



**City of Oskaloosa
Regular Meeting
Planning and Zoning Commission
Lower Level Conference Room
City Hall, 220 S. Market Street
Oskaloosa, IA 52577
Agenda
6/7/2016
4:30PM**

1. Roll Call

Chair: Campbell____; Members:Blomgren;____;Jensen____; Keep____;
Tarbell____; Tews____;Wagner____;

2. Approval of the Minutes

A. Approval of the minutes from the May 9, 2016 meeting

Documents: [PZ MINUTES 5-9-2016.PDF](#)

B. Approval of the minutes from the May 24, 2016 meeting

Documents: [PZ MINUTES 5-24-2016.PDF](#)

3. Citizens to be Heard

4. Site Plans

A. Consider a site plan for the new Stephen Memorial Animal Shelter located at 1716 Pella Avenue.

Documents: [ANIMAL SHELTER SITE PLAN AGENDA.DOCX](#), [1 ANIMAL SHELTER RENDERING.PDF](#), [2 ANIMAL SHELTER SITE PLAN 5-24-16.PDF](#), [3 SIGN PLAN - STEPHEN ANIMAL SHELTER.PDF](#), [4 ANIMAL SHELTER SIGNAGE.PDF](#), [5 SITE PLAN APPLICATION.PDF](#), [6 MARK NEFF INCINERATOR CODE RESPONSE.PDF](#), [ANIMAL SHELTER SITE PLAN RESOLUTION.DOCX](#)

5. Public Hearings

A. Consider changes to the Oskaloosa Municipal Code that would require sidewalk for new developments.

Documents: [SIDEWALK REQUIREMENT AGENDA.DOCX](#)

6. Adjournment

If you require special accommodations, please contact the City Manager's Office at least

24 hours prior to the meeting at (641) 673-9431.

CITY OF OSKALOOSA
PLANNING & ZONING COMMISSION
REGULAR MEETING MINUTES
May 9, 2016

A regularly-scheduled meeting of the Planning and Zoning (P&Z) Commission for the City of Oskaloosa was called to order at 4:30 p.m. on Monday, May 9, 2016, by Chair Wyndell Campbell, at 220 South Market Street, Oskaloosa, Iowa.

COMMISSION MEMBERS PRESENT: Pamela Blomgren, Wyndell Campbell, Andrew Jensen, R. D. Keep Sarah Tarbell, Stephen Tews and Gabriel Wagner. COMMISSION MEMBERS ABSENT: None. CITY STAFF PRESENT: Akhilesh Pal and Marilyn Johannes. OTHERS PRESENT: None.

Minutes from the April 11, 2016 Planning and Zoning Commission meeting.

It was moved by Blomgren, seconded by Keep to approve the April 11, 2016 Planning and Zoning Commission minutes. Motion carried unanimously.

Consider the vacation and sale of the 60 foot by 16.5 foot section of the east-west alley adjacent to 402 4th Avenue West.

Pal reported there was other access to the alley for property maintenance and landscaping and there were no objections to the vacation and sale of the alley by adjoining property owners. Pal said the applicant wants to prevent traffic from damaging his property. Pal said the alley contains overhead utility infrastructure so easement rights will need to be retained for utility access.

It was moved by Blomgren, seconded by Keep to approve the vacation and sale of the alley adjacent to 402 4th Avenue West as presented.

Tews said he believes the whole block or none to should be vacated. Campbell agreed but pointed out this is an at-will request. Jensen said he would like see the owners of the rest of the alley in the block notified regarding the vacation and sale of their portion. Tews and Campbell said they would still like to see all alleys vacated and deeded to adjoining property owners at no cost. Blomgren commented the city would have to adopt a plan to do that.

Campbell called for a roll call vote on the motion to approve the vacation and sale of the alley adjacent to 402 4th Avenue West as presented. The vote was: YES – Campbell, Blomgren, Jensen, Keep, Tarbell and Wagner. No – Tews. Motion carried.

Consider recommending changes to the on-street parking restrictions along C Avenue East from North 11th Street to South Park Avenue.

Pal pointed out staff realized the code doesn't require the Planning and Zoning Commission make recommendations regarding parking matters, but because notices had been sent out regarding this matter, the Planning and Zoning Commission needs to consider it.

Pal said the parking study conducted indicates the residents are almost equally divided, but most want to leave the parking as is. Pal said staff is ok with either option presented.

Tews made a motion that parking be prohibited on the north side of C Avenue East from North 11th Street to South Park Avenue and parking be allowed on the south side of C Avenue East. Motion died for lack of a second.

It was moved by Blomgren, seconded by Campbell to recommend Option #1 (Figure 2) which is to restrict parking 1.) along the north side of C Avenue East from 50 feet west of North 11th Street to 325 feet west of South Park Avenue, and 2.) along the south side of C Avenue East from North 11th Street to 50 feet east of North 11th Street.

Jensen questioned whether need change. Tews said he believes there is a visibility issue. Pal said recommendation from Council because Council concerned when ambulances turn onto the street and because of the high amount of traffic in the area.

Keep: Have made many visits to MHP at different times of the day and there was not much parking on the street until smoking not allowed on the MHP campus, maybe need designated smoking area. Jensen: Agree with change if for safety reasons. Believe safety issue legit. Maybe MHP needs a smoking gazebo. Blomgren: Not our choice. Keep: Have watched ambulances come out of there. Do not see problem. Campbell: Maybe need to consider safety of other vehicles. Tarbell: Where is parking going to go? Where are they going to park? Jensen: If ambulance safety visibility the concern, does that require no parking on total length of street? Keep: At west corner of entrance go 25 feet west and 25 feet east of 1253, no parking on north side. Agree that 10' required is not enough. Jensen: I go along with that. Addresses ambulance concern.

Tews called for the question.

Campbell called for a roll call vote on approval of Option #1 (Figure 2) to restrict parking 1.) along the north side of C Avenue East from 50 feet west of North 11th Street to 325 feet west of South Park Avenue, and 2.) along the south side of C Avenue East from North 11th Street to 50 feet east of North 11th Street. The vote was: YES – Blomgren and Tews. No – Campbell, Jensen, Keep, Tarbell and Wagner. Motion failed.

Keep moved to recommend parking restriction along the north side of C Avenue East and 1.) 50 feet east and west of North 11th Street and 2.) along the north side of C Avenue East 50 feet east and west of both the easternmost driveways to the hospital. Wagner seconded the motion.

Keep believes if a visibility problem this will help. Tarbell: Like this option so not cause other problems to property owners or smoking problem.

Blomgren called for the question.

Campbell called for a roll call vote on the motion to recommend a parking restriction 1.) along the north side of C Avenue East 50 feet east and west of North 11th Street and 2.) along the north side of C Avenue East 50 feet east and west of both the easternmost driveways to the hospital. The vote was: YES – Campbell, Blomgren, Jensen, Keep, Tarbell and Wagner. No – Tews. Motion carried.

Consider setting the date for a public hearing on changes to the Oskaloosa Municipal Code that would require sidewalks for new development.

Pal said he prepared the recommended addition to the Oskaloosa Municipal Code regarding sidewalk requirements in response to the Planning and Zoning Commission discussion on April 11, 2016. Pal told commission members they need to set a date for a public hearing on the proposed sidewalk requirement code revisions.

It was moved by Tews, seconded by Blomgren to schedule the public hearing on proposed sidewalk requirement code revisions on Tuesday, June 7, 2016 at 4:30 p.m. The vote was: YES – Campbell, Blomgren, Jensen, Keep, Tarbell, Tews and Wagner. No – None. Motion carried.

Consider amending Table 17.08 B pertaining to zoning district regulations and permitted uses for medium retail services.

Pal told the commission this item was triggered when the owner of the Oskaloosa Herald building on 432 indicated he wanted to turn the building into retail space. Pal said there is a definition for medium retail services but no provisions for zoning district regulations and permitted uses for medium retail services. Pal said staff believes the regulations were left out in error. Pal said staff would like to schedule a special Planning and Zoning Commission meeting to discuss the matter and would like to schedule the meeting the week of May 23 in order to have it before the June 6, 2016 city council meeting so Council can take action on the matter as soon as possible.

Jensen said need to meet as soon as possible since due to an error. Blomgren agreed.

It was moved by Campbell to schedule the special meeting on Tuesday, May 24, 2016 at 5:00 p.m. Jensen seconded. The vote was: YES – Campbell, Blomgren, Jensen, Keep, Tarbell, Tews and Wagner. No – None. Motion carried.

It was moved by Tews, seconded by Keep to adjourn. Motion carried unanimously. The meeting adjourned at 5:32 p.m.

Minutes by Marilyn Johannes

CITY OF OSKALOOSA
PLANNING & ZONING COMMISSION
SPECIAL MEETING MINUTES
May 24, 2016

A special meeting of the Planning and Zoning (P&Z) Commission for the City of Oskaloosa was called to order at 5:00 p.m. on Tuesday, May 24, 2016, by Chair Wyndell Campbell, at 220 South Market Street, Oskaloosa, Iowa.

COMMISSION MEMBERS PRESENT: Wyndell Campbell, Pamela Blomgren, Andrew Jensen, R. D. Keep, Sarah Tarbell and Stephen Tews. COMMISSION MEMBERS ABSENT: Gabriel Wagner. CITY STAFF PRESENT: Akhilesh Pal and Marilyn Johannes. OTHERS PRESENT: Tom Walling.

Campbell said the purpose of the meeting is to have a public hearing to consider amending Table 17.08 B pertaining to zoning district regulations and permitted uses for medium retail services. Keep pointed out the matter came up because of proposed redevelopment at the old Herald building site at 1901 A Avenue West.

Campbell announced this is the time and place for the public hearing regarding amending Table 17.08 B pertaining to zoning district regulations and permitted uses for medium retail services and that citizens would now have an opportunity to comment. There were no oral or written comments received from the public.

Blomgren pointed out the code had the classification for medium retail services but not use.

Pal noted that all existing medium retail services are grandfathered in.

Tews moved the public hearing be closed. Keep seconded. Campbell declared said hearing closed.

It was moved by Jensen, seconded by Blomgren to approve amending Table 17.08 B as recommended.

Jensen noted the chart indicates conditional use in downtown district so a 40' building would be conditionally permitted, 40' x 120' would be 4,800 square feet. Jensen said so conditional permit required if construction downtown is new. Pal said yes or if more than 25% remodel. Pal said it is the total square feet of floor area of all floors.

Campbell said maybe need to look at conditional use classification on redevelopment downtown. Blomgren said makes sense it is conditional downtown. Keep said he is in favor of what is proposed. Jensen said he is also in favor of what is proposed but wanted to point out that downtown is classified conditional use.

Tarbell asked what conditional use means. Pal said developer would need to go to the Board of Adjustment to get a conditional permit and noted that matters that go to the Board of Adjustment do not go to the Planning and Zoning Commission or City Council.

Commission members questioned large retail usage in urban corridor not being permitted and discussed whether to consider recommending a change. Consensus was to let staff decide if the matter needed consideration and noted if large retail development was proposed in the urban corridor the matter could be dealt with then.

Campbell called for a roll call vote on the motion to approve amending Table 17.08 B pertaining to zoning district regulations and permitted uses for medium retail services as presented. The vote was: YES – Campbell, Blomgren, Jensen, Keep, Tarbell, and Tews. No – None. Motion carried.

The meeting adjourned at 5:35 p.m.

Minutes by Marilyn Johannes



Planning & Zoning Commission

Meeting Date: June 7, 2016

Requested By: Public Works Dept.

Item Title:

Consider a site plan for the new Stephen Memorial Animal Shelter located at 1716 Pella Avenue.

Explanation:

The Stephen Animal Shelter Foundation has submitted a site plan for the new Animal Shelter to be located at 1716 Pella Avenue. The site in consideration is 7.36 acres in area and is presently zoned GC (General Commercial) district. The proposed site plan illustrates a 6,000 square foot building, public and employee parking lots, water and sewer connections, and storm water collection and detention improvements. The new building will have a public access from Pella Avenue through the Latter Day Saints Church parking lot and a service access from D Avenue West. The planned land use for this property is pet services, which is permitted in a GC district.

Staff has reviewed and approved the site plan with the following stipulations:

1. Easements for the storm sewer/grading improvements along the east side of the property will need to be obtained.
2. Provide a landscaping/erosion control plan for the northeast and southwest slopes.
3. Combine and/or re-plat the parcels associated with this site plan. If necessary, dedicate right-of-way along D Avenue West in order to match the existing right-of-way.

Recommended Action:

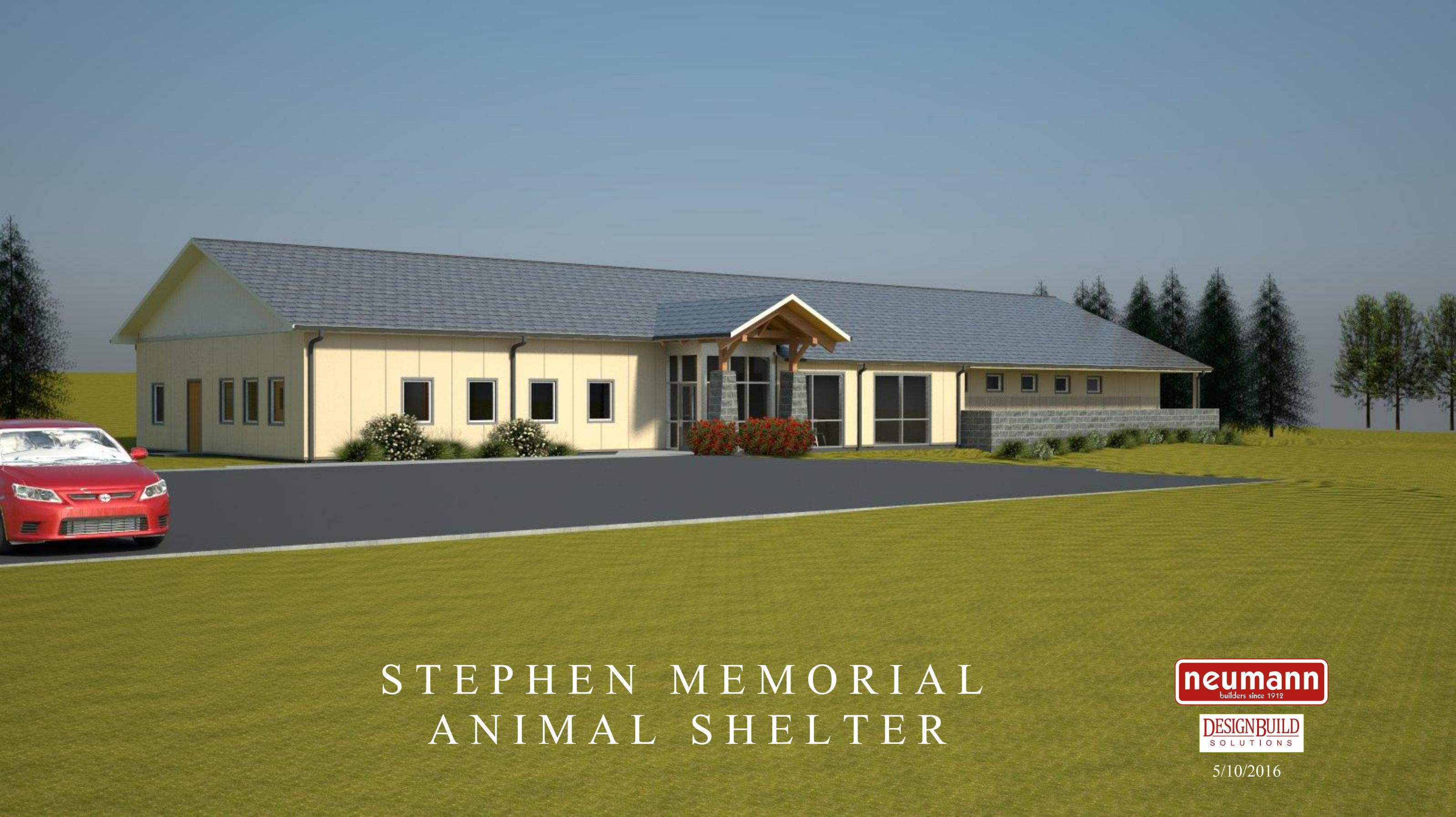
Staff recommends that the Planning & Zoning Commission recommend approval of the proposed site plan with the above mentioned stipulations.

