



**City of Oskaloosa
Planning and Zoning Commission
Council Chambers
City Hall, 220 S. Market Street
Oskaloosa IA, 52577
November 10, 2014 Agenda**

1. Roll Call

Chair: Barnhart____; Members: Blomgren____; Campbell;____ Collins____;
Jensen____; Keep____; Tarbell____;

2. Approval of the Minutes

A. Approval of the minutes for the October 13, 2014 meeting

Documents: [OCTOBER 13, 2014 PZ MINUTES.PDF](#)

B. Approval of the minutes for the October 15, 2014 meeting

Documents: [OCTOBER 15, 2014 SPECIAL MEETING.PDF](#)

3. Citizens to be Heard

4. Final Plats

A. Consider a request to approve the final plat for the College Heights Plat 4 Subdivision and a request to waive the preliminary plat

Documents: [MCRF FINAL PLAT AGENDA.PDF.DOC](#), [MCRF FINAL PLAT APPLICATION.PDF](#), [FINAL PLAT-PRELIM 10-30-14.PDF](#), [MCRF FINAL PLAT RESOLUTION.DOCX](#)

5. Street and Alley Vacations

A. Consider vacation and sale of 120'X16.5' of the north-south alley adjacent to 211 North J Street

Documents: [211 N J ST ALLEY VACATE AGENDA.PDF.DOC](#), [ALLEY VACATE APPLICATION.PDF](#), [211 N J ST ALLEY VACATE.PDF](#), [EXISTING ALLEY PICTURES.DOCX](#), [RESPONSE POSTCARDS 211 NORTH J STREET ALLEY VACATE.XLS](#)

6. Request for Rezoning

A. Consider a request to rezone the east portion of the property at 615 E Avenue West from (R-2) Urban Family Residential district to (LI) Limited Industrial district

Documents: [615 E AVE W REZONE AGENDA.PDF.DOC](#), [615 E AVE W REZONE APPLICATION.PDF](#), [615 E AVE W REZONE.PDF](#)

7. Site Plans

A. Consider a site plan for the property at 702 A Avenue West for a

new Taco Bell Restaurant

Documents: [TACO BELL SITE PLAN AGENDA.PDF.DOC](#), [702 A AVENUE WEST SITE PLAN APPLICATION.PDF](#), [TACO BELL FINAL SITE PLAN.PDF](#)

B. Consider a site plan for the property at 814 North H Street for a three unit apartment complex

Documents: [814 N H ST SITE PLAN AGENDA.PDF.DOC](#), [814 NORTH H STREET SITE PLAN APPLICATION.PDF](#), [3-PLEX SITE PLAN 11-06-14.PDF](#)

8. Miscellaneous Business

A. Consider a discussion regarding an Ordinance amendment to accommodate existing non conforming residential development in Oskaloosa Municipal Code Sections 17.24.020, 17.32.030

Documents: [OPTION 1 - REVISE 17.24 AND 17.32.PDF](#), [NON CONFORMING PARCELS MAP.PDF](#), [NON CONFORMING LOTS DATA.PDF](#)

B. Planning & Zoning Workshop

Documents: [PLANNING AND ZONING WORKSHOP INVITE.PDF](#)

9. Adjournment

If you require special accommodations, please contact the City Manager's Office at least 24 hours prior to the meeting at (641) 673-9431.

CITY OF OSKALOOSA
PLANNING & ZONING COMMISSION
REGULAR MEETING MINUTES
October 13, 2014

A regularly-scheduled meeting of the Planning and Zoning (P&Z) Commission for the City of Oskaloosa was called to order at 4:34 p.m. on Monday, October 13, 2014, by Akhilesh Pal, at 220 South Market Street, Oskaloosa, Iowa.

COMMISSION MEMBERS PRESENT: Holden Barnhart, Pamela Blomgren, Wyndell Campbell, Dawn Collins, Andrew Jensen, R. D. Keep and Sarah Tarbell. COMMISSION MEMBERS ABSENT: None. CITY STAFF PRESENT: Akhilesh Pal, Wyatt Russell and Marilyn Johannes. OTHERS PRESENT: Dylan Mulfinger, David Krutzfeldt, Charlie Comfort, Ken Allsup, and several members of the public.

It was moved by Blomgren, seconded by Keep to move Item 11B, Election of Chairperson and Vice Chairperson, to the front of the agenda. Motion carried with all aye votes.

