban Renewal Plan because such shortened expiration date is not required under Urban Renewal Law in a mixed economic development/blight urban renewal area, such as the current Oskaloosa Urban Renewal Area.

REPEALER

Any parts of the City's Urban Renewal Plan, as previously amended, in conflict with this Amendment #1 Amended and Restated Plan are hereby repealed.

SEVERABILITY CLAUSE

If any part of Amendment #1 to the Amended and Restated Plan is determined to be invalid or unconstitutional, such invalidity or unconstitutionality shall not affect the validity of the previously adopted Plan as a whole or the previous amendments to the Plan, or any part of the Plan not determined to be invalid or unconstitutional.

EXHIBIT "A"

**Amended and Restated Oskaloosa Urban Renewal Plan - Amendment #1
(Legal Description of Amendment #1 Area to be Added)**

Beginning at the Northwest corner of Section 29, Township 75 North, Range 15 West of the 5th P. M. in Mahaska County, Iowa; thence East along the South line of Section 20 to the West line of the SE $\frac{1}{4}$ of the SE $\frac{1}{4}$ of Section 20, which is the East Corporate Limits of the City of University Park; thence North along said line to the South right-of-way line of Burlington Road; thence Southeast along said line to the East line of Section 20; thence South along said line to a point 100 feet North of the Southeast corner of the NE $\frac{1}{4}$ of the NE $\frac{1}{4}$ of Section 29; thence West to a point 100 feet North of the Southwest corner of the NE $\frac{1}{4}$ of the NE $\frac{1}{4}$ of Section 29; thence South to the North right-of-way line of Iowa Highway 23; thence Northwest along said line to the West line of the NE $\frac{1}{4}$ of Section 29; thence South along said line to the Northwest corner of the NW $\frac{1}{4}$ of the SE $\frac{1}{4}$ of Section 29; thence West to the Southwest corner of the SE $\frac{1}{4}$ of the NW $\frac{1}{4}$ of Section 29; thence North to the Southeast corner of the NW $\frac{1}{4}$ of the NW $\frac{1}{4}$ of Section 29; thence West 659.8 feet; thence North to the South right-of-way line of Iowa Highway 23; thence Northwest along said line to a point 200 feet South of the North line of Section 29; thence West along a line parallel to and 200 feet normally distant from the North line of Section 29 to the West line of Section 29; thence North 200 feet to the point of beginning;

EXCEPT

The NW $\frac{1}{4}$ of the NE $\frac{1}{4}$ of Section 29; and the SW $\frac{1}{4}$ of the NE $\frac{1}{4}$ of Section 29 North of the RR right-of-way and South of the North 15 acres of said section.

EXHIBIT "B"