Budget Consideration:

\$100.00 revenue was collected for the site plan application fee.

Attachments:

Site Plans, Site Plan Review and Responses, Site Plan Application



STEPHEN MEMORIAL ANIMAL SHELTER



5/10/2016

SITE DEVELOPMENT PLAN STEPHEN ANIMAL SHELTER OSKALOOSA, IOWA 2016

Materials and construction shall be in accordance with the SUDAS Standard Specifications, 2016 Edition, plus current Supplemental Specifications and Special Provisions.

S H E E T I N D E X	
SHEET NO.	DESCRIPTION
A.01	TITLE SHEET
A.02	LEGEND, LOCATION MAP AND GENERAL NOTES
B.01 - B.02	TYPICAL SECTIONS AND DETAILS
D.01	OVERALL SITE PLAN
D.02	SITE LAYOUT AND UTILITY PLAN
D.03	GRADING PLAN
D.04	MAIN ENTRANCE ROAD PLAN AND PROFILE
D.05	REAR ACCESS DRIVE PLAN AND PROFILE
D.06	PAVEMENT JOINTING PLAN
D.07 - D.09	SANITARY SEWER PLAN AND PROFILE
D.10	STORM WATER POLLUTION PREVENTION PLAN
14	TOTAL SHEETS

Z O N I N G S U M M A R Y		
REGULATION	REQUIREMENT	PROVIDED/ACTUAL
MINIMUM LOT AREA (SQUARE FEET)	6,000	320,000±
MINIMUM LOT WIDTH (FEET)	50	650± (ASSUMES FRONT OF BUILDING FACES WEST)
SITE AREA PER HOUSING UNIT	N/A	N/A
FRONT YARD SETBACK (FEET)	25	250± (ASSUMES BUILDING FRONTS ON HIGHWAY 432)
STREET SIDE YARD SETBACK (FEET)	15	296' (TO "D" AVENUE WEST)
INTERIOR SIDE YARD (FEET)	0	235
REAR YARD (FEET)	25	48
MAXIMUM BUILDING HEIGHT (FEET)	50	18
MAXIMUM BUILDING COVERAGE	50%	2%
MAXIMUM IMPERVIOUS COVERAGE	90%	PRE-DEVELOPED = 0%, POST-DEVELOPED = 6%
FLOOR RATIO	1.0	0.02
MAXIMUM AMOUNT OF TOTAL PARKING LOCATED IN STREET YARD	N/A	N/A

GENERAL PROJECT INFORMATION

APPLICANT:
STEPHEN ANIMAL SHELTER FOUNDATION
2299 235TH STREET
OSKALOOSA, IOWA 52577

LAND OWNER:
JOE P. CROOKHAM AND JEAN M. BIERI
C/O MUSCO CORPORATION
P.O. BOX 808
OSKALOOSA, IOWA 52577

ENGINEER AND SURVEYOR:
GARDEN & ASSOCIATES, LTD.
P.O. BOX 451
1701 3RD AVENUE EAST - SUITE 1
OSKALOOSA, IOWA 52577

CURRENT ZONING:
GC - GENERAL COMMERCIAL

LEGAL DESCRIPTION:
THE SOUTH 237 FEET OF LOT 2 OF THE SUBDIVISION OF LOT A IN THE SE 1/4 OF THE NE 1/4 OF SECTION 14-75-16 IN THE CITY OF OSKALOOSA, MAHASKA COUNTY, IOWA;

ALSO LOT C OF THE SE 1/4 OF THE NE 1/4 OF SAID SECTION 14-75-16;

ALSO LOT 5 OF THE NE 1/4 OF SAID SECTION 14-75-16 EXCEPT THE EAST 75.88 FEET OF THE NORTH 421.1 FEET THEREOF;

ALSO THAT PART OF LOT 1 OF THE WEST 1/2 OF THE NE 1/4 OF SAID SECTION 14-75-16 LYING EAST OF THE HIGHWAY.

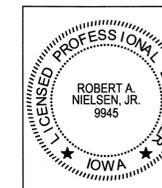
PLANNED LAND USE:
ANIMAL SHELTER

BUILDING SQUARE FOOTAGE:
PROPOSED = 6,000 SQUARE FEET

PARKING LOT CALCULATION:
REQUIRED (PET AND/OR VETERINARY SERVICES) - 1 SPACE PER 500 SQUARE FEET,
6,400/500 = 13 SPACES
PROVIDED - 15 REGULAR (PAVED), 2 ACCESSIBLE (PAVED), 6 EMPLOYEE (NON-PAVED)
TOTAL = 23 SPACES

GARBAGE COLLECTION:
SCREENED DUMPSTER AS SHOWN ON SITE PLAN.

LANDSCAPING:
A DETAILED LANDSCAPING PLAN WILL BE SUBMITTED FOR APPROVAL AT A LATER DATE. SEE BUILDING RENDERING FOR CONCEPTUAL PLAN.



I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.
Robert A. Nielsen, Jr. 5/24/16
Robert A. Nielsen, Jr., P.E.
License number: 9945
My license renewal date is December 31, 2017
Pages or sheets covered by this seal: ALL SHEETS



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SITE DEVELOPMENT PLAN
STEPHEN ANIMAL SHELTER
OSKALOOSA, IOWA
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SHEET TITLE
TITLE SHEET

SCALE:
NO SCALE

FIELD BOOK:
--

DRAWN BY:
--

APPROVED:
--

REVISIONS:

DATE:
MAY 24, 2016

PROJECT NO.:
9014017

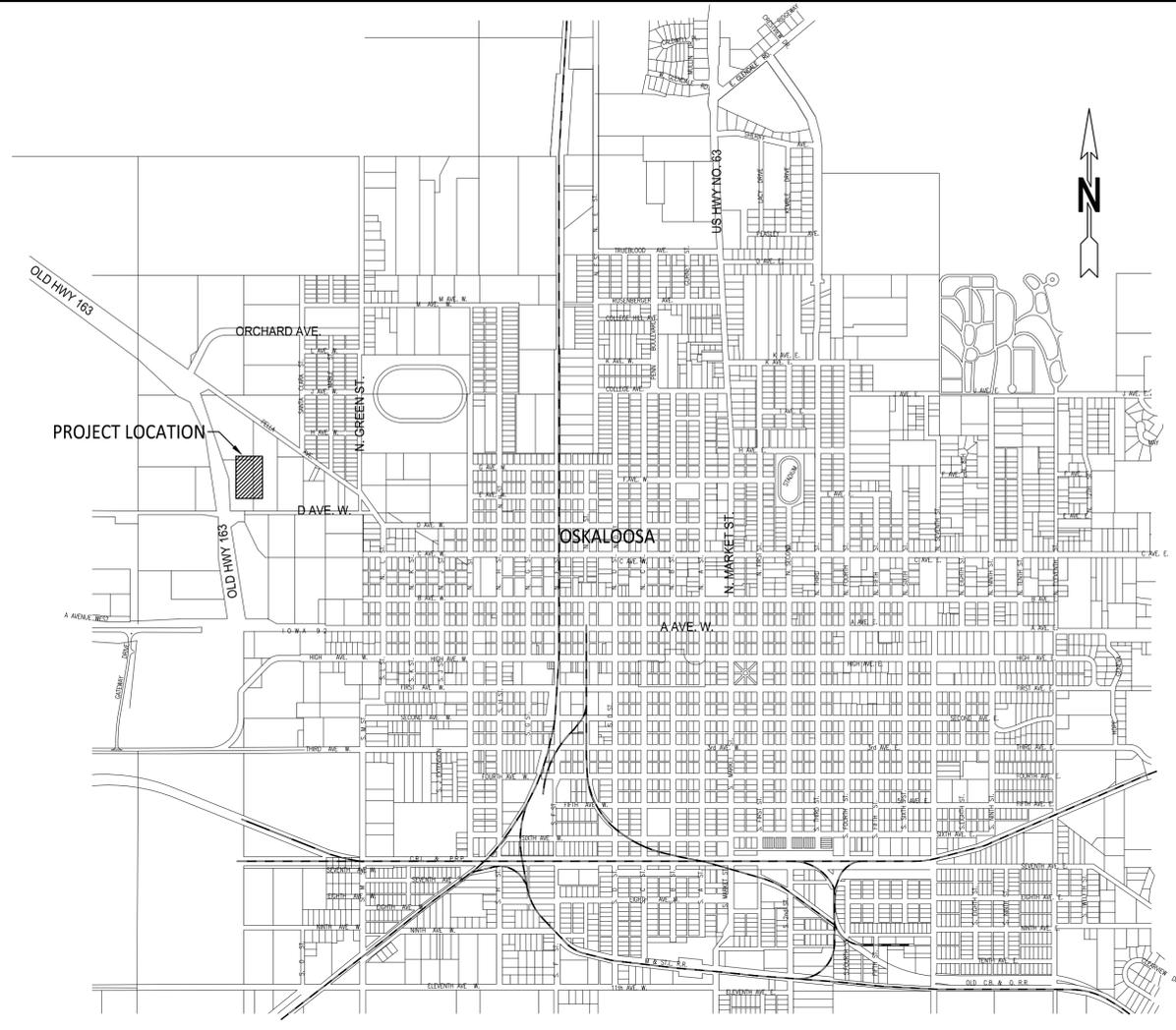
SHEET NO.:
A.01

C:\Projects\1614017 - Mokolite Humana Society - Eng and Surveying for New Oskaloosa Animal Shelter\Drawings\Civil_3D Plan Drawings\Site Plan_1614017.dwg - Plot: 1614017.dwg

GENERAL SYMBOLS LEGEND	
●	= PROPERTY CORNER FOUND
▲	= SECTION CORNER FOUND
---	= EXISTING GROUND CONTOUR LINE
---	= EXISTING WATER LINE (SIZE VARIES)
---	= EXISTING FIRE HYDRANT
---	= EXISTING WATER VALVE
---	= EXISTING WATER SERVICE SHUTOFF
⊙	= EXISTING WATER METER PIT
⊙	= EXISTING WATER WELL
⊙	= WATER METER
---	= EXISTING STORM SEWER LINE (SIZE VARIES)
⊙	= EXISTING STORM SEWER ACCESS
⊙	= EXISTING SEPTIC TANK
⊙	= EXISTING SANITARY SEWER ACCESS
---	= EXISTING SANITARY SEWER MAIN (SIZE VARIES)
⊙	= CLEANOUT
⊙	= ELECTRIC MANHOLE
---	= OVERHEAD ELECTRIC LINE
---	= UNDERGROUND ELECTRIC LINE
⊙	= ELECTRIC METER
---	= FIBEROPTIC LINE
⊙	= TELEPHONE MANHOLE
⊙	= TELEPHONE PEDESTAL
---	= TELEPHONE LINE
⊙	= TELEVISION PEDESTAL
---	= TELEVISION LINE
⊙	= GAS METER
---	= GAS VALVE
---	= EXISTING GAS LINE
⊙	= UTILITY POLE
⊙	= GUY WIRE
⊙	= LUMINAIRE
⊙	= TRANSFORMER
---	= SIGN
⊙	= BOLLARD
---	= RAILROAD GATE OR SIGNAL
⊙	= MAILBOX
---	= FLAGPOLE
---	= DOWNSPOUT
⊙	= TREE OR SHRUB
⊙	= STUMP
---	= FIELD FENCELINE
---	= CHAIN LINK FENCELINE
---	= WOOD FENCELINE
---	= SILT FENCE
⊙	= BENCHMARK OR ELEVATION MARKER
⊙	= PROPERTY CORNER SET
⊙	= SECTION CORNER SET
---	= PROPOSED WATER MAIN (SIZE VARIES)
---	= PROPOSED FIRE HYDRANT
---	= PROPOSED WATER VALVE
---	= PROPOSED WATER SHUTOFF
⊙	= PROPOSED SANITARY SEWER MANHOLE
⊙	= PROPOSED SANITARY SEWER END LINE CLEANOUT
⊙	= PROPOSED SANITARY SEWER DOUBLE CLEANOUT
---	= PROPOSED SANITARY SEWER MAIN (SIZE VARIES)
⊙	= PROPOSED LIFT STATION
---	= PROPOSED SANITARY SEWER FORCE MAIN
⊙	= PROPOSED STORM SEWER ACCESS
---	= PROPOSED STORM SEWER MAIN
---	= PROPOSED SECONDARY STORM SEWER
---	= PROPOSED GROUND CONTOUR LINE
---	= SURFACING REMOVAL
---	= CONCRETE SURFACING REPLACEMENT
---	= FLOW DIRECTION ARROW
---	= FINISH GRADE ELEVATION MARKER

GENERAL ABBREVIATIONS LEGEND	
R/W	= RIGHT OF WAY
R.O.W.	= RIGHT OF WAY
P.C.	= POINT OF CURVATURE
P.I.	= POINT OF INTERSECTION
P.T.	= POINT OF TANGENCY
CL	= CENTERLINE
TC	= TOP OF CURB
GU	= GUTTER
FL	= FLOW LINE
SB	= SOIL BORING
R	= RADIUS
BTM	= BOTTOM
HWL	= HIGH WATER LEVEL
LWL	= LOW WATER LEVEL
EA	= EACH
GPM	= GALLONS PER MINUTE
IN.	= INCHES
FT	= FOOT OR FEET
SF	= SQUARE FEET
LF	= LINEAR FOOT
SY	= SQUARE YARD
CY	= CUBIC YARD
MJ	= MECHANICAL JOINT
PE	= PLAIN END JOINT
FE	= FLANGED JOINT
UT	= UNION TITE JOINT
S.S.	= STAINLESS STEEL
O.C.	= ON CENTER
I.D.	= INSIDE DIAMETER
O.D.	= OUTSIDE DIAMETER
∅	= DIAMETER
∅	= DIAMETER
#	= NUMBER
TYP	= TYPICAL
INV	= INVERT
PVC	= POLYVINYL CHLORIDE PIPE
DIP	= DUCTILE IRON PIPE
CIP	= CAST IRON PIPE
CMP	= CORRUGATED METAL PIPE
RCP	= REINFORCED CONCRETE PIPE