Barnhart expressed an interest in being elected chairperson and mentioned he had been on the commission a long time. It was moved by Blomgren, seconded by Keep to nominate Barnhart for Chairperson. Motion carried with all aye votes.

It was moved by Jensen, seconded by Campbell to appoint Blomgren Vice Chairperson. Motion carried with all aye votes.

Minutes from the September 8, 2014 Planning and Zoning Commission meeting.

It was moved by Blomgren, seconded by Keep to approve the September 8, 2014 Planning and Zoning Commission minutes. Motion carried with all aye votes.

Consider vacation and sale of 60' X 16' of the North-South alley adjacent to 1002 North 2nd Street.

Pal said the six adjoining property owners that responded to the survey want the alley vacated. Pal explained the alley cannot be build on because the alley contains Century Link utility infrastructure so easement rights will need to be retained. Russell pointed out there is a building at 701 North 3rd Street that appears to be on part of the alley.

Max Maddy, 1012 North 2nd Street, addressed the commission regarding traffic in the alley, indicating the alley has been grass for the 30 years he has been here. He doesn't want vehicles in his backyard. Blomgren said by selling the alley it makes the land private so the alley will not be opened to traffic. Maddy indicated that he is fine with the sale of the alley then.

Campbell questioned what would happen if the owner of 701 does not want to buy their portion of the alley if the building at 701 is in on part of the alley. Russell said if Greenfield buys the entire alley she can require the building to be removed.

Tyler Pilcher, 1002 North 2nd Street, addressed the commission and said he was speaking on behalf of Greenfield, the owner of 1002 North 2nd Street. Pilcher said Greenfield basically just wants to buy her half of the alley. Blomgren pointed out the application from Greenfield indicates she is interested in purchasing only her half of the alley.

It was moved by Campbell, seconded by Blomgren to approve vacation and sale of 60' X 16' of the north-south alley adjacent to 1002 North 2nd Street with retention of utility easement. Motion carried with all aye votes.

Consider an Ordinance amending accessory building regulations in Oskaloosa Municipal Code Sections 17.04.030 and 17.24.030.

Pal explained the city adopted the International Building Code and there has been some confusion when complying with the code requirements regarding the height of accessory structures. Jensen said need to clarify what height means in the definition. Jensen recommended the definition of height for accessory building be revised to be consistent with the language stated in the same paragraph.

Blomgren asked if the number of detached structures on larger lots would be limited to two and Pal said yes. Russell said 80 square feet or more requires a building permit. Barnhart said can allow more structures on larger lots. Blomgren said can ask for a variance. Tarbell said better to deal with issues before have to ask for a variance. Pal explained up to 70% of area can be built upon with 30% impervious in residential districts. Russell pointed out construction also has to meet setbacks, limitations regarding lot lines and other requirements.

Campbell said he did not want to restrict the accessory buildings to one detached garage and one storage shed. Therefore, he recommended taking the limit out on the accessory buildings by allowing two accessory buildings. Pal said most cities have a limit on the number of accessory structures. Jensen said he favored a limitation on the number of accessory structures, said each property in a residential district should not be allowed more than two accessory structures. Pal said International Building Code has no restriction on the number of accessory structures. Barnhart said he did not like to limit the number. Campbell suggested changing staff proposal No. 4 to limit the number of accessory structures to two and remove the phrase "(1 detached garage and 1 storage shed)."

Scott Ver Steeg, 2064 245th Street, addressed the commission. Ver Steeg said he owns 7 acres of commercial property in the city, and he objects to just 2 detached structures on 7 acres. Staff explained the change in the code applies only to residential properties.

It was moved by Campbell, seconded by Collins to approve the ordinance amending accessory building regulations in Oskaloosa Municipal Code Sections 17.04.030 and 17.24.030 with the explanation of height defined as "For accessory buildings the height means the vertical distance from the grade plane elevation to the highest roof surface of the accessory building roof elevation." added; and the phrase "(1 detached garage and 1 storage shed)" be removed. Motion carried with all aye votes.

Consider a site plan for a Dog Park located within Edmundson Park.

Pal outlined the plans for the dog park and said staff still needs to know the location of the signs with the rules, operating hours and other required information for use of the dog park and assurance of compliance with the other stipulations. Pal said the dog park sponsor will provide the gate/chain closure for the dog park and requested the city to provide the labor to install it.