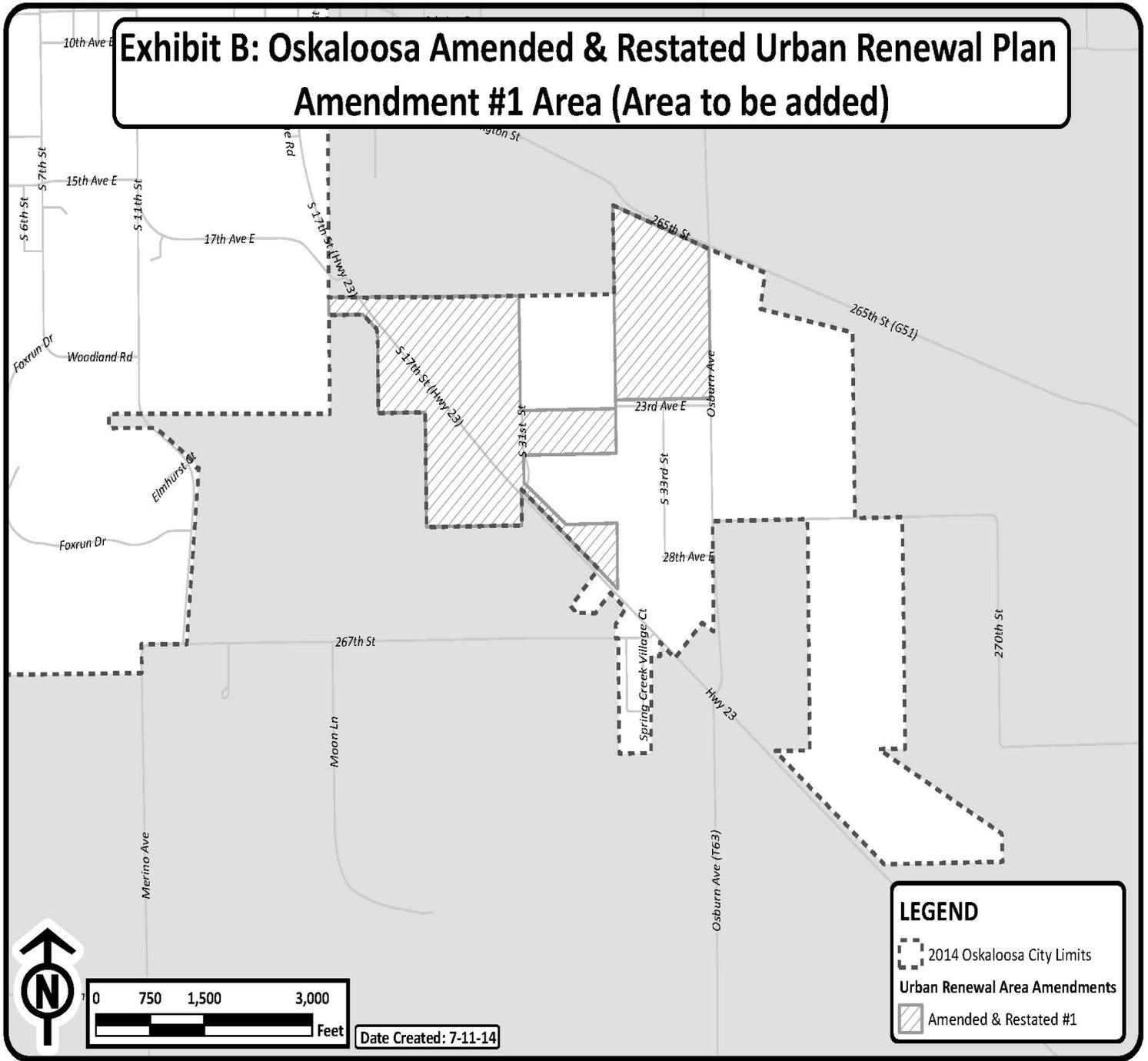


EXHIBIT "D"

LEGAL DESCRIPTIONS OF ORIGINAL AREA AND AMENDMENT AREAS

ORIGINAL URBAN RENEWAL AREA

Original Urban Renewal Area shall mean that portion of the City of Oskaloosa, Iowa described in the Urban Renewal Plan for the Oskaloosa Urban Renewal Area approved by Resolution No. 78-14 on February 20, 1978, which Original Project Area includes the entire territory within the corporate boundaries of the City of Oskaloosa, Iowa, as of February 20, 1978;

Ordinance No. 576 adopted November 17, 1980, included the following land in a TIF Ordinance:

All the territory within the corporate boundaries of the City of Oskaloosa.

AMENDMENT NOS. 1, 2, 3, 4 & 5 AREA

NOTE: Amendment Nos. 1, 2, 3, 4, and 5 did not add new property to the Original Urban Renewal Area; however, certain geographic areas that were already within the Original Urban Renewal Area were designated for specific projects in Amendment Nos. 1, 2, 3, 4, and 5.

AMENDMENT NO. 6 AREA

Amendment No. 6 Area shall mean that portion of the City of Oskaloosa, Iowa, described in Amendment No. 6 to the Urban Renewal Plan for the Oskaloosa Urban Renewal Area approved by Resolution No. 92-12-125 on December 23, 1992, which Amendment No. 6 Area includes the lots and parcels located within the area legally described as follows:

Industrial Site A is legally described as the Southeast 1/4 of the Northeast 1/4 and the South 100 feet of the Northeast 1/4 of the Northeast 1/4 of Section 29, Township 75 North, Range 15 West of the 5th P.M. in the City of Oskaloosa, Mahaska County, Iowa.

AMENDMENT NO. 7 AREA

Amendment No. 7 Area shall mean that portion of the City of Oskaloosa, Iowa, described in Amendment No. 7 to the Urban Renewal Plan for the Oskaloosa Urban Renewal Area approved by Resolution No. 95-5-49 on May 15, 1995, which Amendment No. 7 Area includes the lots and parcels located within the area legally described as follows:

The Southwest Fractional 1/4 of the Northwest Fractional 1/4; the Southeast 1/4 of the Northwest Fractional 1/4; Lot A of the Southwest 1/4 of the Northeast 1/4; Lot 2 of the Northwest 1/4 of the Southeast 1/4; the Northeast 1/4 of the Southwest Fractional 1/4; Northwest Fractional 1/4 of the Southwest Fractional 1/4; Lot 1 of the Southeast 1/4 of

the Southwest Fractional 1/4; and Lot 1 of the Southwest Fractional 1/4 of the Southwest Fractional 1/4; all in Section 30 - Township 75 North - Range 15 West of the 5th P.M., except the following described tract:

A part of the SE 1/4 of the NW Fractional 1/4; and a part of Lot A of the SW 1/4 of the NE 1/4; all in Section 30 - Township 75 North - Range 15 West of the 5th P.M., Mahaska County, Iowa and more particularly described as follows: Commencing at the NE corner of said SE 1/4 - NW Fractional 1/4; thence South 72.60 feet along the East line thereof; said point also being the NW corner of said Lot A; thence S 56°24'00" E 157.45 feet; thence S 89°53'00" W 131.12 feet to the West line of said Lot A; thence continuing S 89°53'00" W 412.28 feet; thence N 0°12'00" E 160.0 feet to the North line of said SE 1/4 - NW Fractional 1/4; thence N 89°53'00" E 411.64 feet to the point of beginning containing 1.64 acres and subject to the county road along the Easterly side thereof. The East line of said SE 1/4 - NW Fractional 1/4 is assumed to bear due South for purposes of this description.

Also Lot 1 and a part of Lot 2 of the subdivision of the Southeast 1/4 of the Northeast 1/4 of Section 25 - Township 75 North - Range 16 West of the 5th P.M., more particularly described as follows: Commencing at the Northeast corner of said Lot 2; thence South along the section line 1.06 chains to the Northeast corner of said Lot 1; thence West along the North line of said Lot 1 3.16 1/4 chains to the Northwest corner thereof; thence North to the North line of said Lot 2; thence East along said North line 3.16 1/4 chains to the point of beginning.

Note: The following legal description was added by Resolution No. 95-12-105 dated December 4, 1995, as a correction to Resolution No. 95-5-49 dated May 15, 1995.