- ### GENERAL NOTES
- ALL WORK SHALL BE IN ACCORDANCE WITH THE SUDAS STANDARD SPECIFICATIONS, 2016 EDITION AND CURRENT SUPPLEMENTAL SPECIFICATIONS AND THE DETAILED SPECIFICATION REQUIREMENTS. SPECIFICATION MANUALS CAN BE ORDERED FROM THE INSTITUTE FOR TRANSPORTATION (FORMERLY CTRE) - ATTENTION: BETH RICHARDS, 2711 SOUTH LOOP DRIVE, SUITE 4700, AMES, IOWA 50010-8664, PHONE: 515-294-2869. SPECIFICATIONS CAN ALSO BE VIEWED AT THE SUDAS WEB SITE (WWW.IOWASUDAS.ORG). ALL WATER MAIN MATERIALS SHALL MEET THE REQUIREMENTS OF THE "STANDARD SPECIFICATIONS FOR WATER MAIN CONSTRUCTION, OSKALOOSA MUNICIPAL WATER DEPARTMENT". CONTRACTOR SHALL HAVE A MINIMUM OF ONE SET OF PLANS AND SPECIFICATIONS ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.
 - NOTIFY AKHILESH PAL, P.E., DIRECTOR OF PUBLIC WORKS, CITY OF OSKALOOSA AT 641-673-7472 TWO WEEKS PRIOR TO COMMENCING WORK ON THE PROJECT. COORDINATE ANY WORK ASSOCIATED WITH THE WATER SYSTEM WITH CHAD COON, GENERAL MANAGER, OSKALOOSA MUNICIPAL WATER DEPARTMENT - PHONE: (641)673-8476.
 - COORDINATE WORK AND COOPERATE WITH CITY PERSONNEL AND ENGINEER.
 - LOCATION OF EXISTING UTILITIES IS APPROXIMATE. VERIFY LOCATION OF EXISTING UTILITIES IN LINE OF CONSTRUCTION PRIOR TO BEGINNING CONSTRUCTION BY EXCAVATING AHEAD OF WORK. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES LOCATED IN THE WORK ZONE DURING CONSTRUCTION AT LEAST 48 HOURS PRIOR TO EXCAVATION.
 - PROTECT ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION UNLESS OTHERWISE SHOWN ON PLANS. ANY UTILITIES DAMAGED DUE TO CONTRACTOR'S NEGLIGENCE WILL BE REPAIRED AT CONTRACTOR'S EXPENSE.
 - THERE MAY BE BURIED UTILITIES NOT SHOWN ON PLANS THAT ARE IN LINE OF CONSTRUCTION.
 - NOTIFY PROPERTY OWNERS 48 HOURS IN ADVANCE IF ACCESS TO PROPERTY WILL BE INTERRUPTED. ACCESS TO PRIVATE PROPERTY SHALL BE MAINTAINED AT ALL TIMES FOR EMERGENCY VEHICLES. PROVIDE PEDESTRIAN ACCESS TO RESIDENCES AND BUSINESSES DURING THE CONSTRUCTION PERIOD.
 - CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND THE CITY OF OSKALOOSA REQUIREMENTS AND SPECIFICATION SECTION 1070 2.06. TRAFFIC CONTROL SHALL CONSIST OF BARRICADES, SIGNAGE AND LIGHTS AS NECESSARY TO PROTECT VEHICLES AND PEDESTRIAN TRAFFIC. CONTRACTOR SHALL MAINTAIN, CLEAN AS NECESSARY AND REPLACE DAMAGED TRAFFIC CONTROL DEVICES THROUGHOUT DURATION OF THE PROJECT. STREET CLOSURES SHALL BE PERMITTED IN ACCORDANCE WITH SPECIFICATION SECTION 1070 2.06 B. SIDEWALK PATHS DISRUPTED BY CONSTRUCTION SHALL BE CLOSED TO PEDESTRIANS IN ACCORDANCE WITH IDOT STANDARD ROAD PLAN TC-601.
 - CONTRACTOR SHALL PRESERVE ALL MONUMENTS, STAKES, REFERENCE POINTS AND BENCHMARKS. IN CASE OF DESTRUCTION DUE TO CONTRACTOR'S NEGLIGENCE OR CARELESSNESS, CONTRACTOR WILL BE RESPONSIBLE FOR COST OF REPLACEMENT, ERRORS RESULTING FROM SAID DESTRUCTION, AND/OR LOSS OF TIME.
 - SIGNS AND SIGN POSTS IN LINE OF CONSTRUCTION SHALL BE REMOVED, SALVAGED, AND STORED BY THE CONTRACTOR. UPON COMPLETION OF CONSTRUCTION, REPLACE SIGNS AT A LOCATION DETERMINED BY THE OWNER. SIGNS SHALL BE RESET IN A MINIMUM 4 FOOT DEEP BY 12 INCH DIAMETER GRAVEL PACKED HOLE. REMOVAL AND RESETTING OF SIGNS IS INCIDENTAL TO CONSTRUCTION. COORDINATE SIGN WORK WITH JURISDICTION.
 - CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW SEWER AND EXISTING SEWERS. SHOULD MUD, DIRT, DEBRIS, OR OTHER MATERIAL ENTER THE NEW SEWER CONSTRUCTION OR EXISTING SEWERS, CONTRACTOR SHALL CLEAN AT NO COST TO OWNER.
 - REMOVE TREES AND STUMPS AS SHOWN ON PLANS. PROTECT TREES NOT SHOWN FOR REMOVAL. TRIM TREE CANOPIES ONLY WITH APPROVAL OF JURISDICTION. TRIMMING OF TREE CANOPIES IS INCIDENTAL TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL DEBRIS RESULTING FROM TREE/STUMP REMOVAL AND TRIMMING.
 - CONTRACTOR SHALL DISPOSE OF ALL CONSTRUCTION DEBRIS, UNSUITABLE TRENCH BACKFILL MATERIAL AND EXCESS EXCAVATED MATERIAL. DISPOSAL SHALL MEET FEDERAL, STATE AND LOCAL SAFETY, HEALTH AND ENVIRONMENTAL REQUIREMENTS. WORK IS INCIDENTAL TO CONSTRUCTION.
 - CONTRACTOR RESPONSIBLE FOR MAINTAINING THE AS-BUILT LOCATION OF ALL UTILITIES.
 - CONCRETE MIX SHALL BE IDOT C-3WR-C OR C-4WR-C FOR ALL PAVEMENT, DRIVEWAYS AND SIDEWALKS. COARSE AGGREGATE SHALL BE CLASS 3 DURABILITY. USE OF FLY ASH AND GROUND GRANULATED BLAST FURNACE SLAG (GGBS) SHALL BE IN ACCORDANCE WITH SECTION 7010 2.02 C OF THE SPECIFICATIONS.
 - COARSE AND FINE AGGREGATES SHALL BE FURNISHED FROM AN APPROVED SOURCE IN ACCORDANCE WITH THE SPECIFICATIONS. METHOD OF ACCEPTANCE FOR COARSE AND FINE AGGREGATES SHALL BE BY QUALITY CERTIFICATION FURNISHED BY THE CONTRACTOR. CERTIFIED PLANT INSPECTION IS NOT REQUIRED.
 - CONTRACTOR SHALL BE RESPONSIBLE PARTY FOR ALL TESTING AND RE-TESTING OF P.C. CONCRETE REQUIRED BY THE SPECIFICATIONS INCLUDING; AIR CONTENT, SLUMP, AND CYLINDERS.
 - CONSTRUCT ALL NEW SIDEWALKS IN ACCORDANCE WITH THE SPECIFICATIONS AND ADA (AMERICANS WITH DISABILITIES ACT) REQUIREMENTS.
 - REMOVE EXISTING SEWER LINES IN LINE OF CONSTRUCTION. INCLUDE COST OF REMOVAL IN UNIT PRICE FOR NEW PIPES IN PLACE. REMOVAL OF PIPES FOR CONNECTION OF EXISTING LINES TO NEW MANHOLES IS INCIDENTAL TO CONSTRUCTION.
 - SANITARY SEWER GRAVITY MAIN PIPE MATERIAL SHALL BE SOLID WALL PVC (SDR 35) AS SPECIFIED IN SECTION 4010 2.01 A, TRUSS TYPE PVC AS SPECIFIED IN SECTION 4010 2.01 E OR DOUBLE WALLED POLYPROPYLENE AS SPECIFIED IN SECTION 4020 2.01 I. SANITARY SEWER SERVICE PIPE SHALL BE SOLID WALL PVC (SDR 23.5).
 - TEST NEW SANITARY SEWERS IN ACCORDANCE WITH SPECIFICATIONS. REQUIRED TESTS:
A) VISUAL INSPECTION (4060 3.02)
B) VIDEO INSPECTION (4060 3.03)
C) SANITARY SEWER LEAKAGE TESTING (4060 3.04)
D) DEFLECTION TESTING (4060 3.05)
E) SANITARY SEWER MANHOLE TESTING (6030 3.04)
 - ELEVATIONS SHOWN FOR MANHOLE TOPS ARE APPROXIMATE. MAKE FINAL ADJUSTMENTS IN FIELD AS DIRECTED BY JURISDICTION.
 - SANITARY SEWER MANHOLE CASTINGS ARE TO BE ANCHORED AND BOLTED TO THE STRUCTURE IN ACCORDANCE WITH THE STANDARD DRAWINGS. SANITARY MANHOLES: USE SH-601 TYPE A CASTING FOR ALL MANHOLES IN NON PAVED SURFACES AND SW-601 TYPE B CASTING FOR MANHOLES IN PAVED SURFACES. USE BOLT DOWN COVERS (TYPE C OR D) ONLY WHERE SHOWN ON PLANS. INSTALL INFILTRATION BARRIER (INTERNAL CHIMNEY SEAL) ON ALL SANITARY SEWER MANHOLES; INCLUDE COST IN UNIT PRICE FOR MANHOLE.
 - FERTILIZE, SEED AND MULCH ALL AREAS DISTURBED BY CONSTRUCTION. USE TYPE 1 LAWN MIXTURE.
 - BYPASSING OF UNTREATED WASTE WATER TO THE GROUND SURFACE OR DRAINAGE WAYS WILL NOT BE ALLOWED. PROVIDE TEMPORARY PIPING OR PUMPING AS REQUIRED TO KEEP THE EXISTING SANITARY SEWER SYSTEM IN OPERATION AT ALL TIMES DURING CONSTRUCTION. NO SEPARATE PAYMENT FOR TEMPORARY PIPING OR PUMPING WILL BE MADE. COST IS CONSIDERED INCIDENTAL TO CONSTRUCTION.



PROJECT LOCATION MAP
APPROX. SCALE: 1" = 1,000'

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SITE DEVELOPMENT PLAN
STEPHEN ANIMAL SHELTER
OSKALOOSA, IOWA

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SHEET TITLE
**LEGEND, LOCATION
MAP AND GENERAL
NOTES**

SCALE:
AS NOTED

FIELD BOOK:
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DRAWN BY:
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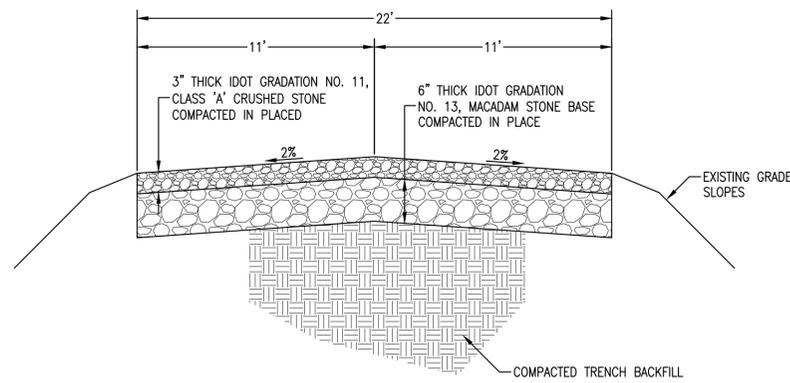
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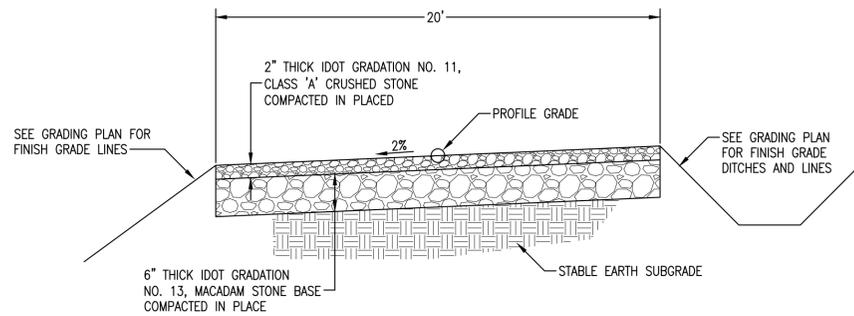
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PROJECT NO.:
9014017

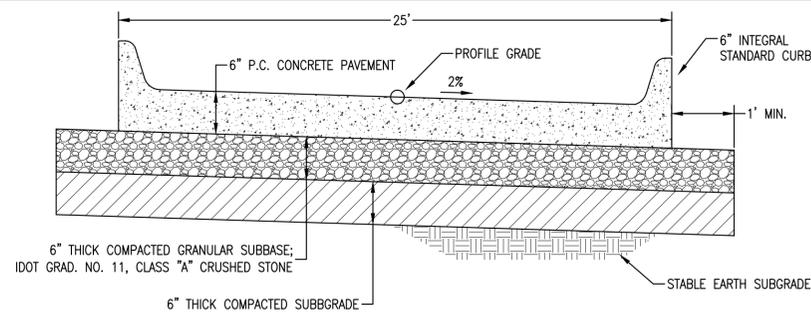
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A.02



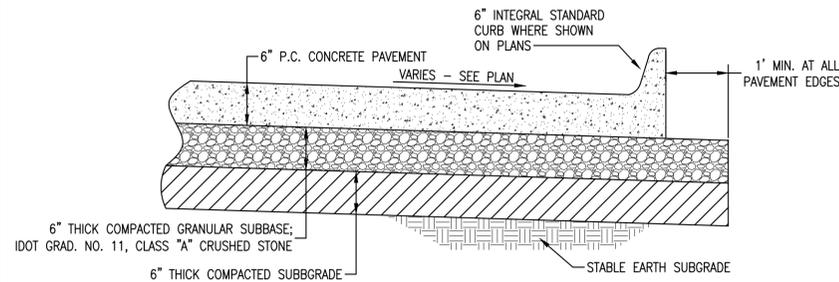
D AVENUE WEST - TYPICAL SECTION RESURFACING



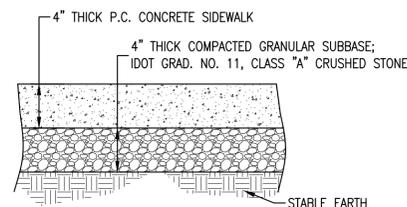
SOUTH ACCESS DRIVE - TYPICAL SECTION



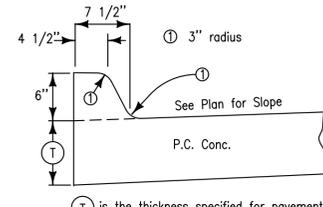
TYPICAL MAIN ENTRANCE ROAD SECTION



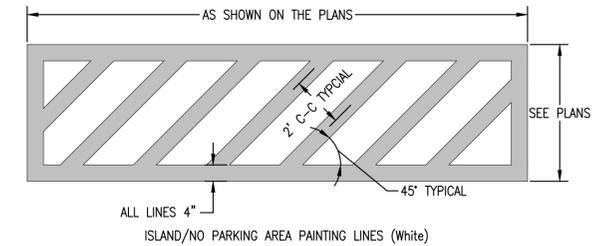
TYPICAL P.C. CONCRETE PARKING LOT SECTION



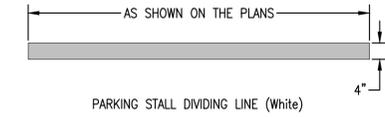
TYPICAL P.C. CONCRETE SIDEWALK SECTION



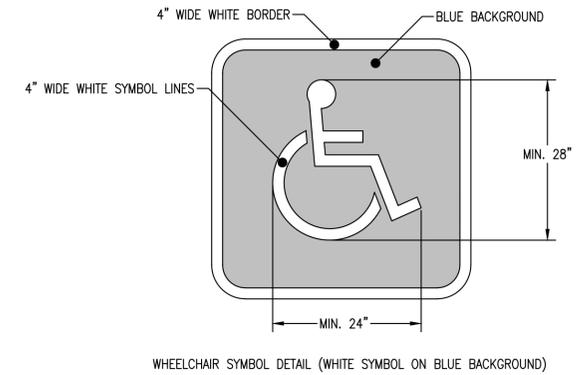
INTEGRAL 6" STANDARD CURB



ISLAND/NO PARKING AREA PAINTING LINES (White)