Keep (dog park sponsor representative) provided the commission with information regarding dog waste disposal containers and containers for other trash and the gate system. Keep said this is a private project that will be turned over to the city. Campbell was concerned about the park area taking away parking needed for the ball fields and questioned whether the fence needed to be higher than 4 feet. Keep explained the American Kennel Club and other dog park sponsors all use four foot fences. Collins questioned the fence height and whether the city has liability concerns. Pal said city has no concerns regarding the four foot fence.

Keep indicated he would like to postpone compliance with the ADA requirements until July 2015. Jensen asked if the city will maintain the dog park after they take over. Keep said it is difficult to put a figure on the cost of mowing and snow removal, but said the sponsor is in the process of providing \$5,000; hopefully \$10,000; for a maintenance fund for upkeep of the dog park. Keep said the Council has been aware of the project for four years. Blomgren asked what happens after the city takes over. Keep said first month open the committee will work on etiquette items - proper use of the park. Campbell said site plan needs to show location of ADA required items. Jensen asked if Campbell was recommending the matter be tabled until the plans are complete. Collins questioned the need for the restrooms and water fountains. Keep said he objects to putting in the restroom and water fountains. Keep said average use by a patron is 20-45 minutes.

It was moved by Jensen, seconded by Blomgren to table the matter until the next Planning and Zoning Commission meeting. Keep said will lose \$15,000 grant if don't move forward now. Keep said restroom would cost \$10,000, and indicated the project will probably be dropped if required to install restrooms and water fountains. Jensen amended his motion to table the matter until a special Planning and Zoning Commission meeting to be held Wednesday, October 15, 2014, at 4:30 p.m. Blomgren seconded the amended motion. Motion carried with all aye votes except for Keep who abstained.

Consider a discussion regarding an Ordinance amendment to accommodate existing non-conforming residential development in Oskaloosa Municipal Code Sections 17.24.020, 17.32.030 and Table 17.08C.

Pal said this matter was brought up by the Board of Realtors because small properties with houses are difficult to sell. Wyatt explained that the buyers cannot get Fannie Mae or Freddie Mac loans because if the structure is destroyed, it cannot be rebuilt under the current code requirements. Pal explained the two options being considered. Jensen suggested perhaps could use a date to apply to non-conformity. Pal suggested that this topic be discussed and reviewed in a workshop. Keep wanted to know if the realtors had been invited to the meeting. Pal said realtors were invited but did not come. Keep said he would like to have realtors present. Pal said he didn't believe the Board of Realtors would prefer Option 2.

Erin Sherwood, 1203 C Avenue West, addressed the commission. Sherwood said like her there are a lot of single, working mothers who need a home for their family that can't afford to buy, nor do they want to buy, a large house on a large lot. Sherwood indicated she had found her dream home, but it is a non-conforming structure so she has had difficulty getting financing. Sherwood said one lending institution finally agreed to give her a loan, but if the house is destroyed she wants to be able to rebuild on the property.

Campbell said he did not like the time frame suggestion. Blomgren said the commission needs to consider what is best for our community. Consensus of the commission was to

schedule a workshop on non-conforming structures and encourage realtors to attend. Pal said need to schedule workshop before the November 10 commission meeting. The commission agreed to schedule a workshop on Wednesday, November 5, 2014, at 4:30 p.m.

Staff reminded the commission of the Introduction to Planning & Zoning Workshop to be held Thursday, November 13, 2014 at 6:00 p.m. at the Oskaloosa Public Library and encouraged the commission to attend. The commission was also encouraged to attend the Complete Streets Training Workshop scheduled on Monday, October 27, 2014 from 1:00 p.m.-4:00 p.m. and 5:15 p.m.-6:30 p.m. at the Oskaloosa Public Library.

Russell said discussion of the administrative attendance policy he distributed would be held at a future meeting. Blomgren said it was the obligation of commission members to make an effort to attend all commission meetings.

Barnhart adjourned the meeting at 6:36 p.m.

Minutes by Marilyn Johannes

CITY OF OSKALOOSA
PLANNING & ZONING COMMISSION
SPECIAL MEETING MINUTES
October 15, 2014

A special meeting of the Planning and Zoning (P&Z) Commission for the City of Oskaloosa was called to order at 4:32 p.m. on Monday, October 13, 2014, by Chair Holden Barnhart, at 220 South Market Street, Oskaloosa, Iowa.