And more particularly described as follows:

Commencing at the Northwest corner of said Southwest Fractional 1/4 of the Northwest Fractional 1/4 of Section 30; thence South 89°49'50" East 1125.58 feet along the North line thereof; thence North 89°50'41" East 905.55 feet along the North line of said Southeast 1/4 of the Northwest Fractional 1/4, said line being subject to a fence line agreement recorded in Book 1 "Record of Partition Fences" on page 109 in the office of the Mahaska County Recorder; thence South 0°09'41" West 160.00 feet; thence North 89°50'41" East 581.72 feet to the centerline of the existing roadway as presently maintained; thence South 53°45'05" East 633.26 feet along said centerline; thence Southeasterly 238.67 feet along a 229.2 foot radius curve, concave Southwesterly having a chord which bears South 23°55'13" East 228.02 feet tangent to the preceding and following courses; thence South 5°54'39" West 1898.15 feet along the said centerline to the South line of said Lot 2 of the Northwest 1/4 of the Southeast 1/4; thence South 89°47'39" West 571.02 feet along said South line; thence South 0°07'53" East 327.60 feet along the East line of said Lot 1 of the Southeast 1/4 of the Southwest Fractional 1/4; thence South 89°46'11" West 1223.36 feet along the South line of said Lot 1 of the

Southeast $\frac{1}{4}$ of the Southwest Fractional $\frac{1}{4}$; thence South $89^{\circ}55'19''$ West 1212.58 feet along the South line of Lot 1 of the Southwest Fractional $\frac{1}{4}$ of the Southwest Fractional $\frac{1}{4}$; thence North $0^{\circ}23'32''$ West 984.52 feet; thence North $0^{\circ}16'07''$ West 659.62 feet along the West line of said Lot 1 and the West line of the Northwest Fractional $\frac{1}{4}$ of the Southwest Fractional $\frac{1}{4}$ to the Northwest corner thereof; thence South $89^{\circ}43'47''$ West 208.73 feet along the said Lot 1 of the Southeast $\frac{1}{4}$ of the Northeast $\frac{1}{4}$, Section 25 – Township 75 North – Range 16 West; thence North $0^{\circ}10'32''$ West 278.85 feet along the West line of said Lot 1 to the North line of said Lot 2 of said Southeast $\frac{1}{4}$ of the Northeast $\frac{1}{4}$; thence North $89^{\circ}43'47''$ East 208.73 feet to the Northeast corner of said Lot 2; thence North $0^{\circ}10'32''$ West 1043.49 feet along the West line of said Southwest Fractional $\frac{1}{4}$ of the Northwest Fractional $\frac{1}{4}$ to the point of beginning, containing 202.11 acres, and subject to the existing public roadway along the Easterly and Southerly sides thereof, also subject to any and all easements of record.

AMENDMENT NO. 8 AREA

Amendment No. 8 Area shall mean that portion of the City of Oskaloosa, Iowa, described in Amendment No. 8 to the Urban Renewal Plan for the Oskaloosa Urban Renewal Area approved by Resolution No. 96-11-80 on November 18, 1996, which Amendment No. 8 Area includes the lots and parcels located within the area legally described as follows:

Beginning at a point seven hundred twenty (720) feet West of the Southeast corner of the Northeast Quarter of the Southeast Quarter of Section fourteen (14), Township seventy-five (75), Range sixteen (16) West of the fifth P.M. which is the intersection of the West Corporate Limits of the City of Oskaloosa and the South line of Iowa Highway 92; thence West one thousand nine hundred forty-one and $\frac{85}{100}$ (1,941.85) feet to the Southwest corner of the Northwest Quarter of the Southeast Quarter of said Section fourteen (14); thence North seven hundred nine and $\frac{73}{100}$ (709.73) feet; thence East one thousand seventy-six and $\frac{21}{100}$ (1,076.21) feet to the center line of Iowa Highway 163; thence Northwesterly along the center line of Iowa Highway 163 to the intersection of the center line of D Avenue West; thence West along the center line of D Avenue West (County-designated 245th Street) to the West line of said Section Fourteen (14); thence South along the West line of said Section fourteen (14) to the center line of Suffolk Road; thence Easterly along the center line of said Suffolk Road to its intersection with the West Corporate Limits of Oskaloosa on the West property line of Lot 3 of Lot 8 of the Southeast Quarter of the Southwest Quarter of Section fourteen (14); thence North along the West line to the Northwest corner; thence East along the North line of said Lot three (3) of Lot eight (8) one hundred ninety-eight (198) feet to the Southeast corner of Lot nine (9); thence North along the East line of Lot nine (9) to the Northwest corner of Lot three (3) of Lot eight (8); thence East along the North line of said Lot three (3) of Lot eight (8) and the center line of High Avenue West to a point seven hundred twenty (720) feet West of the East line of said Section fourteen (14); thence North to the point of beginning.

AMENDMENT NO. 9 AREA

Amendment No. 9 Area shall mean that portion of the City of Oskaloosa, Iowa described in Amendment No. 9 to the Urban Renewal Plan for the Oskaloosa Urban Renewal Area approved by Ordinance No. 1064 on November 15, 1999, which Amendment No. 9 Area includes the lots and parcels located within the area legally described as follows:

All that part of the Southwest Quarter of Section 21, and all that part of the West three-fourths of the Northwest Quarter of Section 28, all in Township 75 North, Range 15 West of the 5th P.M., Mahaska County, Iowa which lies Southwest of the centerline of the 265th Street (formerly Burlington Road) Excepting there from the tract of land described as follows: Commencing at the NW corner of said Section 28; thence N 88 ° 46' 00" E 739.67 feet along the north line thereof to the Point of Beginning; said point also being on the westerly line of the tract of land described and recorded in Deed Book 278 at page 303 Mahaska County Records; thence N 9° 45' 10" E 209.29 feet to the NW corner of said tract and the centerline of 265th Street (formerly Burlington Road); thence S 70° 40' 50" E 588.59 feet along said centerline to the north line of said Section 28; thence S 70° 23' 20" E 692.10 feet along said centerline to the east line of the west 3/4 of the NW 1/4 of said Section 28; thence S 1° 00' 00" E 275.54 feet along said east line; thence N 77° 20' 10" W 1315.84 feet; thence N 9° 45' 10" E 209.83 feet to the point of beginning. The above tract contains in all 116 acres more or less.

and

The East one-half of the Southwest Quarter of Section 28, Township 75 North, Range 15 West of the 5th P.M., Mahaska County, Iowa, excepting therefrom the Former Chicago and Northwestern Railroad right-of-way through the southern portion of said tract.

and

A part of the North Half of the Northwest Quarter of the Northeast Quarter, all in Section 33, Township 75 North, Range 15 West of the 5th P.M. in Mahaska County, Iowa more particularly described as follows:

Beginning at the Southeast corner of said NW¹/₄- NE¹/₄; thence N 00° 00' 43" E along the East line of said NW¹/₄- NE¹/₄ a distance of 316.25 feet to the Southerly right-of-way line of the abandoned Chicago and Northwestern Railroad; thence N 59° 22' 46" W along said South right-of-way line a distance of 1953.44 feet to the North line of said North Half of the NW¹/₄; thence S 89° 39' 57" W along said North line a distance of 959.55 feet to the Northeast corner of the NE¹/₄- NW¹/₄; thence continuing S 89° 39' 57" W along said North line a distance of 545.05 feet to the Northerly right-of-way line of Iowa Highway No. 23, formerly U.S. Highway 63; thence S 48° 28' 56" E along said Northerly right-of-way line a distance of 1979.51 feet to the South line of said North ½ of the NW¹/₄; thence N 89° 41' 20" E along said South line a distance of 382.76 feet to the Southeast corner thereof;

thence N 89° 40' 31" E along the south line of said NW¹/₄- NE¹/₄ a distance of 1320.84 feet to the Point of beginning containing 54.74 acres, and subject to any and all easements or restrictions recorded or non-recorded. The West line of the Northwest Quarter (NW¹/₄) of the Northwest Quarter (NW¹/₄) Section 33 is assumed to bear North 0° 00' 00" East for the purposes of this description;

and

Commencing at the Northwest corner of the Northwest Quarter-Southeast Quarter Section 29, Township 75 North, Range 15 West of the Fifth P.M.; thence East 434.9 feet to the North R.O.W. line of Highway 63; thence South 48°39' East along said North R.O.W. line 1185.6 feet to the East line of the Northwest Quarter-Southeast Quarter Section 29, Township 75 North, Range 15 West of the Fifth P.M. the point of beginning; thence South 48°39' East along said North R.O.W. Line 628'; thence North 41°21' East 369.1 feet to the South line of the Chicago and Northwestern Railroad R.O.W.; thence North 59°31' West along said South R.O.W. line 831 feet to the East line of the Northwest Quarter-Southeast Quarter Section 29, Township 75 North, Range 15 West of the Fifth P.M.; thence South 0°15' East along said East line of said Northwest Quarter-Southeast Quarter 283.3 feet to the point of beginning. Containing 4.98 acres more or less. (The North line of the Northwest Quarter-Southeast Quarter Section 29, Township 75 North, Range 15 West is assumed due East and West). Also a strip of land 50 feet in width extending over and across part of the Northeast Quarter of the Southeast Quarter of Section 29, Township 79 North, Range 15 West of the Fifth P.M., said strip of land being 25 feet in width on each side of the center line of the main track (now removed) of the Chicago Burlington and Pacific Railroad Company (later the Iowa Central Railway Company, the Minneapolis & St. Louis Railway Company, now the Chicago and North Western Transportation Company), as said main track center line was originally located and established over and across Section 29, except from a line drawn at right angles to said center line at a point thereon distant 133 feet Northwesterly from its intersection with the East line of said Section 29 to a line drawn at right angles to said center line Northwesterly 492.5 feet.

AMENDMENT NO. 10 AREA

Amendment No. 10 Area shall mean that portion of the City of Oskaloosa, Iowa described in Amendment No. 10 to the Urban Renewal Plan for the Oskaloosa Urban Renewal Area approved by Resolution No. 01-4-29 on April 2, 2001, which Amendment No. 10 Area includes the lots and parcels located within the area legally described as follows:

Commencing at the Southeast corner of Section Twenty-nine, Township Seventy-five, Range Fifteen, thence North 690.35 feet to the North right of way line of Highway 23, thence North 48 degrees 21' West 657.64 feet to the point of beginning, thence North 48 degrees 21' West 483.67 feet to a point that is 628 feet Southeasterly from the West line of the Northeast Quarter of the Southeast Quarter of said Section Twenty-nine, as

measured along the North right-of-way line of Highway 23, thence North 41 degrees, 39' East 369.10 feet to the South right-of-way line of the Chicago, North Western Railroad, thence South 59 degrees 13' East 492.50 feet along said Southerly right-of-way line, thence South 41 degrees 39' West 462.15 feet to the point of beginning.

and

The Northeast Quarter of the southeast Quarter of Section 29, Township 75, Range 15, lying north of the Chicago, Northwestern Railway Company right-of-way, all in Mahaska County, Iowa.

and

Commencing at the Southeast corner of Section 29, Township 75, Range 15, thence North 690.35' to the North Right-of-way line of Highway 23, thence North 48 degrees 21' West 657.64', thence North 41 degrees 38' East 462.15' to the point of beginning, thence North 59 degrees 13' West 492.5' along the south right-of-way line of the Chicago, North Western Railroad, thence North 41 degrees 39' East 25' to the centerline of the Chicago North Western Railroad right-of-way, thence South 59 degrees 13' East 492.5' along said centerline, thence South 41 degrees 39' West 25' to the point of beginning; and also the northern half (25') of the Chicago North Western Railroad right-of-way lying within the Northeast Quarter of the Southeast Quarter of Section 29, Township 75, Range 15 West of the 5th P.M. in Mahaska County, Iowa.