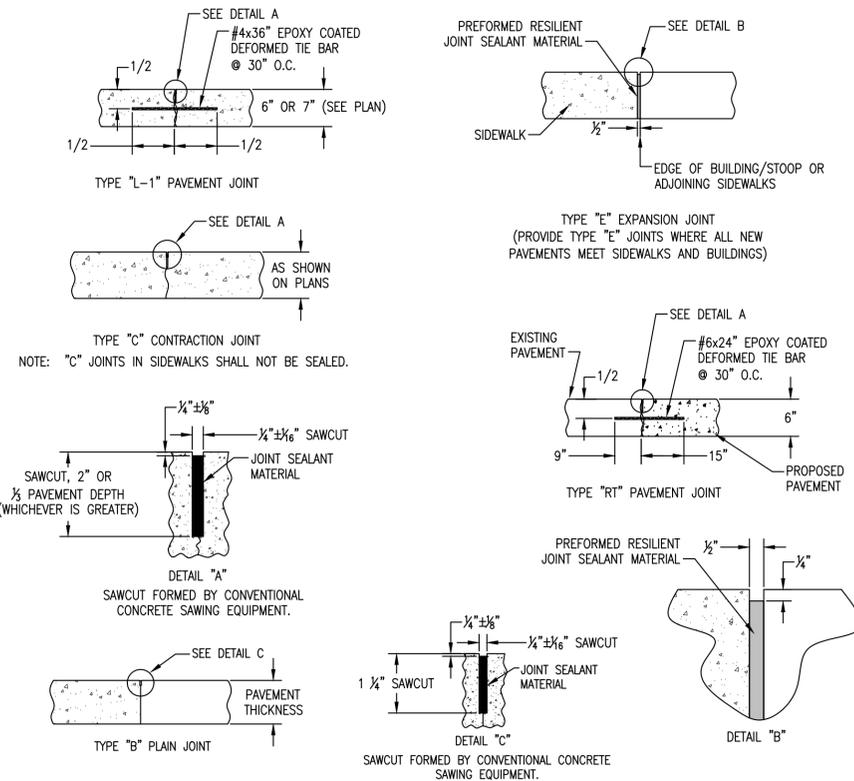


PARKING STALL DIVIDING LINE (White)

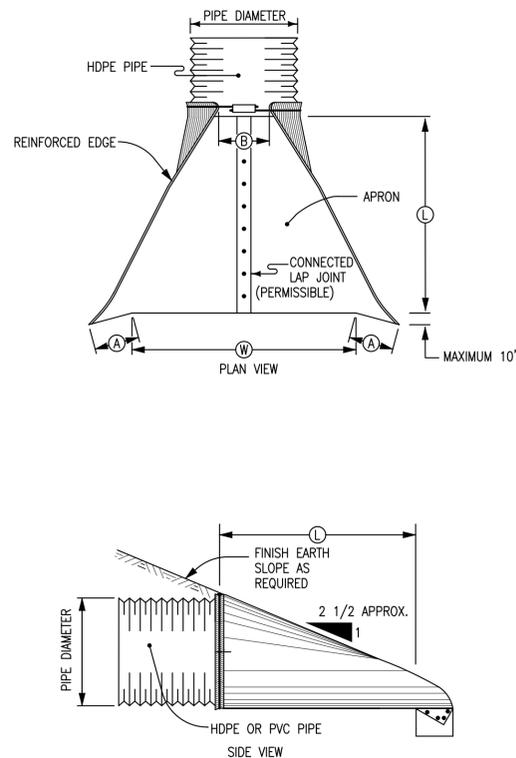


WHEELCHAIR SYMBOL DETAIL (WHITE SYMBOL ON BLUE BACKGROUND)

PAINTED PAVEMENT MARKINGS (LINES AND SYMBOLS)

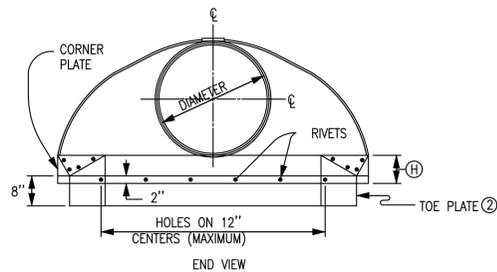


CONCRETE PAVEMENT JOINTS

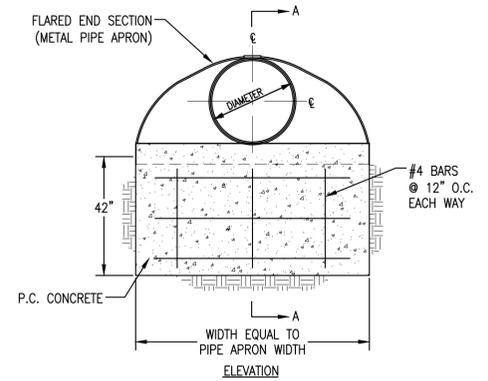


DIMENSIONS					
PIPE DIAM. (±1")	A (±1")	B MAX.	H (±1")	L (±1 1/2")	W (±2")
12"	6"	8"	6"	22"	24"
15"	6"	8"	6"	26"	30"
18"	7"	9"	6"	31"	36"
21"	8 1/4"	11"	6"	36"	42"
24"	9 1/2"	12"	6"	42"	48"

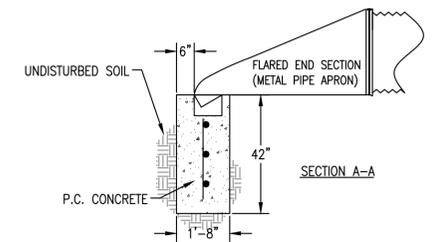
GENERAL NOTE
METAL PIPE APRONS AND HARDWARE SHALL BE CONSTRUCTED OF GALVANIZED STEEL ACCORDING TO THE SPECIFICATIONS.



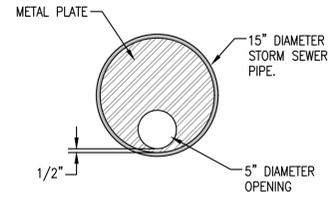
METAL PIPE APRON AND FLARED END SECTION FOOTING



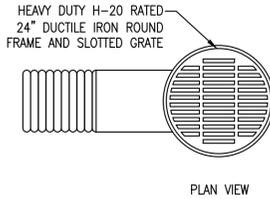
ELEVATION



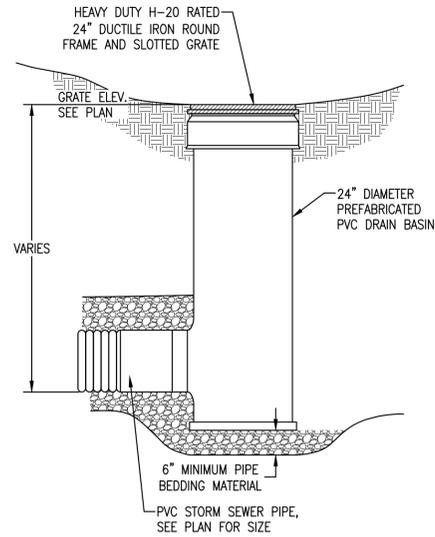
SECTION A-A



ORIFICE PLATE DETAIL

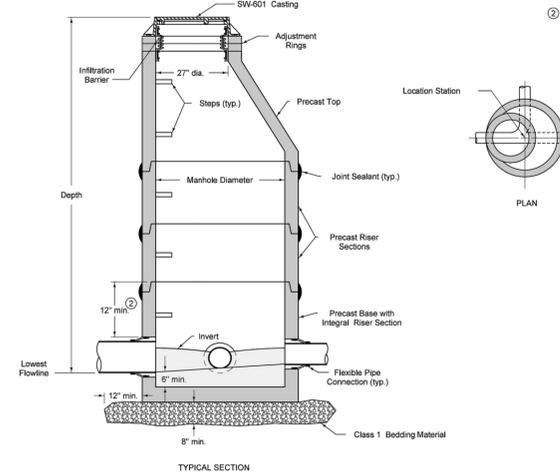


PLAN VIEW



PVC AREA DRAIN

NOTE: INFILTRATION BARRIER REQUIRED AS SPECIFIED FOR ALL NEW SANITARY SEWER MANHOLES.



- ① For additional configurations, maintain a minimum of 12 inches of concrete between vertical edges of pipe openings.
- ② 12 inch minimum riser height above all pipe openings.

Manhole Diameter (inches)	Maximum Pipe Diameter (inches) for 2 Pipes	
	At 180° Separation	At 90° Separation
48	24	18
60	30	24
72	42	30
84	48	36
96	60	42

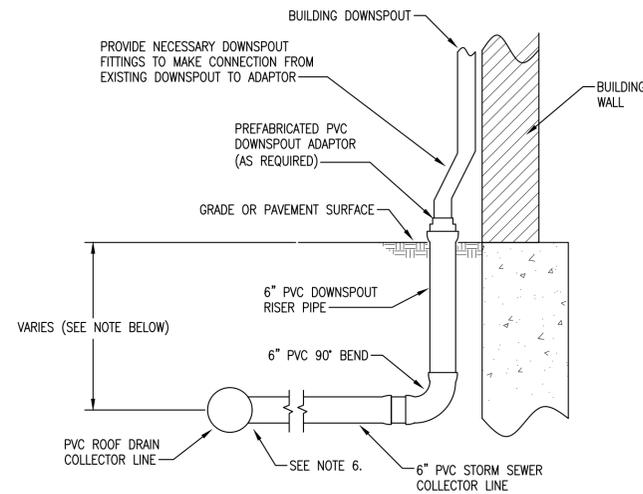
FIGURE 601.301 STANDARD ROAD PLAN SHEET 1 OF 1

 REVISIONS: Added reference to SW-514.

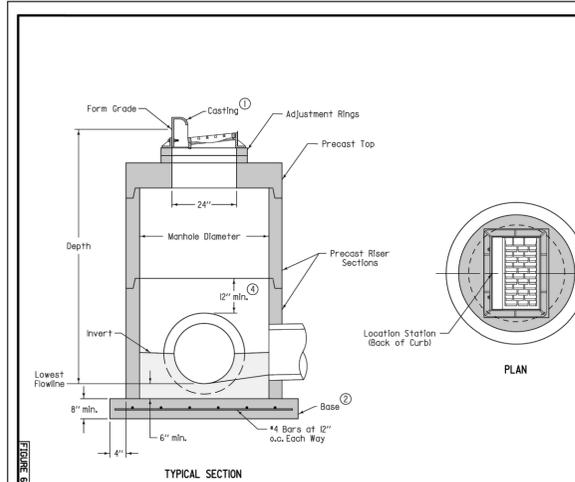
 CASTINGS FOR CIRCULAR SANITARY SEWER MANHOLE

NOTES

1. ALL DOWNSPOUT CONNECTOR PIPE MATERIALS SHALL BE PVC AS SPECIFIED.
2. USE TEES, WYES AND BENDS AS NECESSARY TO MAKE CONNECTION FROM RISER PIPE TO STORM SEWER PIPE.
3. INSTALL COLLECTOR LINE WITH MINIMUM 1% GRADE TO CONNECTION AT STORM SEWER MAIN.
4. SEE STORM SEWER PLAN STORM SEWER ELEVATIONS.
5. INSTALL COLLECTOR LINE WITH MINIMUM 3.5' OF COVER. VERIFY LOCATION OF OTHER UTILITIES PRIOR TO INSTALLATION OF COLLECTOR LINES TO AVOID CONFLICTS.
6. WHEN CONNECTING PVC DOWNSPOUT CONNECTOR TO PVC STORM SEWER MAIN, USE PREFABRICATED PVC WYE OR TEE.



BUILDING DOWNSPOUT CONNECTION AND LINE INSTALLATION DETAIL



Refer to SW-54 for boxout details.

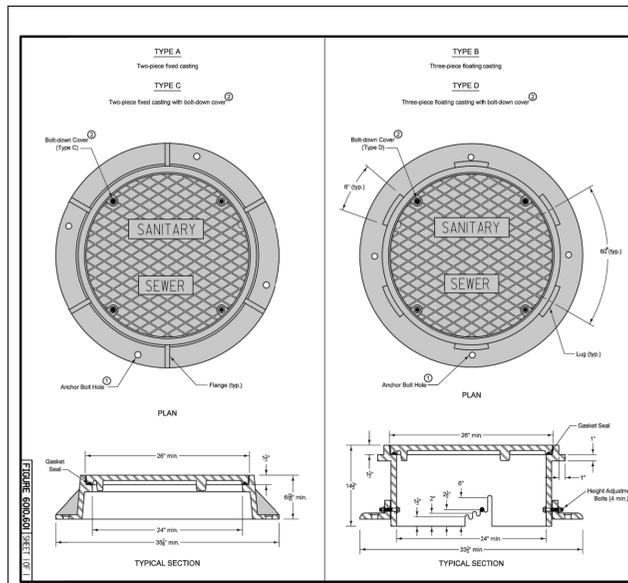
- ① SW-603 Type R unless Type Q is specified in the contract documents.
- ② Cast-in-place base shown. Base may be square, if base is precast integral with walls, the footprint of the base is not required to extend beyond the outer edge of the walls.
- ③ For additional configurations, maintain a minimum of 12 inches of concrete between vertical edges of pipe openings.
- ④ 12 inch minimum riser height above all pipes.

Manhole Diameter (inches)	Maximum Pipe Diameter (inches) for 2 Pipes	
	at 180° Separation	at 90° Separation
48	24	18
60	30	24
72	42	30
84	48	36
96	60	42

FIGURE 601.502 STANDARD ROAD PLAN SHEET 1 OF 1

 REVISIONS: Added reference to SW-514.

 CASTINGS FOR CIRCULAR SINGLE GRATE INTAKE

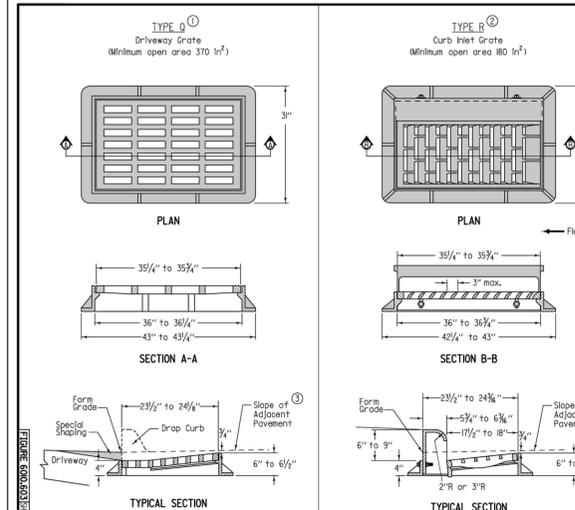


- Frame Notes:
Size and spacing of legs and flanges may vary.
- Cover Notes:
Roughness pattern and text style may vary.
Minimum one concealed pichole.
- ① When the contract documents require the frame to be attached to the structure, use four 2" diameter holes or slots, equally spaced around frame.
 - ② If specified, furnish bolt-down frame and cover with four 2" x 2" stainless steel, hex head, recessed cap screws. Secure cover with screws, washers, and rubber gasket seals.
 - ③ Set casting at proper grade using one of the adjustment slots. Remove bolts upon completion of paving.

FIGURE 601.A01 STANDARD ROAD PLAN SHEET 1 OF 1

 REVISIONS: None.