COMMISSION MEMBERS PRESENT: Holden Barnhart, Pamela Blomgren, Wyndell Campbell, Dawn Collins, Andrew Jensen, R. D. Keep and Sarah Tarbell. COMMISSION MEMBERS ABSENT: None. CITY STAFF PRESENT: Akhilesh Pal, Wyatt Russell and Marilyn Johannes. OTHERS PRESENT: David Krutzfeldt, and Tyler Sirovy.

Barnhart said the purpose of the meeting is to review a revised site plan showing the location of the ADA entrances for the proposed dog park at Edmundson Park.

Keep pointed out the location of the ADA entrances may vary depending on the slope of the ground to make the entrance a less steep area. Blomgren asked if plan could be approved with the variations. Pal said staff would make sure the contractor meets ADA guidelines so no need to come back to the commission if changed.

Jensen said he realized the water fountains and restrooms could not be put in right away but could we use signs to direct people to the restrooms in Edmundson Park. Blomgren said if the location was more isolated than Edmundson Park would want restrooms but maybe could put up a sign with the location of restrooms. The consensus of the commission was in favor of signs.

Tyler Sirovy, 1502 3rd Avenue West, addressed the commission to ask about the location of the nearest water faucet to fill pails. Keep said there are no plans for water accessibility at the dog park.

Jensen said can move forward without restrooms and water fountains considering the financial constraints. Keep said not sure where you would put restrooms with the slope of the ground and it would take away parking spaces. Campbell asked if restrooms and water fountains were required by the code. Pal said no, more of a convenience. Blomgren said a staff recommendation. Campbell said include in stipulations that need to put sign up where restrooms and water fountains are located in Edmundson Park. Keep said after visiting with staff will need 6-8 signs. Collins said signs need to comply with what city wants. Pal said five signs should be adequate. Campbell favored one sign at dog park showing location of restrooms and water fountains. Keep said we can make signage work.

Jensen said a more extensive site plan would be nice showing how dog park fits in with overall park. Keep said there is a business plan in the packet.

The commission discussed waste containers and how many were needed per park. Blomgren indicated she liked the idea of two waste stations per park.

Keep said he was ok with other stipulations. Keep said asking for timeline for construction until July 1, 2015 in case park doesn't get constructed this fall.

It was moved by Jensen, seconded by Blomgren to approve the site plan with stipulations including putting up a sign showing the location of restrooms and water fountains in Edmundson Park instead of constructing restrooms and water fountains at the dog park. Pal said need to include in stipulations that ADA parking lot needs two signs and the city can install the signs and staff will relocate the chain closure with the dog park committee providing the material and city staff the labor. Jensen amended his motion to include Pal's recommendations. Blomgren seconded the amended motion. The vote was: YES - Barnhart, Blomgren, Campbell, Collins, Jensen and Tarbell. No - none. Abstain: Keep. Motion carried.

Pal mentioned the dog park committee is asking for waiver of the \$100 fee. Blomgren said that is a decision city council should make.

Barnhart adjourned the meeting at 5:18 p.m.

Minutes by Marilyn Johannes



Planning & Zoning Commission

Meeting Date: November 10, 2014

Requested By: Public Works Dept.

Item Title:

Consider a request to approve the final plat for the College Heights Plat 4 Subdivision and a request to waive the preliminary plat.

Explanation:

Mahaska Community Recreation Foundation (MCRF) is requesting approval of the final plat of the College Heights Plat 4 Subdivision of 0.97 acres into 7 lots. The purpose of this request is to transfer these parcels to the adjacent property owners and disposing excess property that was purchased for the recreational trail. The subject property is zoned (R-1) Single Family Residential district. These lots are located north of Sheriff Avenue between North Market Street and North 3rd Street.

The proposed lots have existing utility services and the ability to connect to any future improvements. A storm and sanitary sewer easement will be required with this plat. Staff is requesting to waive the preliminary plat.

Staff is recommending approval of the final plat with the stipulation that the proposed lots be combined with existing parcels to avoid nonconforming residential development that does not meet the zoning requirements for lot size regulations.

Budget Consideration: None

Attachments:

Application, Final Plat, and Resolution



CITY OF OSKALOOSA
 Public Works Department
 804 South D Street
 641-673-7472 (Phone)
 641-673-3733 (FAX)

Revised 07.01.2011

PRELIMINARY PLAT/FINAL PLAT APPLICATION

NATURE OF REQUEST (please check)

PRELIMINARY PLAT _____ FINAL PLAT x

PROPERTY ADDRESS:

Sheriff Avenue between North Market Street and North 3rd Street

LEGAL DESCRIPTION: Lot(s): _____ Block: _____ Addition:

See copy of Recorder's Plat attached.