Ordinance No. 1106 adopted May 7, 2001, included the area identified above for Amendment No. 10 area.

and

AMENDED AND RESTATED OSKALOOSA URBAN RENEWAL PLAN –
AMENDMENT #1 AREA

Amendment #1 Area to the Amended and Restated Plan shall include the lots and parcels located within the area legally described as follows:

Beginning at the Northwest corner of Section 29, Township 75 North, Range 15 West of the 5th P. M. in Mahaska County, Iowa; thence East along the South line of Section 20 to the West line of the SE ¼ of the SE ¼ of Section 20, which is the East Corporate Limits of the City of University Park; thence North along said line to the South right-of-way line of Burlington Road; thence Southeast along said line to the East line of Section 20; thence South along said line to a point 100 feet North of the Southeast corner of the NE ¼ of the NE ¼ of Section 29; thence West to a point 100 feet North of the Southwest corner of the NE ¼ of the NE ¼ of Section 29; thence South to the North right-of-way line of Iowa Highway 23; thence Northwest along said line to

EXHIBIT 1

the West line of the NE $\frac{1}{4}$ of Section 29; thence South along said line to the Northwest corner of the NW $\frac{1}{4}$ of the SE $\frac{1}{4}$ of Section 29; thence West to the Southwest corner of the SE $\frac{1}{4}$ of the NW $\frac{1}{4}$ of Section 29; thence North to the Southeast corner of the NW $\frac{1}{4}$ of the NW $\frac{1}{4}$ of Section 29; thence West 659.8 feet; thence North to the South right-of-way line of Iowa Highway 23; thence Northwest along said line to a point 200 feet South of the North line of Section 29; thence West along a line parallel to and 200 feet normally distant from the North line of Section 29 to the West line of Section 29; thence North 200 feet to the point of beginning;

EXCEPT

The NW $\frac{1}{4}$ of the NE $\frac{1}{4}$ of Section 29; and the SW $\frac{1}{4}$ of the NE $\frac{1}{4}$ of Section 29 North of the RR right-of-way and South of the North 15 acres of said section.

EXHIBIT "E"
AGRICULTURAL LAND CONSENT

**AGREEMENT TO INCLUDE AGRICULTURAL LAND IN THE
OSKALOOSA AMENDED AND RESTATED URBAN RENEWAL AREA**

WHEREAS, the City of Oskaloosa, Iowa, (the "City") has proposed to establish the Oskaloosa Amended and Restated Urban Renewal Plan – Amendment #1 ("Plan") for the Oskaloosa Amended and Restated Urban Renewal Area – Amendment #1 (the "Urban Renewal Area"), pursuant to Chapter 403 of the Code of Iowa, in order to undertake activities authorized by that Chapter; and

WHEREAS, it has been proposed that the boundaries of land included in the Urban Renewal Area will contain certain property owned by the undersigned Agricultural Land Owner; and

WHEREAS, Section 403.17(10) of the Code of Iowa provides that no property may be included in an urban renewal area which meets the definition in that Section of "agricultural land," until the owners of such property agree to include such property in such urban renewal area; and

WHEREAS, it has been determined that a portion of the property located within the Urban Renewal Area and owned by the Agricultural Land Owner listed below meets the definition of "agricultural land" in Section 403.17(3) of the Code of Iowa;

NOW, THEREFORE, it is hereby certified and agreed by the Agricultural Land Owner as follows:

1. The Agricultural Land Owner hereby certifies that he/she is the owner of certain property within the proposed Urban Renewal Area and agrees that the City of Oskaloosa, Iowa, may include such property within the Urban Renewal Area. A map of the Urban Renewal Area is attached as part of this Exhibit.

2. The Agricultural Land Owner further authorizes the governing body of the City of Oskaloosa, Iowa, to pass any resolution or ordinance necessary to designate property as part of the Urban Renewal Area under Chapter 403 of the Code of Iowa, and to proceed with activities authorized under said Chapter.

DATED this ____ day of _____, 2014.

Name of Agricultural Land Owner: Steven J. and Jacqueline M. Walters

1) Signature: _____ Date: _____

Witness: _____

2) Signature: _____ Date: _____

Witness: _____

AGRICULTURAL LAND CONSENT

**AGREEMENT TO INCLUDE AGRICULTURAL LAND IN THE
OSKALOOSA AMENDED AND RESTATED URBAN RENEWAL AREA**

WHEREAS, the City of Oskaloosa, Iowa, (the “City”) has proposed to establish the Oskaloosa Amended and Restated Urban Renewal Plan – Amendment #1 (“Plan”) for the Oskaloosa Amended and Restated Urban Renewal Area – Amendment #1 (the “Urban Renewal Area”), pursuant to Chapter 403 of the Code of Iowa, in order to undertake activities authorized by that Chapter; and

WHEREAS, it has been proposed that the boundaries of land included in the Urban Renewal Area will contain certain property owned by the undersigned Agricultural Land Owner; and

WHEREAS, Section 403.17(10) of the Code of Iowa provides that no property may be included in an urban renewal area which meets the definition in that Section of “agricultural land,” until the owners of such property agree to include such property in such urban renewal area; and

WHEREAS, it has been determined that a portion of the property located within the Urban Renewal Area and owned by the Agricultural Land Owner listed below meets the definition of “agricultural land” in Section 403.17(3) of the Code of Iowa;

NOW, THEREFORE, it is hereby certified and agreed by the Agricultural Land Owner as follows:

1. The Agricultural Land Owner hereby certifies that he/she is the owner of certain property within the proposed Urban Renewal Area and agrees that the City of Oskaloosa, Iowa, may include such property within the Urban Renewal Area. A map of the Urban Renewal Area is attached as part of this Exhibit.