 CASTINGS FOR SANITARY SEWER MANHOLES

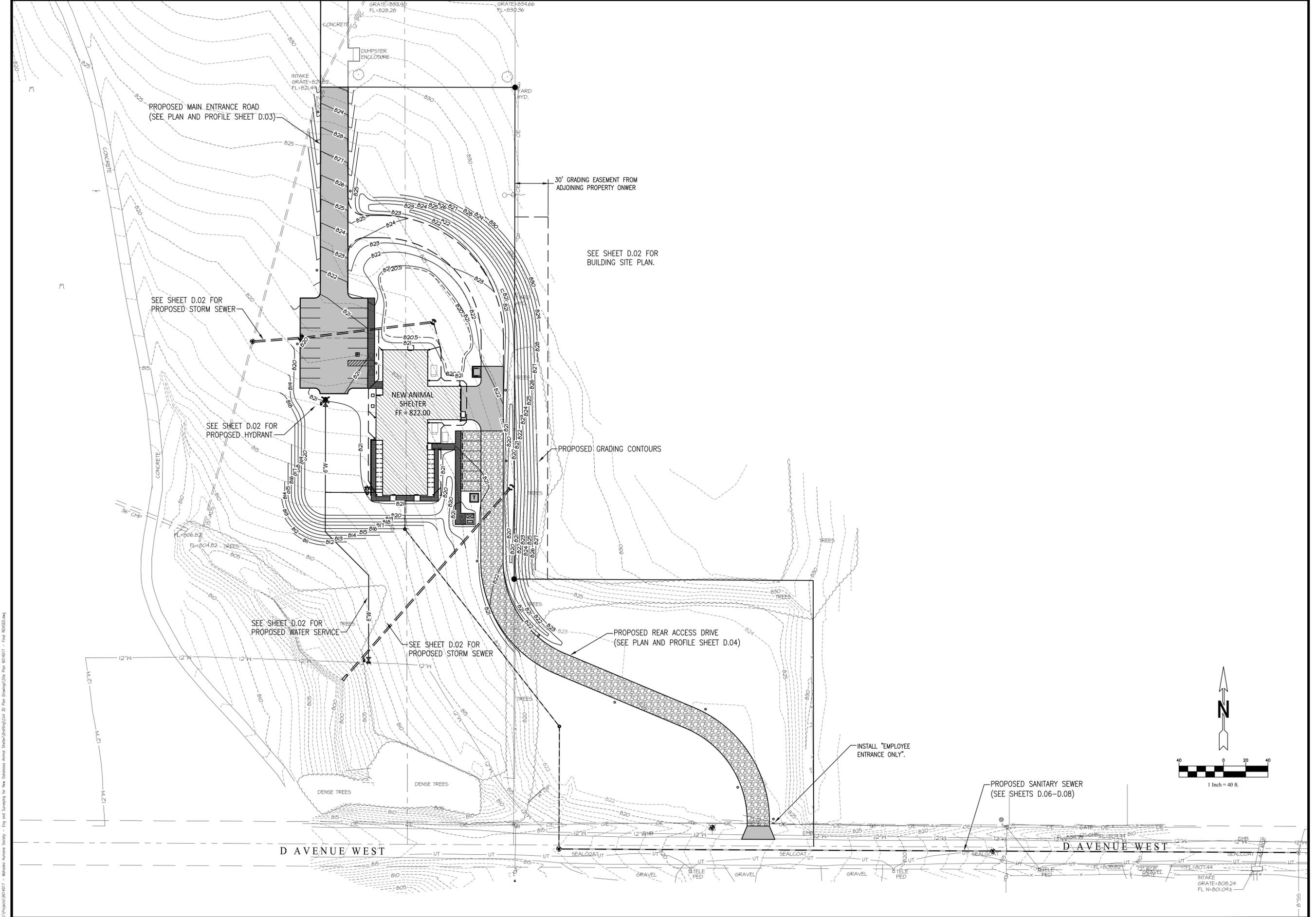


- ① For use at curb drops for driveways. Use only when specified in the contract documents.
- ② Provide bicycle-safe vane-style grates. At low points, grates with vanes facing both directions of flow are allowed.
- ③ For details of boxout pavement, refer to SW-54.

FIGURE 601.A02 STANDARD ROAD PLAN SHEET 1 OF 2

 REVISIONS: None.

 CASTINGS FOR GRATE INTAKES



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SITE DEVELOPMENT PLAN
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SHEET TITLE
OVERALL SITE PLAN

SCALE:
 1" = 40'

FIELD BOOK:
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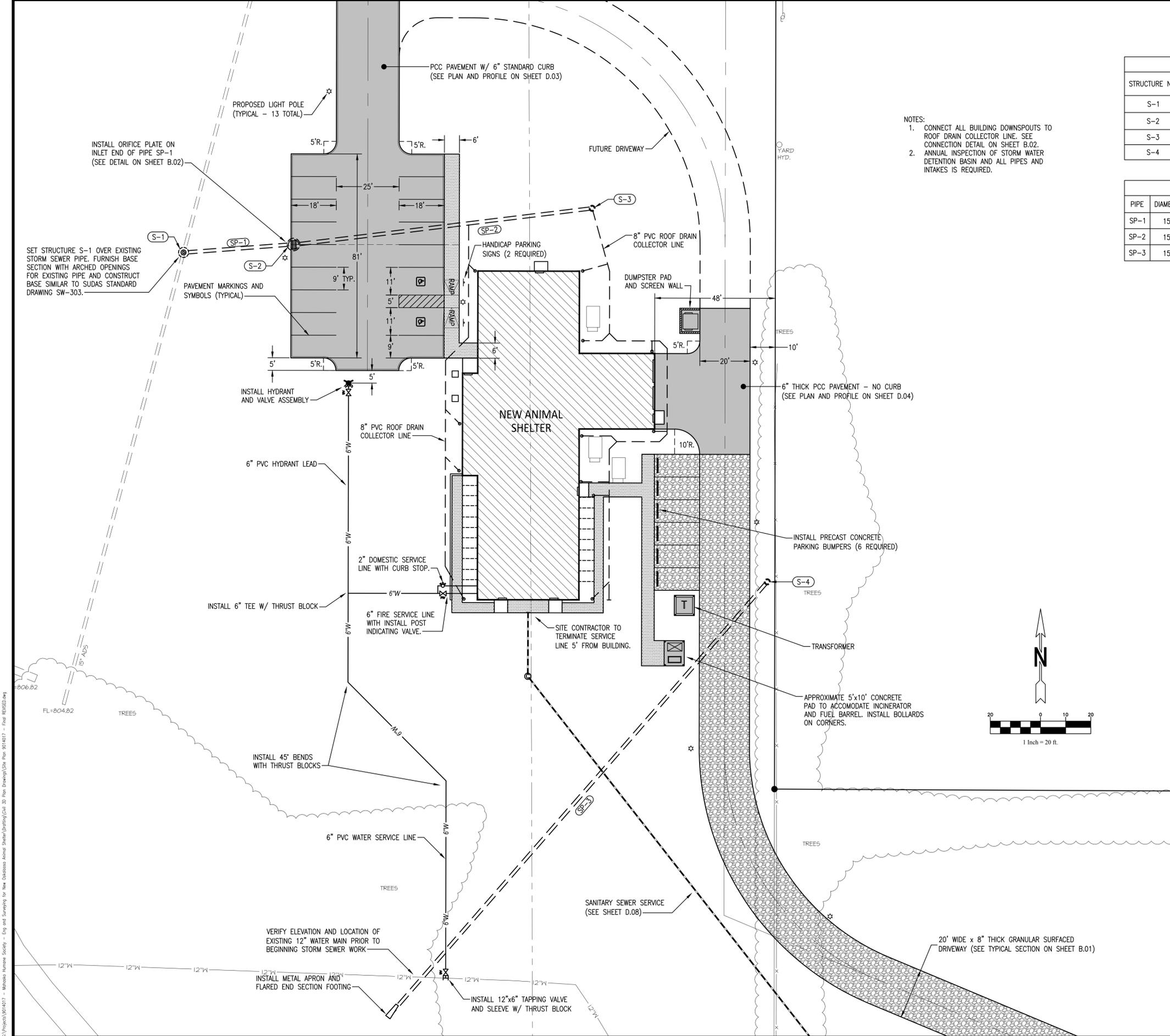
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DATE:
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PROJECT NO.:
 9014017

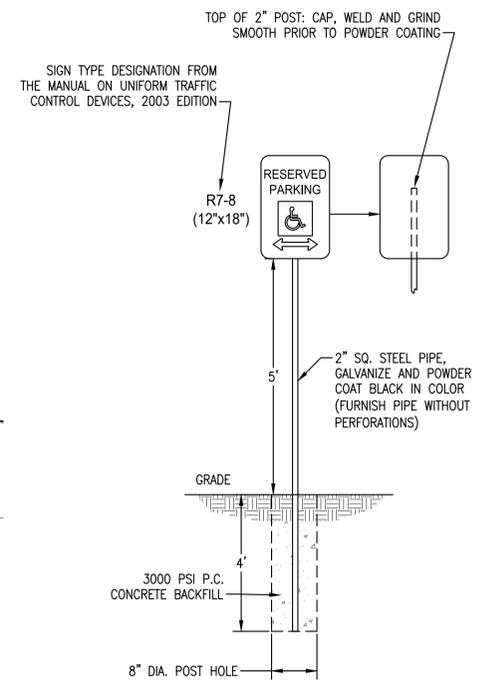
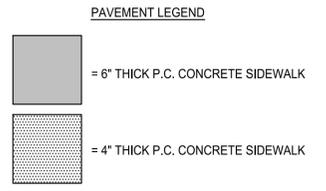
SHEET NO.:
D.01



STORM SEWER STRUCTURE TABLE				
STRUCTURE NO.	NORTHING	EASTING	TOP OF CURB OR RIM ELEV.	STRUCTURE TYPE
S-1	34456.74	23357.28	819.17	SW-401 MANHOLE, 48" DIA.
S-2	34459.90	23400.05	820.41	SW-502 INTAKE, 48" DIA.
S-3	34474.26	23519.93	819.50	PVC AREA DRAIN
S-4	34325.94	23589.67	819.25	PVC AREA DRAIN

STORM SEWER PIPE TABLE								
PIPE	DIAMETER	MATERIAL	FROM	TO	LENGTH	SLOPE	PIPE E. IN	PIPE E. OUT
SP-1	15"	PVC or HDPE	S-2	S-1	41.9 LF	5.00%	815.66	813.57
SP-2	15"	PVC or HDPE	S-3	S-2	118.8 LF	0.50%	816.35	815.76
SP-3	15"	PVC or HDPE	S-4		229.6 LF	6.10%	814.00	800.00

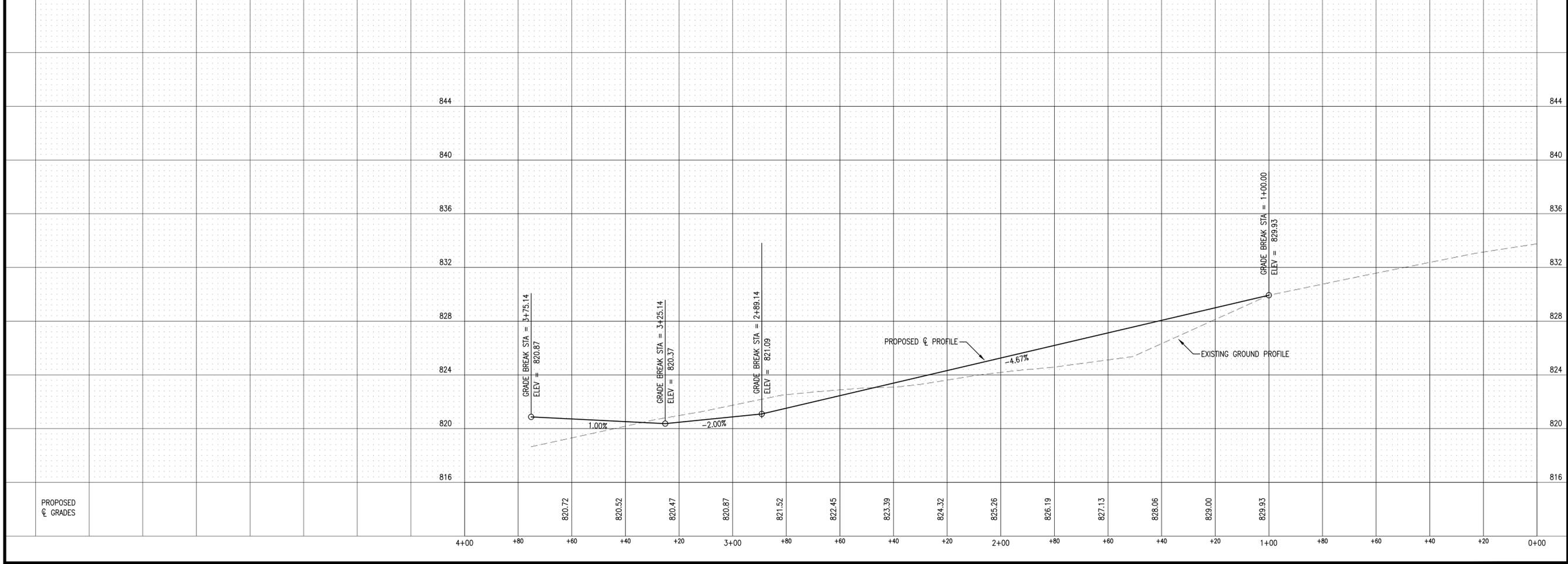
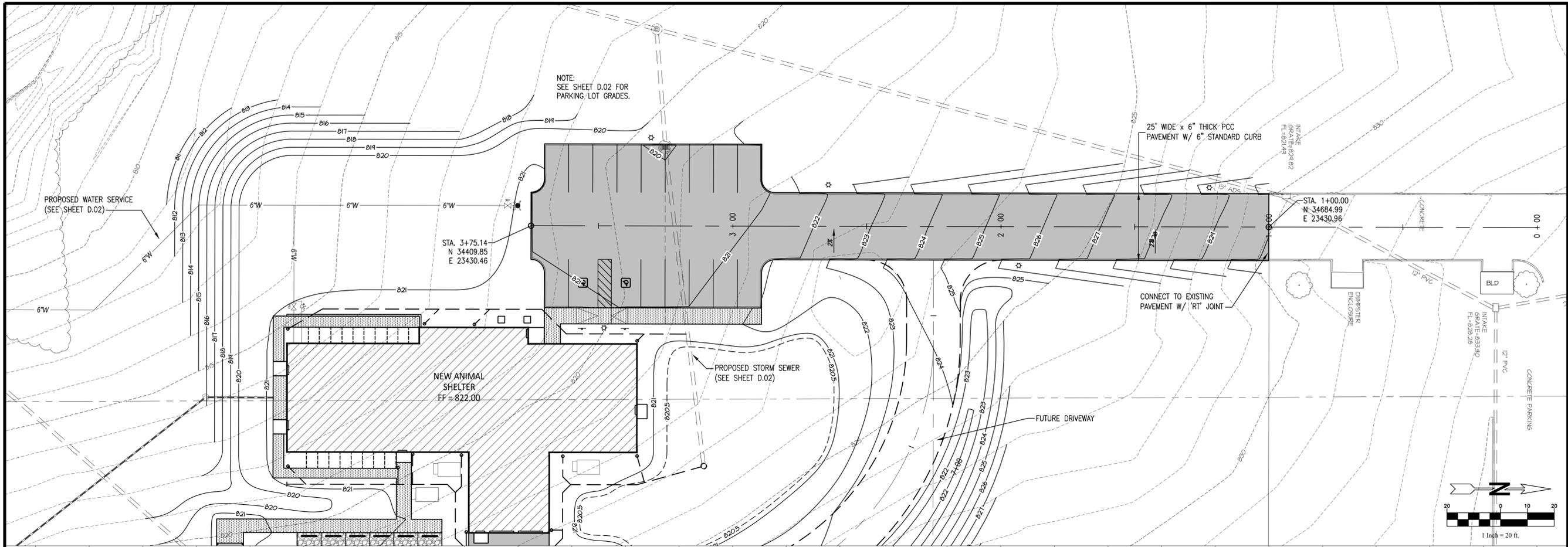
- NOTES:
- CONNECT ALL BUILDING DOWNSPOUTS TO ROOF DRAIN COLLECTOR LINE. SEE CONNECTION DETAIL ON SHEET B.02.
 - ANNUAL INSPECTION OF STORM WATER DETENTION BASIN AND ALL PIPES AND INTAKES IS REQUIRED.



TYPICAL RESERVED PARKING SIGN DETAIL AND INSTALLATION

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SITE DEVELOPMENT PLAN
STEPHEN ANIMAL SHELTER
OSKALOOSA, IOWA

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SHEET TITLE
**MAIN ENTRANCE
ROAD PLAN AND
PROFILE**

SCALE:
1" = 20' HOR. 1" = 4' VERT.

FIELD BOOK: ..

DRAWN BY: ..