2. The Agricultural Land Owner further authorizes the governing body of the City of Oskaloosa, Iowa, to pass any resolution or ordinance necessary to designate property as part of the Urban Renewal Area under Chapter 403 of the Code of Iowa, and to proceed with activities authorized under said Chapter.

DATED this ____ day of _____, 2014.

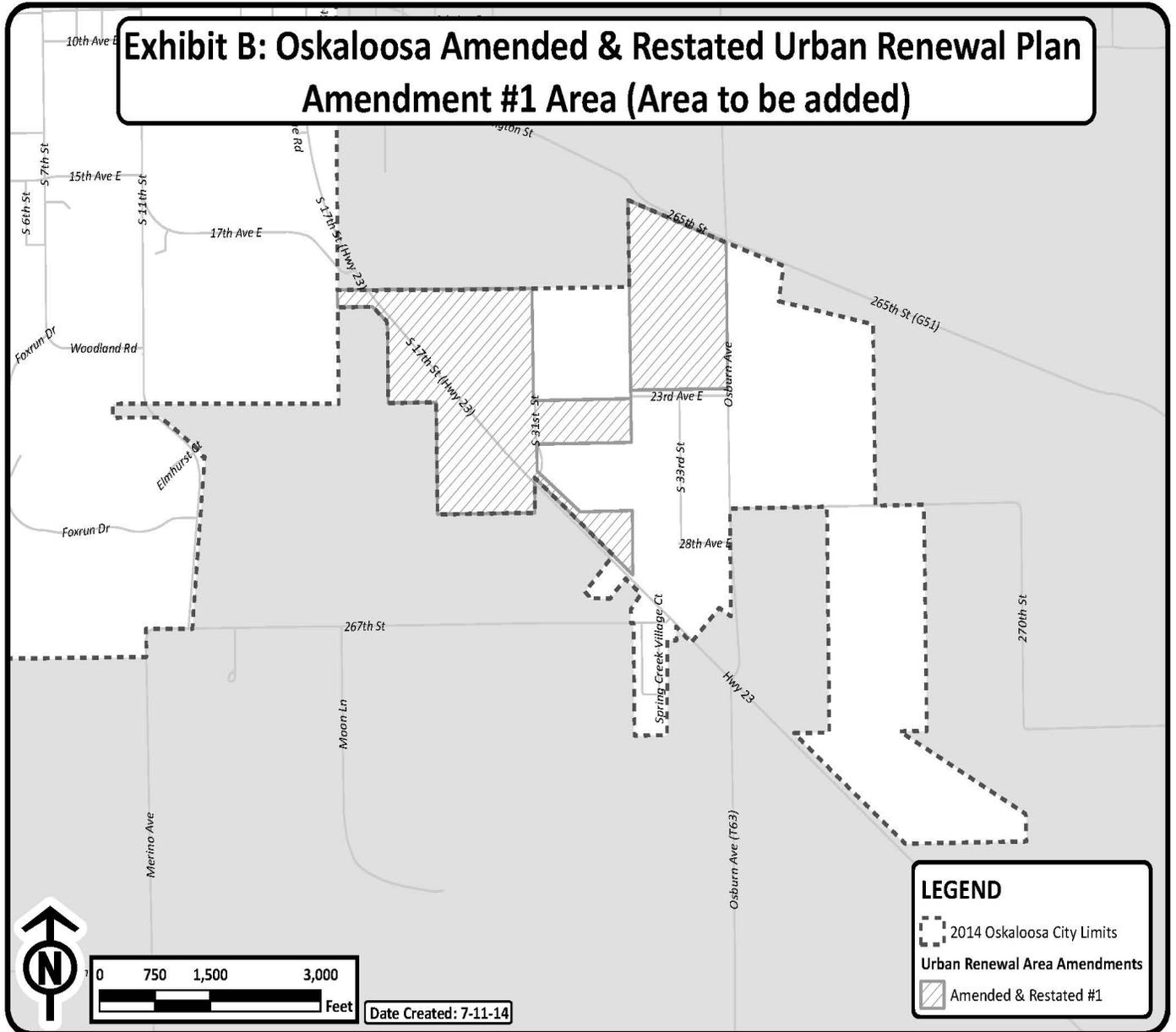
Name of Agricultural Land Owner: Mahaska Development Group Incorporated

1) Signature: _____ Date: _____

Witness: _____

2) Approved by the Oskaloosa City Council on the ____ day of _____, 2014.