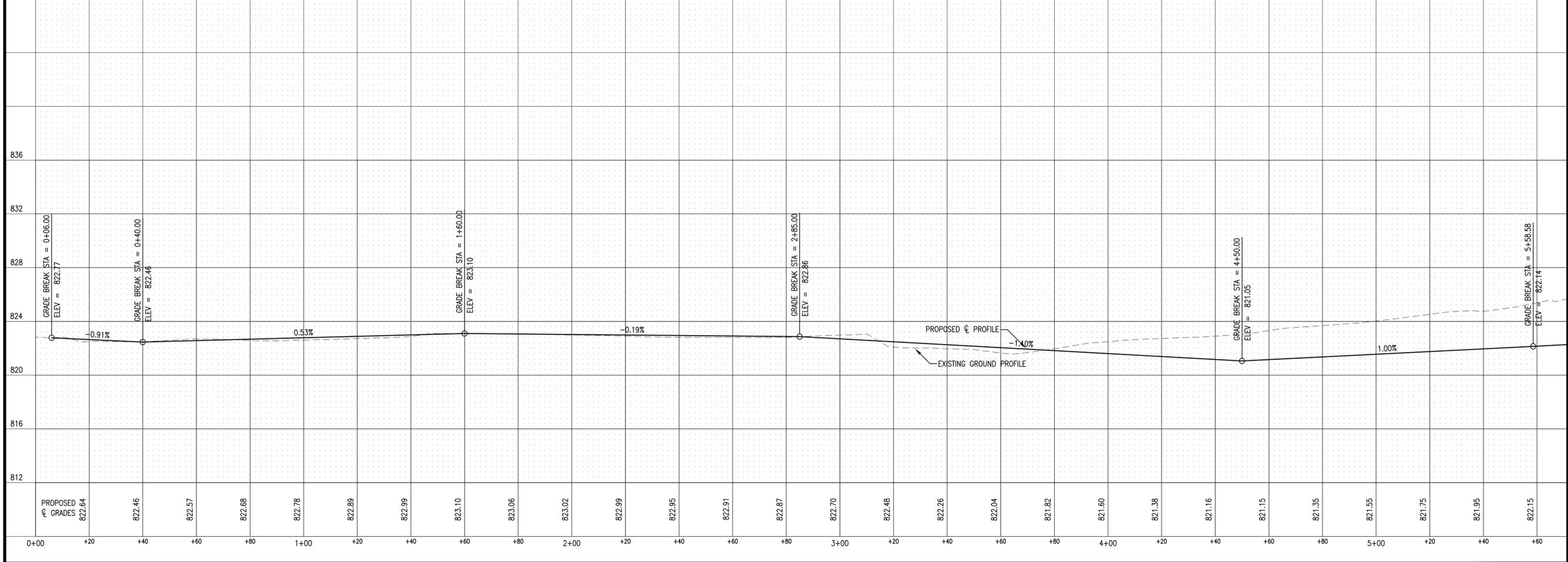
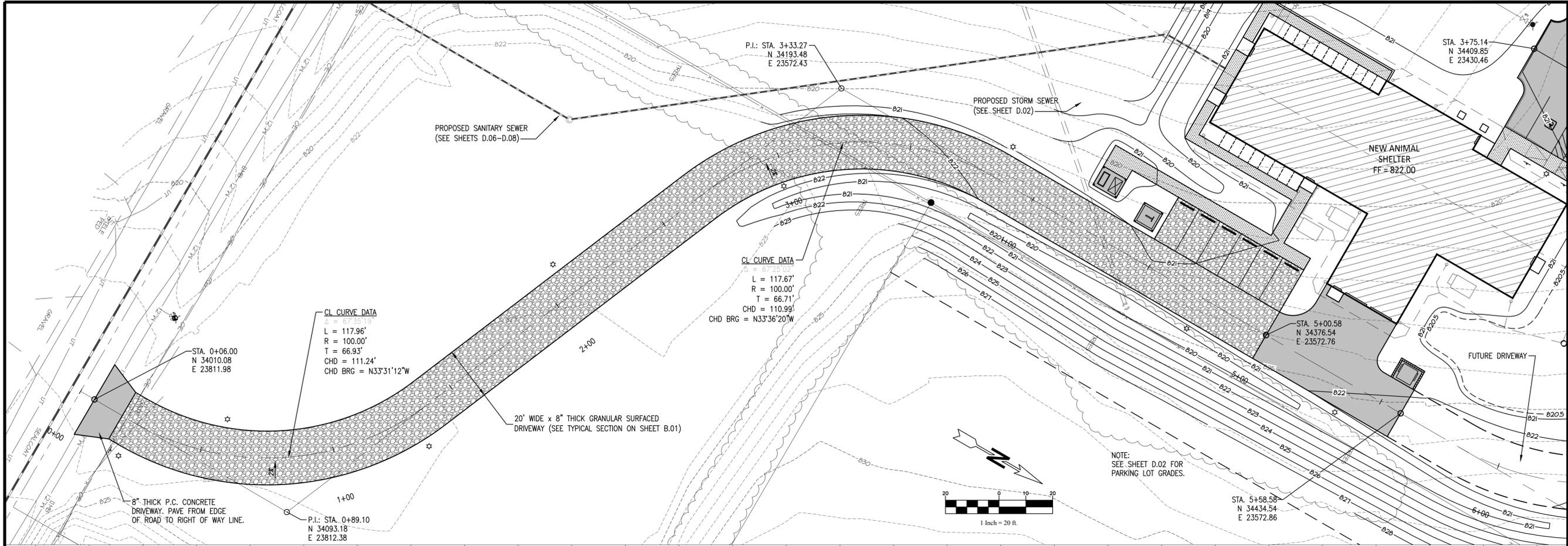
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REVISIONS:

DATE:
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PROJECT NO.:
9014017

SHEET NO.:
D.04



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SHEET TITLE
REAR ACCESS
DRIVE PLAN AND
PROFILE

SCALE:
 1" = 20' HOR. 1" = 4' VERT.

FIELD BOOK:

DRAWN BY:

APPROVED:

REVISIONS:

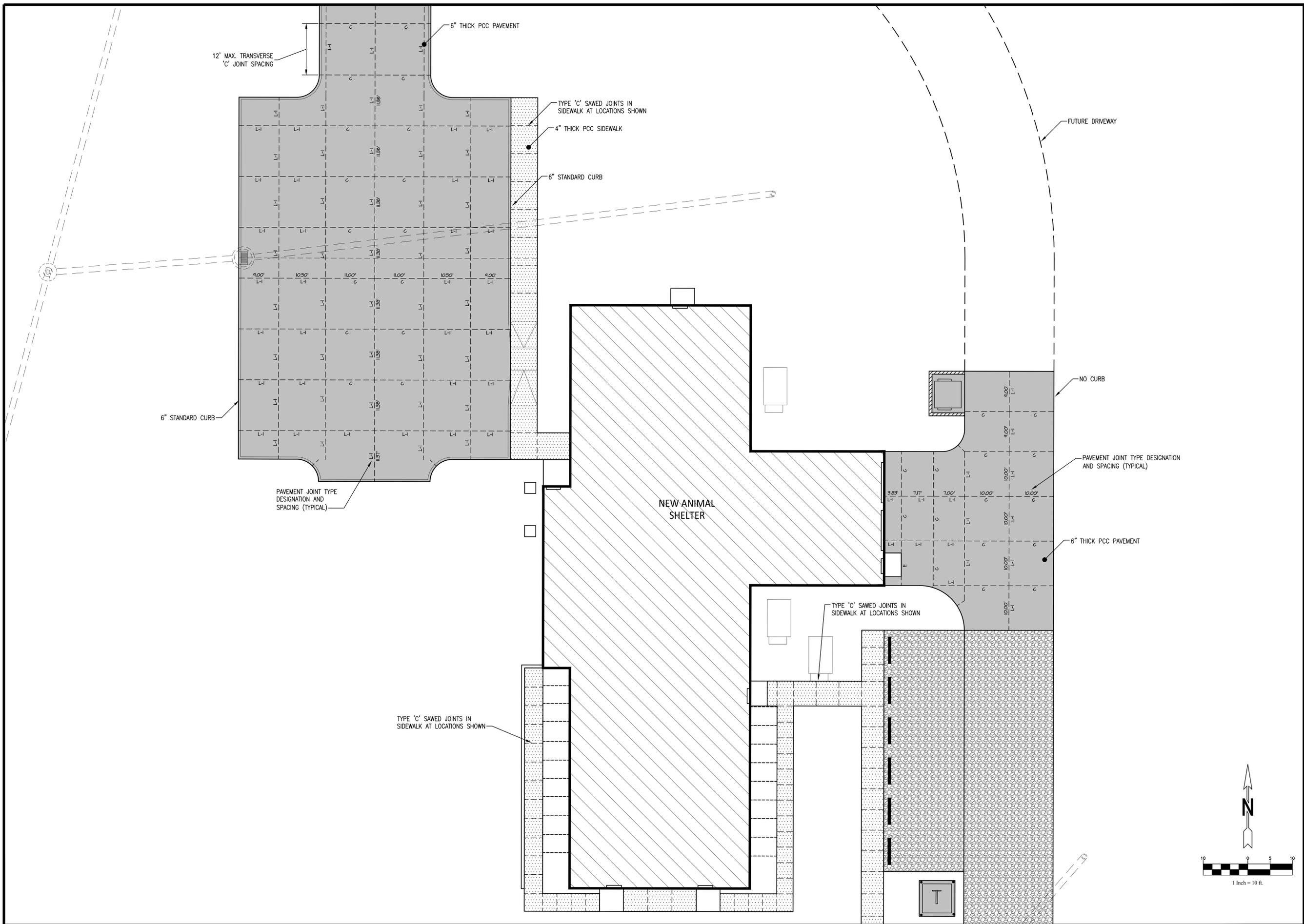
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PROJECT NO.:
 9014017

SHEET NO.:
D.05

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SHEET TITLE
PAVEMENT JOINTING PLAN

SCALE:
 1" = 10'

FIELD BOOK:
 --

DRAWN BY:
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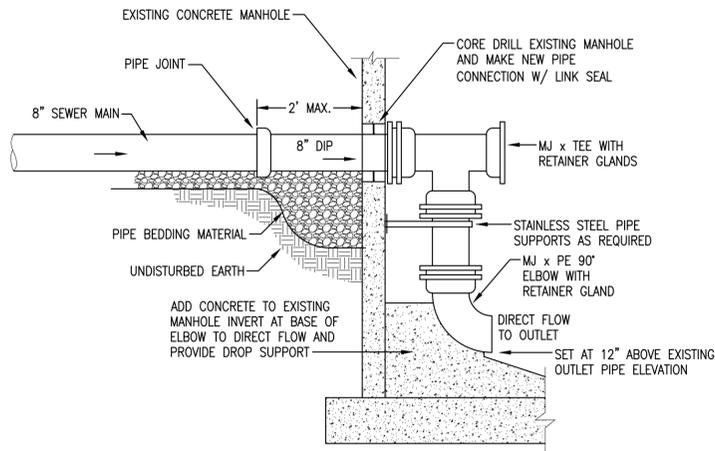
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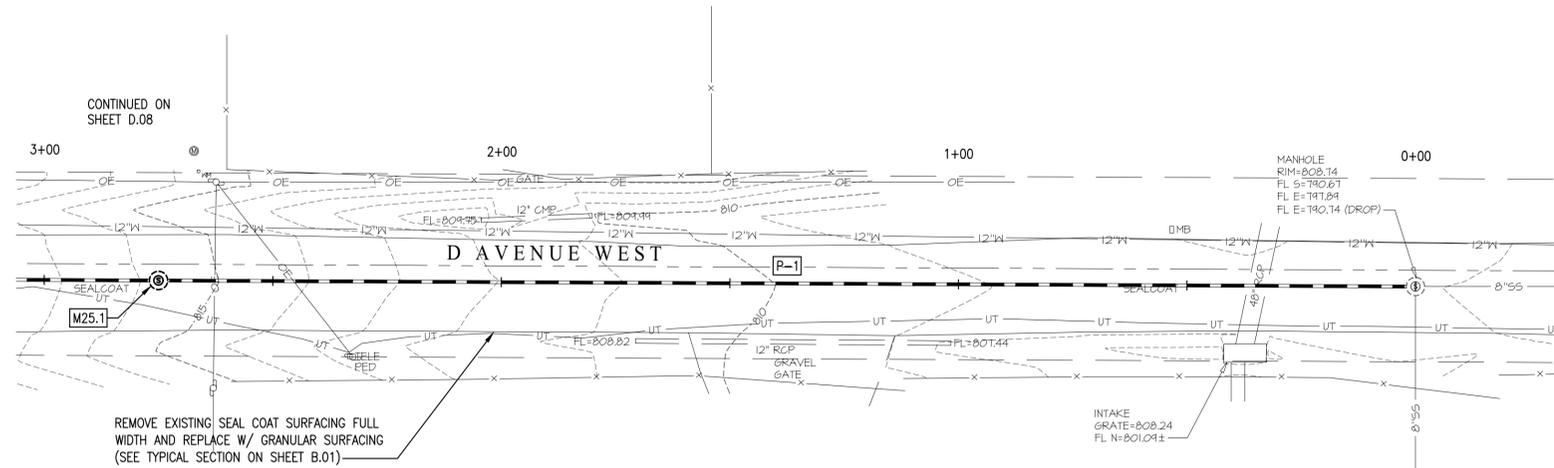
DATE:
 MAY 24, 2016

PROJECT NO.:
 9014017

SHEET NO.:
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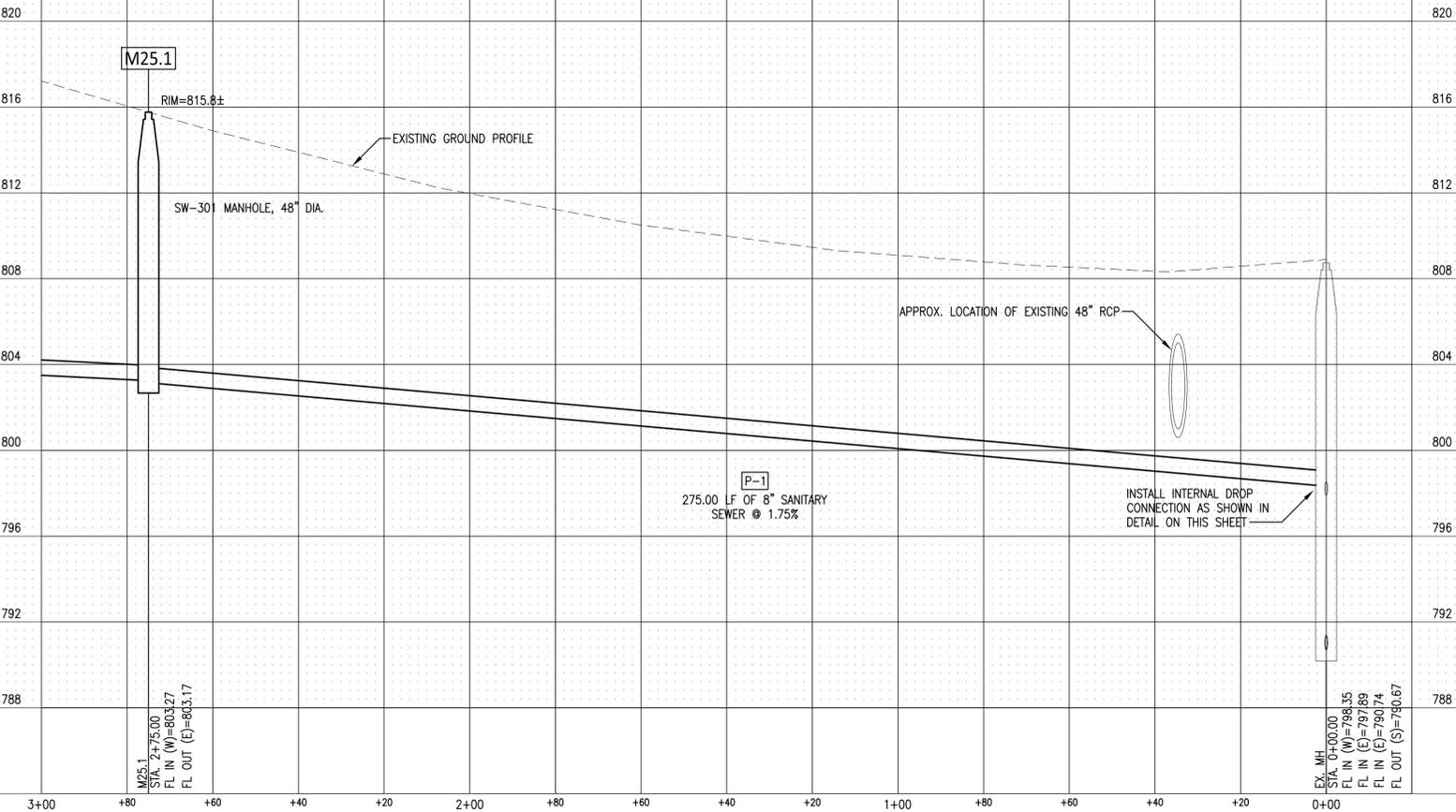
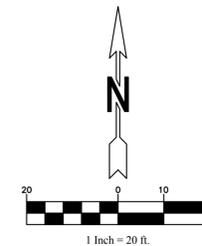


INTERNAL DROP CONNECTION
NO SCALE



SANITARY SEWER STRUCTURE TABLE				
STRUCTURE	NORTHING	EASTING	STATION	STRUCTURE TYPE
M25.1	33999.52	24022.82	2+75.00	SW-301 MANHOLE, 48" DIA.