Mayor



AGRICULTURAL LAND CONSENT

**AGREEMENT TO INCLUDE AGRICULTURAL LAND IN THE
OSKALOOSA AMENDED AND RESTATED URBAN RENEWAL AREA**

WHEREAS, the City of Oskaloosa, Iowa, (the "City") has proposed to establish the Oskaloosa Oskaloosa Amended and Restated Urban Renewal Plan – Amendment #1 ("Plan") for the Oskaloosa Amended and Restated Urban Renewal Area – Amendment #1 (the "Urban Renewal Area"), pursuant to Chapter 403 of the Code of Iowa, in order to undertake activities authorized by that Chapter; and

WHEREAS, it has been proposed that the boundaries of land included in the Urban Renewal Area will contain certain property owned by the undersigned Agricultural Land Owner; and

WHEREAS, Section 403.17(10) of the Code of Iowa provides that no property may be included in an urban renewal area which meets the definition in that Section of "agricultural land," until the owners of such property agree to include such property in such urban renewal area; and

WHEREAS, it has been determined that a portion of the property located within the Urban Renewal Area and owned by the Agricultural Land Owner listed below meets the definition of "agricultural land" in Section 403.17(3) of the Code of Iowa;

NOW, THEREFORE, it is hereby certified and agreed by the Agricultural Land Owner as follows:

1. The Agricultural Land Owner hereby certifies that he/she is the owner of certain property within the proposed Urban Renewal Area and agrees that the City of Oskaloosa, Iowa, may include such property within the Urban Renewal Area. A map of the Urban Renewal Area is attached as part of this Exhibit.

2. The Agricultural Land Owner further authorizes the governing body of the City of Oskaloosa, Iowa, to pass any resolution or ordinance necessary to designate property as part of the Urban Renewal Area under Chapter 403 of the Code of Iowa, and to proceed with activities authorized under said Chapter.

DATED this ____ day of _____, 2014.

Name of Agricultural Land Owner: Joe P. Crookman, Jean M. Bieri c/o Musco Corporation

1) Signature: _____ Date: _____

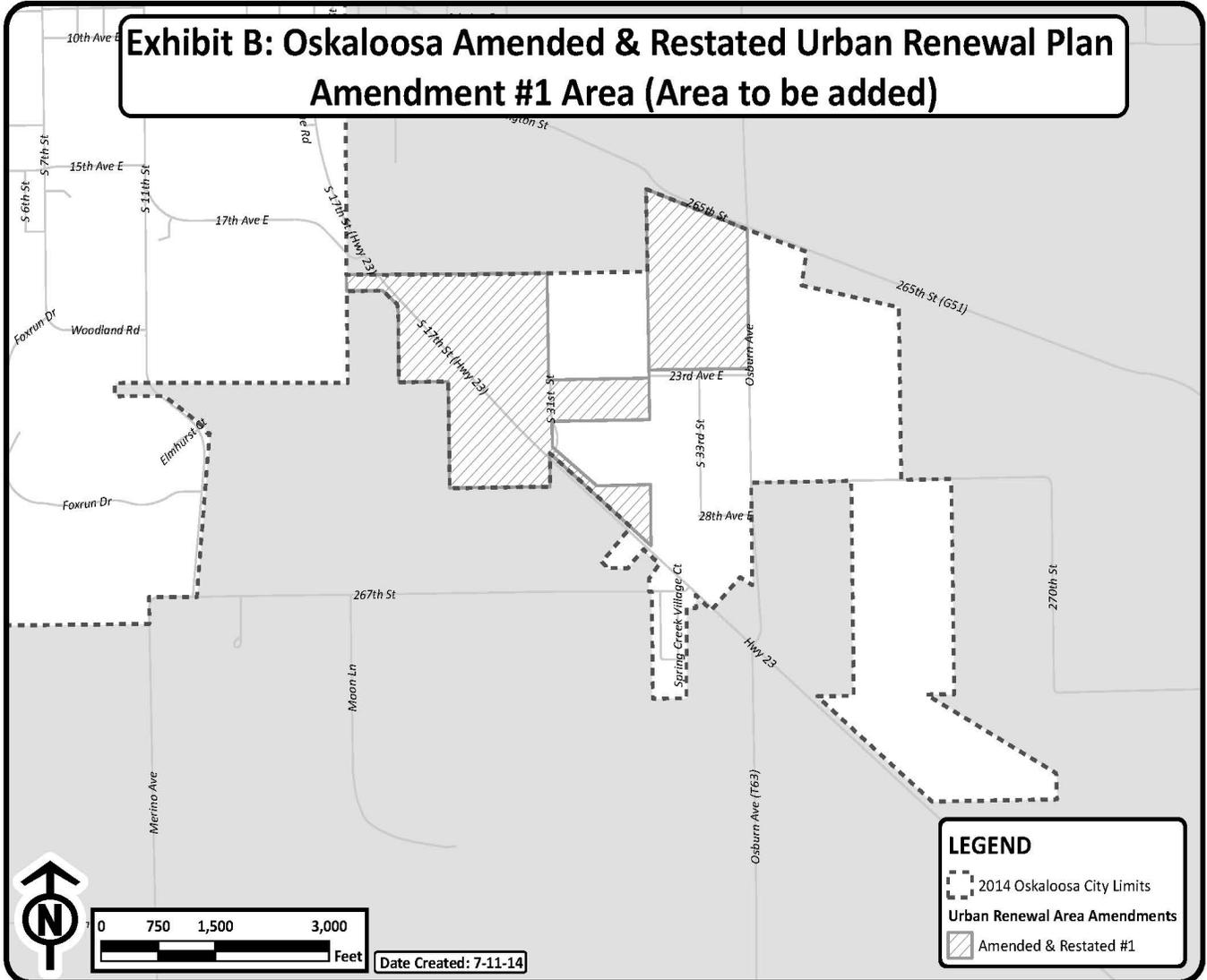
Witness: _____

2) Signature: _____ Date: _____

Witness: _____

3) Approved by the Oskaloosa City Council on the _____ day of _____, 2014.