SANITARY SEWER PIPE TABLE								
PIPE	DIAMETER	MATERIAL	FROM	TO	LENGTH	SLOPE	PIPE E IN	PIPE E OUT
P-1	8"	PVC or TRUSS	M25.1	EX. MH	275.00 LF	1.75%	803.17	798.35



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SHEET TITLE
SANITARY SEWER
PLAN AND PROFILE

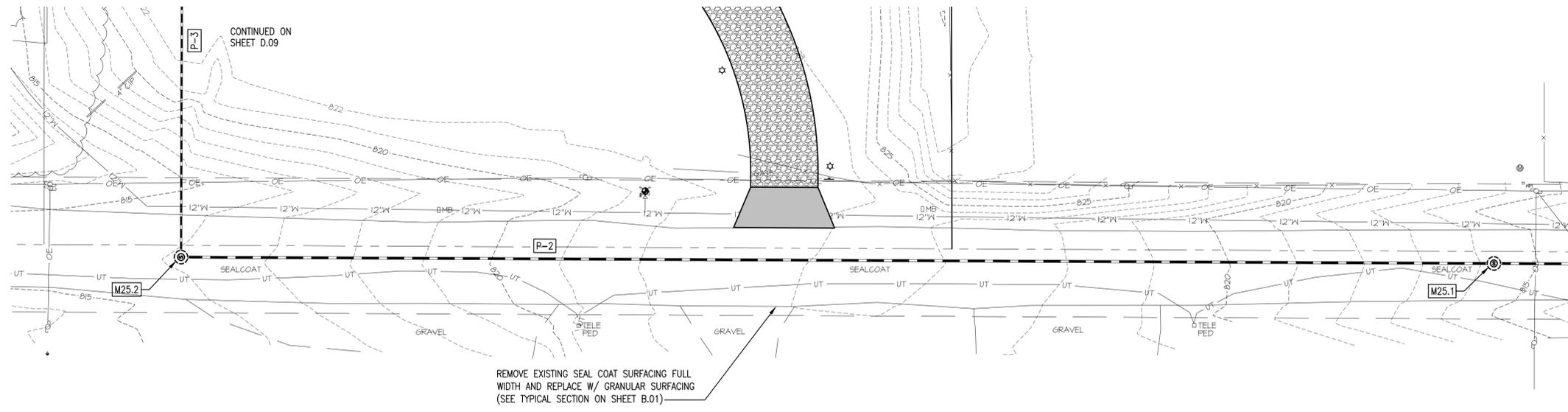
SCALE:
1" = 20' HOR. 1" = 4' VERT.
FIELD BOOK:
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DRAWN BY:
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APPROVED:
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REVISIONS:

DATE:
MAY 24, 2016

PROJECT NO.:
9014017

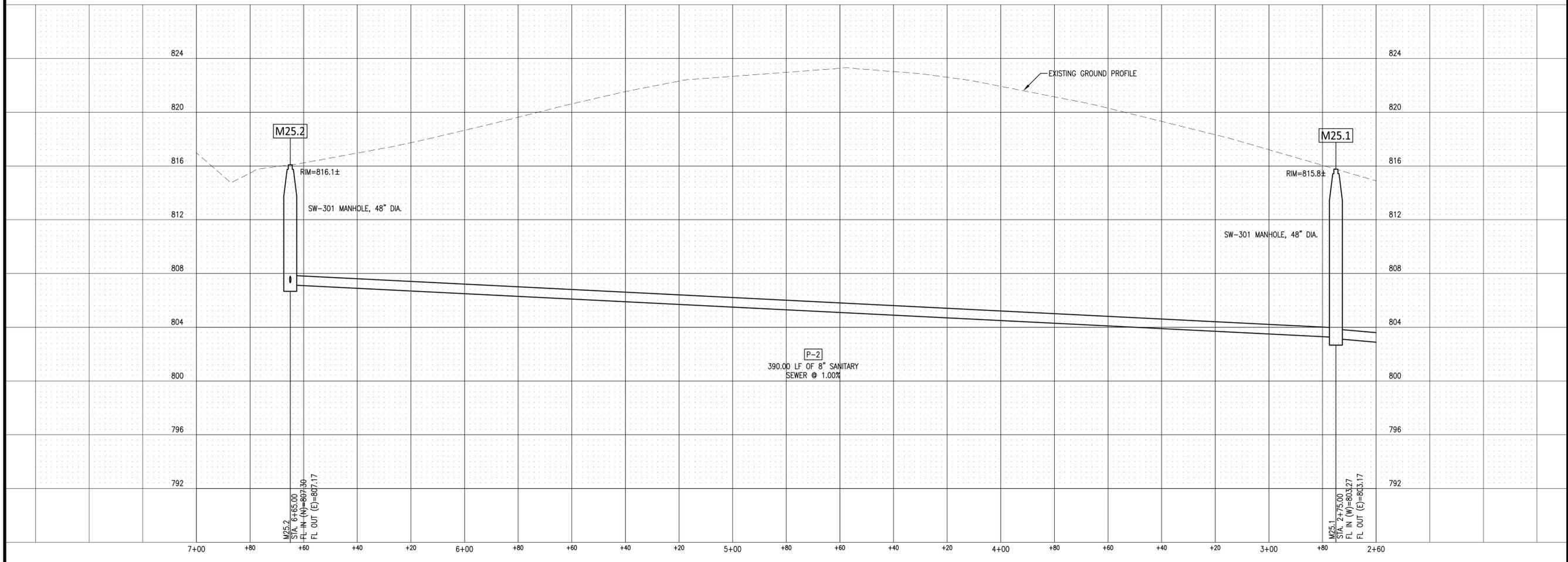
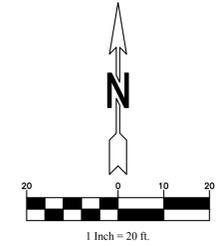
SHEET NO.:
D.07



UNDERGROUND TELEPHONE

SANITARY SEWER STRUCTURE TABLE				
STRUCTURE	NORTHING	EASTING	STATION	STRUCTURE TYPE
M25.1	33999.52	24022.82	2+75.00	SW-301 MANHOLE, 48" DIA.
M25.2	34001.40	23632.83	6+65.00	SW-301 MANHOLE, 48" DIA.

SANITARY SEWER PIPE TABLE								
PIPE	DIAMETER	MATERIAL	FROM	TO	LENGTH	SLOPE	PIPE \bar{C} IN	PIPE \bar{C} OUT
P-2	8"	PVC or TRUSS	M25.2	M25.1	390.00 LF	1.00%	807.17	803.27



C:\Projects\140117 - Moksha Humana Society - Eng and Surveying for New Oskaloosa Animal Shelter\Drawings\Site Plan Drawings\Site Plan 140117 - Final REVISED.dwg

GARDEN & ASSOCIATES, LTD.
ENGINEERS & SURVEYORS

500 E. Taylor, Suite C
Creston, Iowa 50801
641.782.4005 Phone
641.782.4118 Fax
email@gardenassociates.net

1701 3rd Avenue East, Suite 1
P.O. Box 451
Oskaloosa, Iowa 52577
641.672.4526 Phone
641.672.4091 Fax
800.491.2524 Iowa Toll Free

SITE DEVELOPMENT PLAN
STEPHEN ANIMAL SHELTER
OSKALOOSA, IOWA

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SHEET TITLE
SANITARY SEWER
PLAN AND PROFILE

SCALE:
1" = 20' HOR. 1" = 4' VERT.

FIELD BOOK: --

DRAWN BY: --

APPROVED: --

REVISIONS:

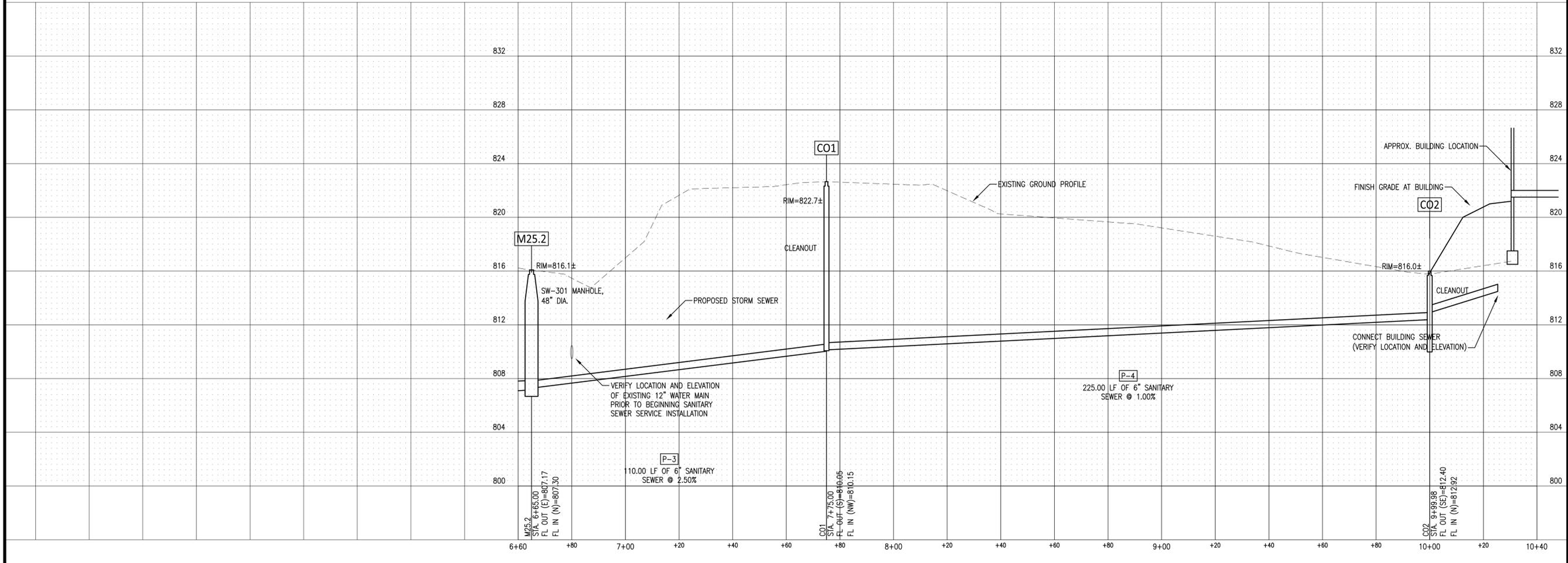
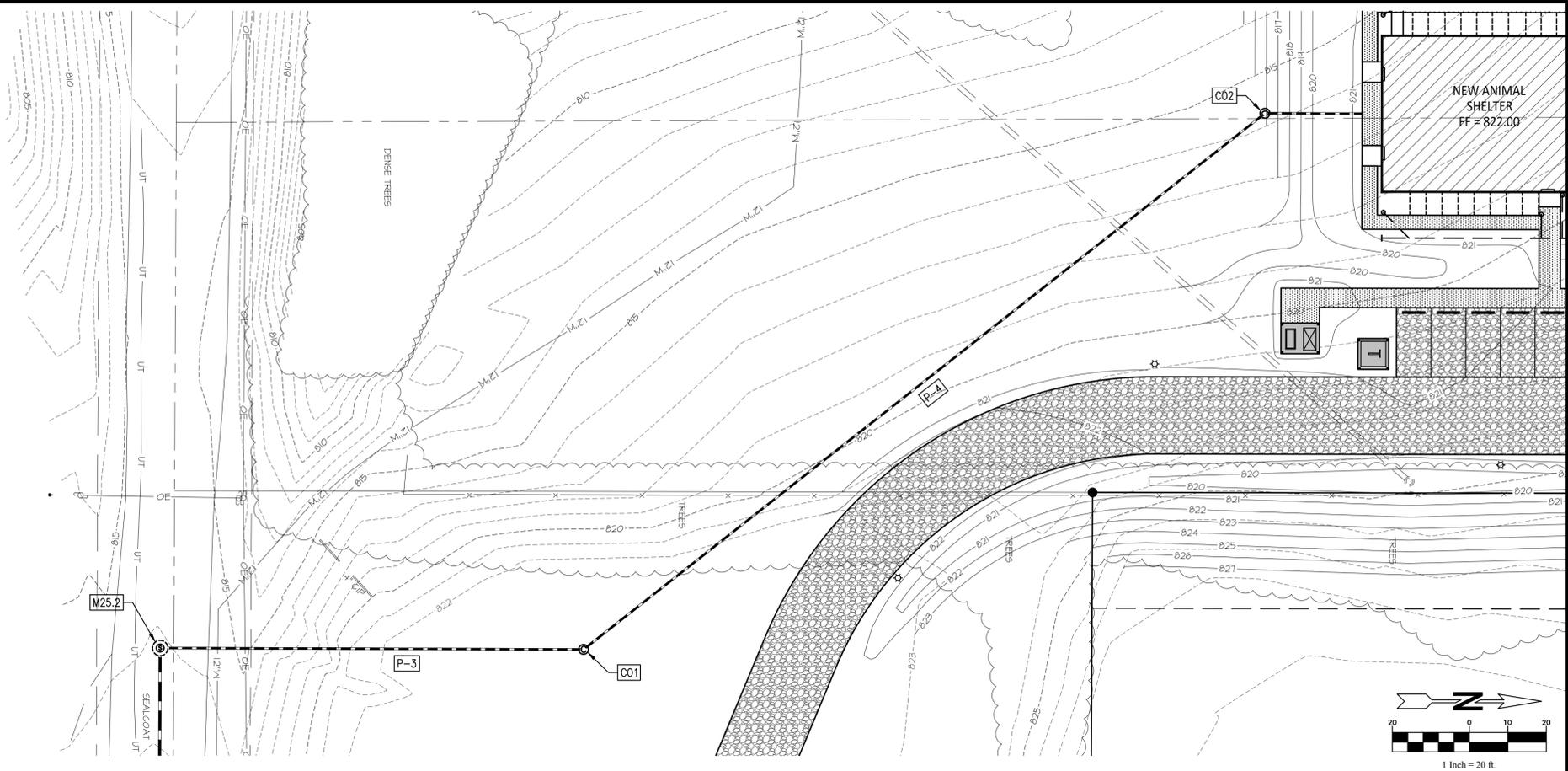
DATE:
MAY 24, 2016

PROJECT NO.:
9014017

SHEET NO.:
D.08

SANITARY SEWER STRUCTURE TABLE				
STRUCTURE	NORTHING	EASTING	STATION	STRUCTURE TYPE
CO1	34111.40	23633.19	7+75.00	CLEANOUT
CO2	34288.44	23494.33	9+99.98	CLEANOUT

SANITARY SEWER PIPE TABLE								
PIPE	DIAMETER	MATERIAL	FROM	TO	LENGTH	SLOPE	PIPE E IN	PIPE E OUT
P-3	6"	PVC	CO1	M25.2	110.00 LF	2.50%	810.05	807.30
P-4	6"	PVC	CO2	CO1	225.00 LF	1.00%	812.40	810.15



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SITE DEVELOPMENT PLAN
STEPHEN ANIMAL SHELTER
OSKALOOSA, IOWA
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SHEET TITLE
BUILDING SANITARY SEWER SERVICE PLAN AND PROFILE

SCALE:
 1" = 20' HOR. 1" = 4' VERT.
 FIELD BOOK:
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 DRAWN BY:
 --
 APPROVED:
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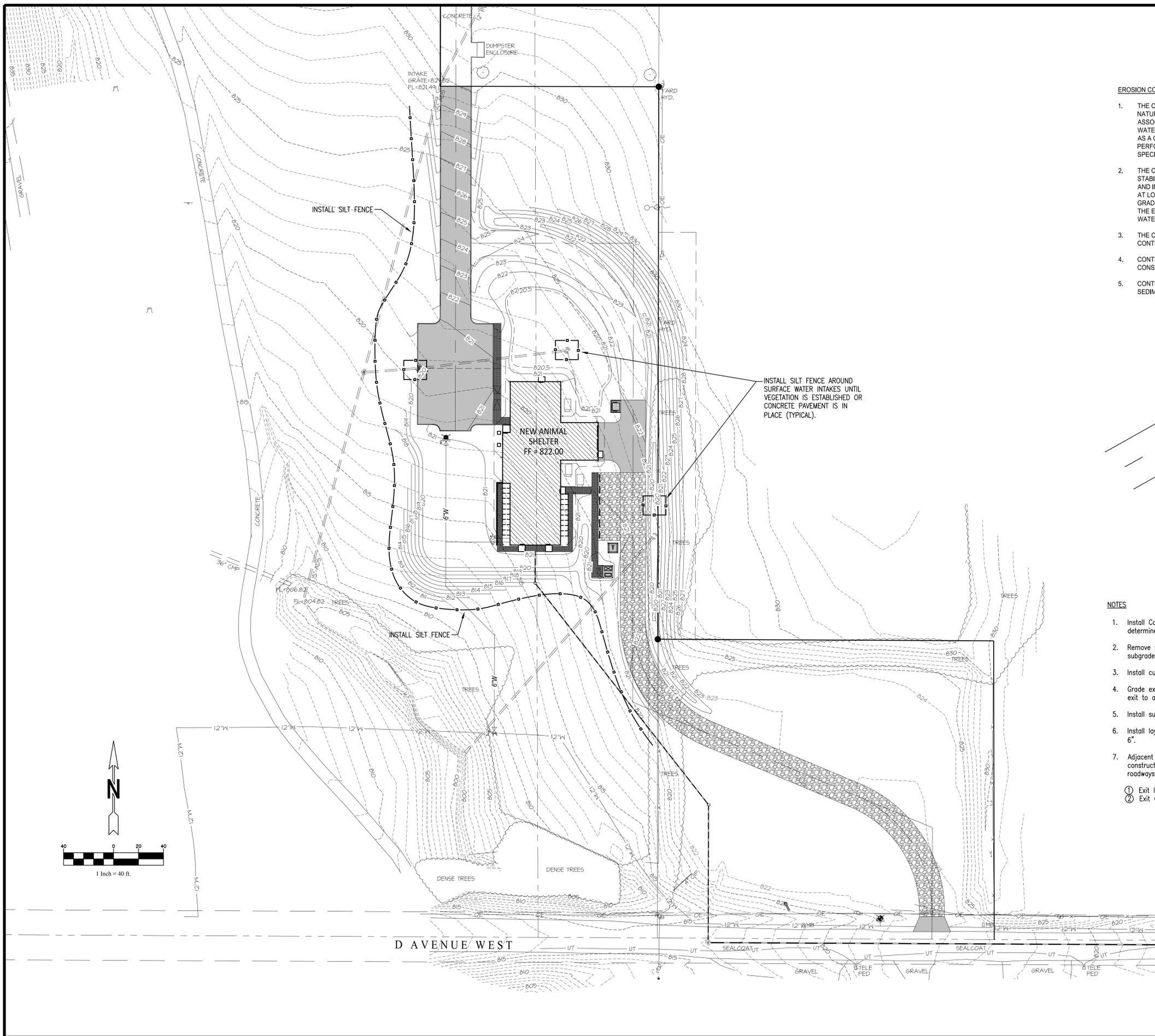
REVISIONS:
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DATE:
 MAY 24, 2016

PROJECT NO.:
 9014017

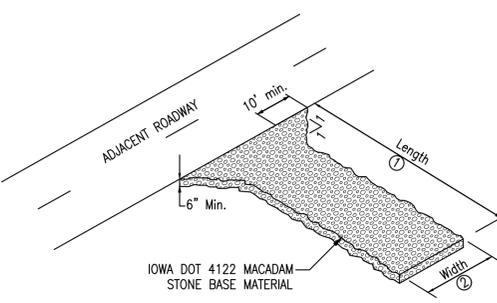
SHEET NO.:
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EROSION CONTROL NOTES

1. THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE IOWA DEPARTMENT OF NATURAL RESOURCES, NPDES GENERAL PERMIT NO. 2 FOR STORM WATER DISCHARGE ASSOCIATED WITH INDUSTRIAL ACTIVITY FOR CONSTRUCTION ACTIVITIES AND THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP). CONTRACTOR SHALL BE REQUIRED TO SIGN ON AS A CO-PERMITTEE WITH THE OWNER. THE CONTRACTOR SHALL MANAGE THE PLAN AND PERFORM THE INSPECTIONS IN ACCORDANCE WITH GENERAL PERMIT NO. 2 AND THE SPECIFICATIONS.
2. THE CONTRACTOR SHALL CONTROL EROSION ON THE SITE. ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED, FERTILIZER, AND MULCH (OR LANDSCAPE) AS DIRECTED BY THE OWNER AND IN ACCORDANCE WITH THE SWPPP. TEMPORARY STABILIZATION MEASURES SHALL BE USED AT LOCATIONS WHERE GAPS IN WORK WILL EXCEED 10 WORKING DAYS. THE SITE SHALL BE GRADED TO MAINTAIN POSITIVE SITE DRAINAGE DURING CONSTRUCTION. THIS MAY INCLUDE THE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVIATE PONDING OF SURFACE WATER.
3. THE CONTRACTOR SHALL INSTALL PERIMETER EROSION CONTROL MEASURES AND EROSION CONTROL DEVICES FOR EXISTING DRAINAGE STRUCTURES PRIOR TO BEGINNING SITE GRADING.
4. CONTRACTOR SHALL MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION.
5. CONTRACTOR IS RESPONSIBLE FOR ALL COSTS FOR CLEAN UP OF ANY ACCIDENTAL RELEASE OF SEDIMENT FROM THE SITE.



CONSTRUCTION ENTRANCE/EXIT DETAIL
NO SCALE

NOTES

1. Install Construction Entrance Pad(s) where site entrance and exit location(s) are determined to be placed.
 2. Remove vegetation and excavate soft soils from exit area. Thoroughly compact subgrade prior to placing stone.
 3. Install culvert under entrance if necessary to maintain drainage.
 4. Grade exit to prevent runoff from flowing onto adjacent streets. Direct all runoff from exit to a sediment retention device.
 5. Install subgrade stabilization fabric prior to placing crushed stone.
 6. Install layer of Iowa DOT 4122 macadam stone base material to a minimum depth of 6".
 7. Adjacent roadways shall remain clean from any debris or sediment from the construction site. Contractor shall clear roadways as necessary to maintain the roadways in a clean condition.
- ① Exit length: 50ft. minimum, length shall be increased if sediment track-out occurs.
② Exit width: 20ft. minimum.

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SITE DEVELOPMENT PLAN
STEPHEN ANIMAL SHELTER
OSKALOOSA, IOWA

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SHEET TITLE
STORM WATER POLLUTION PREVENTION PLAN

SCALE:
AS NOTED

FIELD BOOK:
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DRAWN BY:
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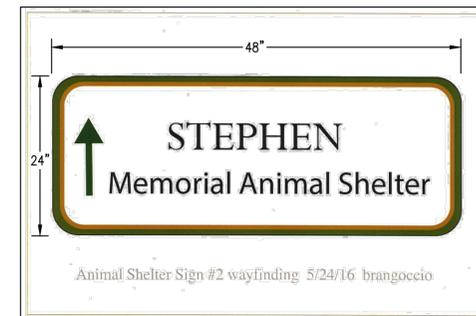
APPROVED:
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REVISIONS:

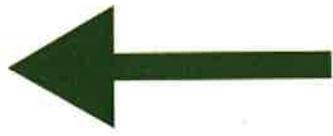
DATE:
MAY 24, 2016

PROJECT NO.:
9014017

SHEET NO.:
D.10



SIGN DETAIL
NO SCALE



STEPHEN

Memorial Animal Shelter

Animal Shelter Sign #2 wayfinding 5/24/16 brangoccio



Animal Shelter Sign #2 wayfinding 5/24/16 brangoccio



City of Oskaloosa, Iowa

Public Works Department
804 South D Street, Oskaloosa, IA 52577
Phone: (641)673-7472 Fax: (641)673-3733

SITE PLAN APPLICATION

SITE PLAN APPLICATION WILL NOT BE REVIEWED BY STAFF UNLESS ATTACHED CHECKLIST IS SUBSTANTIALLY COMPLETE

Project Information

Project Name: Stephen Animal Shelter

Site Address: 1617 Pella Road, Oskaloosa, Iowa

Site Legal Description: See attached.

Current Site Zoning: GC - General Commercial

Current Land Use: Undeveloped

Proposed Land Use: Animal Shelter

Total Area: 7.5 +/- acres (or) _____ square feet

Project Description: Construction of a new animal shelter along with associated utilities, parking lots,
and sidewalks.

Application Fee Amount:
\$100.00

Contact Information:

Public Works Dept.
Akhilesh Pal, P.E.
akhilesh.pal@oskaloosaiowa.org

Water & Wastewater Dept.
Chad Coon
chad.coon@oskaloosaiowa.org

Building Official
Wyatt Russell
wyatt.russell@oskaloosaiowa.org

Engineer Technician
Nathan Willey
nathan.willey@oskaloosaiowa.org

Contact Information

Owner: Stephen Animal Shelter Foundation, Inc. (641)673-0411

Name 100 First Avenue West, Oskaloosa, Iowa 52577 Phone smas@mahaska.org

Address _____ Email _____

Applicant: Same as Owner

Name _____ Phone _____

Address _____ Email _____

Engineer: Garden & Associates, Ltd. (641)672-2526

Name P.O. 451, Oskaloosa, Iowa 52577 Phone bnielsen@gardenassociates.net

Address _____ Email _____

Architect: Neumann Brothers/Design Build Solutions KellerM@neumannbros.com

Name Ohio Street, Des Moines, Iowa 50413 Phone (515)471-8671

Address _____ Email _____

OFFICE USE ONLY

Date Received: 6/2/2016

Date Fee Paid: 6/2/2016

Building Permit No. _____

Applicant Signature: Lucy Dine Date: 6/2/16

Nathan Willey

From: Mark Neff
Sent: Tuesday, May 31, 2016 2:11 PM
To: Nathan Willey
Subject: FW: Animal Shelter Incinerator

Sorry Nate,
I thought I included you on this e-mail. See Below.

Mark Neff

Fire Chief
Oskaloosa, Iowa 52577
mark.neff@oskaloosaiowa.org
641.673.3541 Ext. 1

From: Mark Neff
Sent: Sunday, May 22, 2016 12:15 PM
To: Akhilesh Pal <akhilesh.pal@oskaloosaiowa.org>; Wyatt Russell <Wyatt.Russell@oskaloosaiowa.org>
Subject: Animal Shelter Incinerator

AP, Wyatt

IFC 603.8 Incinerators. Commercial, industrial, and residential-type incinerators shall be constructed in accordance with the *International Building Code*, the *International Fuel Gas Code*, and the *International Mechanical Code*.

IFC 603.8.2 Spark arrestor. Incinerators shall be equipped with an effective means for arresting sparks.

IFC 603.8.3 Restrictions. Where the fire code official determines that burning in incinerators located within 500 feet (152 m) of mountainous, brush or grass covered areas will create an undue fire hazard because of atmospheric conditions, such burning shall be prohibited.

IFC 603.8.4 Time of burning. Burning shall take place only during *approved* hours.

IFC 603.8.5 Discontinuance. The *fire code official* is authorized to require incinerator use to be discontinued immediately if the *fire code official* determines that smoke emissions are offensive to occupants of surrounding property or if the use of incinerators is determined by the *fire code official* to constitute a hazardous condition.

While there is nothing to restrict the animal shelter from installing an incinerator I would ask that you please forward this information to the project committee. I just want to make sure they understand all these code sections. If they have any questions please have them contact me.

Thanks.

Mark Neff

Fire Chief
Oskaloosa, Iowa 52577

RESOLUTION NO. _____

RESOLUTION APPROVING THE SITE PLAN FOR THE NEW 6,000 SQUARE FOOT STEPHEN MEMORIAL ANIMAL SHELTER TO BE LOCATED AT 1716 PELLA AVENUE

WHEREAS, the Stephen Animal Shelter Foundation has requested a site plan review for the new 6,000 square foot Stephen Memorial Animal Shelter to be located at 1716 Pella Avenue; and

WHEREAS, on June 7, 2016, the Planning and Zoning Commission reviewed and recommended approval of the site plan subject to the following stipulations:

WHEREAS, the Planning & Zoning Commission found that the proposed Site Plan for the new Stephen Memorial Animal Shelter is in general conformance with the Zoning Ordinance of the Oskaloosa Municipal Code.

NOW THEREFORE BE IT RESOLVED by the City Council of the City of Oskaloosa, Iowa on the 20th day of June, 2016, that the Site Plan for the new 6,000 square foot Stephen Memorial Animal Shelter is hereby approved subject to compliance with the above mentioned stipulations.

PASSED AND APPROVED this _____ day of June, 2016.

David Krutzfeldt, Mayor

ATTEST:

Amy Miller, City Clerk



Planning & Zoning Commission

Meeting Date: June 7, 2016

Requested By: Public Works Dept.

Item Title: PUBLIC HEARING

Consider changes to the Oskaloosa Municipal Code that would require sidewalk for new developments.

Explanation:

At their meeting on April 11, 2016, the Planning and Zoning Commission discussed possible sidewalk requirements for new commercial and residential developments. As a result of that discussion, a public hearing was scheduled to consider the following staff proposed addition to the Oskaloosa Municipal Code:

17.08.120 – Required Public Sidewalk

- A. Public sidewalk shall be required for the following:
 - 1. All new developments in all zoning districts. New developments include, but are not limited to, projects requiring a site plan review, changes in property use type, and all new residential structures.
 - 2. All redevelopments, enlargements, or extensions of more than twenty-five percent (25%) of either the total property area or gross building area in all zoning districts. Single-family, two-family, and duplex use types in any zoning district are exempt.
- B. All new or existing sidewalk required by this section must be constructed, or reconstructed, in concrete and in compliance with current ADA accessibility and City specification standards.

This new section of code would require public sidewalk at all new developments and redevelopments of 25% or more. Single-family structures, two-family structures, and duplexes would be exempt from the 25% redevelopment rule.

Recommended Action:

Staff recommends the Planning and Zoning Commission recommend approval of the proposed sidewalk requirement code revision.

Budget Consideration:

Minimal costs associated with changes to the Oskaloosa Municipal Code.

Attachments:

None