Mayor





City Council Communication

Meeting Date: July 21, 2014

Requested By: Council Appointed
Staff

Item Title: Report on Items from City Staff

- a) City Manager.
 - Report and follow up on the study session held on July 15, 2014 regarding discussion of policy options available to address the anticipated impact of property tax reform as well as funding assistance requests received from Forest Cemetery, Stephen Memorial Animal Shelter, and the Mahaska County YMCA.
- b) City Clerk.
- c) City Attorney.

Explanation :

This item is reserved to receive reports from the City Manager, City Clerk, and/or the City Attorney.

Budget Consideration:

Not applicable, report(s) only.

Attachments :

Study Session Material document.

Study Session Material 07-15-2014

	FY2015	FY2016	FY2017	FY2018	FY2019	FY2020	FY2021	FY2022	FY2023	FY2024
Property Tax Reform (\$8.10 & \$0.27 tax levies only)	(\$1,097)	(\$19,571)	(\$80,000)	(\$117,817)	(\$163,078)	(\$207,757)	(\$261,270)	(\$314,517)	(\$378,184)	(\$455,560)
Forest Cemetery	(\$50,000)	(\$100,000)	(\$100,000)	(\$125,000)	(\$125,000)	(\$125,000)	(\$150,000)	(\$150,000)	(\$150,000)	(\$175,000)
Animal Shelter Operations (expected increase in operational costs)		(\$25,000)	(\$25,000)	(\$30,000)	(\$40,000)	(\$40,000)	(\$45,000)	(\$50,000)	(\$50,000)	(\$50,000)
Animal Shelter Capital		(\$50,000)	(\$50,000)							
YMCA	(\$200,000)	(\$200,000)	(\$200,000)							
Total	(\$251,097)	(\$394,571)	(\$455,000)	(\$272,817)	(\$328,078)	(\$372,757)	(\$456,270)	(\$514,517)	(\$578,184)	(\$680,560)

EXPENDITURE REDUCTION OPTIONS

A Avenue Corridor Properties	\$50,000
Animal Shelter Capital	\$50,000
Parks Mower	\$60,000
Current Vacant Positions	
Code Enforcement (Part Time)	\$22,085
Police Officer	\$41,325
Parks Maintenance (split funded by General Fund and Road Use)	\$15,157
Future Staff Retirements	
Fire Fighter	\$35,590
Fire Captain (two positions)	\$46,278
Across the Board Reduction Options	
2.50% within Eligible General Fund Items	\$73,326
5.00% within Eligible General Fund Items	\$146,652
Currently Filled Positions (to be determined)	-
Repurpose Current Use of Franchise Fees and/or LOST	-
Other Options Discussed...	-

REVENUE ENHANCEMENT OPTIONS

Franchise Fee 2.0% Increase All Sectors (add "e" as allowable use)	\$291,176
G.O. Debt Issuance	-
Overhead Charges to Utilities	-
Other Options Discussed...	-

Local Option Sales Tax - Approved Ballot Language:

The specific purpose for which revenue shall be expended is up to 100% to the Oskaloosa Community School District for the purpose of the construction and renovation of school facilities, subject to the successful passage of the local option sales tax for school infrastructure for the Oskaloosa Community School District.

In the event the Oskaloosa Community School District does not require 100% of the revenue for the construction and renovation of school facilities, or the Oskaloosa Community School District local option sales tax for school infrastructure is not approved by the voters of Mahaska County, the specific purposes for which revenues shall otherwise be expended are: annual street construction projects; construction and maintenance of recreation facilities; capital expenditures for construction, renovation, fixtures and maintenance of public facilities; capital equipment purchases.

Zero percent for property tax relief.

Franchise Fee - Approved Language:

- f. The establishment, construction, reconstruction, repair, equipping, remodeling, and extension of public works, public utilities, and public transportation systems.
- g. The construction, reconstruction, or repair of streets, highways, bridges, sidewalks, pedestrian underpasses and overpasses, street lighting fixtures, and public grounds, and the acquisition of real estate needed for such purposes.

Franchise Fee - Allowable Uses by Code:

- a. Property tax relief.
- b. The repair, remediation, restoration, cleanup, replacement, and improvement of existing public improvements and other publicly owned property, buildings, and facilities.
- c. Projects designed to prevent or mitigate future disasters as defined in section 29C.2.
- d. Energy conservation measures for low-income homeowners, low-income energy assistance programs, and weatherization programs.
- e. Public safety, including the equipping of fire, police, emergency services, sanitation, street, and civil defense departments.
- f. The establishment, construction, reconstruction, repair, equipping, remodeling, and extension of public works, public utilities, and public transportation systems.
- g. The construction, reconstruction, or repair of streets, highways, bridges, sidewalks, pedestrian underpasses and overpasses, street lighting fixtures, and public grounds, and the acquisition of real estate needed for such purposes.
- h. Property tax abatements, building permit fee abatements, and abatement of other fees for property damaged by a disaster as defined in section 29C.2.
- i. Economic development activities and projects.



City Council Communication

Meeting Date: July 21, 2014

Requested By: Mayor & City Council

Item Title: City Council Information

Explanation :

This item is reserved to receive reports from the Mayor and City Council. This is an opportunity for the members of the City Council to provide updates on activities, events, or items of note to the public. This is also the opportunity for the City Council to request future agenda items, or request items to be sent to Committee for review and discussion.

Budget Consideration:

Not applicable, report(s) only.

Attachments :

None.