(attach description if lengthy)

1. Mahaska Community Recreation Foundation

Name of Applicant (to be used on legal documents)

Telephone No. (641)672-2499

2. 2055 238th Street, Oskaloosa, Iowa 52577

Address of Applicant

Fax No. None

sherry.vavra@mcrf.mahaska.org

Email Address of Applicant

3. Garden & Associates, Ltd.

Name of Consultant

Telephone No. (641)672-2526

4. P.O. Box 451, 1701 3rd Ave. East - Suite 1, Oskaloosa, Iowa 52577

Address of Consultant

Fax No.

5. Same as applicant.

Name of Property Owner

6. Same as applicant.

Address of Property Owner

Telephone No. (641)672-2499

7. R-1 Single Family Residential



CITY OF OSKALOOSA
 Public Works Department
 804 South D Street
 641-673-7472 (Phone)
 641-673-3733 (FAX)

Revised 07.01.2011

Current Zoning	Proposed Zoning (if applicable)
8. Residential	

Present Use	Proposed Use (if applicable)
9. \$ 85.00	

Preliminary plat fee: \$30.00 + \$5.00 per lot;
 Final plat fee: \$50.00 + \$5.00 per lot

Received By

10. Location Map of Property(ies) Involved Attached?
 None

Current Description(s) and Survey Attached?
 Recorder's Plat Attached

Revised Description(s) and Survey Attached?
 Recorder's Plat Attached

11. Project Description:
 Transfer of excess land purchased for the recreation trail to adjacent land owners.

DO NOT FILL IN THIS BOX (ADMINISTRATIVE USE ONLY)

12. Planning Commission Action: _____ Date: _____

13. City Council Action: _____ Date: _____

14. Conditions or Requirements:



CITY OF OSKALOOSA
 Public Works Department
 804 South D Street
 641-673-7472 (Phone)
 641-673-3733 (FAX)

Revised 07.01.2011

All applicants must include a copy of the property owner's Duplicate Certificate of Title if the property is recorded.

NOTE: APPLICATIONS ARE NOT COMPLETE UNTIL ALL REQUIRED SUBMISSIONS HAVE BEEN RECEIVED. ACKNOWLEDGMENT AND SIGNATURE: THE UNDERSIGNED APPLICANT HEREBY REPRESENTS UPON ALL OF THE PENALTIES OF THE LAW, THE PURPOSE OF INDUCING THE CITY OF OSKALOOSA TO TAKE ACTION HEREIN REQUESTED, THAT ALL STATEMENTS HEREIN ARE TRUE AND THAT ALL WORK HEREIN MENTIONED WILL BE DONE IN ACCORDANCE WITH THE ORDINANCE OF THE CITY OF OSKALOOSA, AND THE LAWS OF THE STATE OF IOWA, AND THAT THE UNDERSIGNED APPLICANT WILL PAY ALL FEES AND CHARGES INCURRED BY THE CITY FOR THE EXAMINATION AND REVIEW OF THIS PETITION.

Sherry Vaara
 MCRF Executive Director
 Signature of Applicant

Mahaska Community Recreation Foundation (MCRF)
Sherry Vaara, MCRF Executive Director
 Signature of Property Owner

10/31/14
 Date

Date 10/31/14

COLLEGE HEIGHTS - PLAT 4 SUB-DIVISION OF

E. 1/2 OF
The SE 1/4 of Section 12 Township 75 North, Range 16 West of the 5th P.M.

Beginning at the Northeast corner of Lot 14 of Subdivision No. 3 of College Heights Addition to the City of Oskaloosa, Mahaska County, Iowa; thence S 82° 03' 55" W 120.00' along the North line of said Lot 14 to the Northwest corner thereof; thence N 85° 27' 00" W 152.27' along the North line of said Subdivision No. 3 of College Heights Addition; thence N 64° 28' 10" W 443.50' along said North line to the Northwest corner of Lot 20 of said Subdivision No. 3 of College Heights Addition; thence S 79° 55' 05" E 403.60'; thence S 67° 00' 45" E 297.05' to the Point of Beginning containing 0.967 acres. The North line of said Lot 14 is assumed to bear S 82° 03' 55" W for the purposes of this description.

MISCELLANEOUS INFORMATION:

DEVELOPER:
MAHASKA COMMUNITY RECREATION FOUNDATION
2055 238TH STREET
OSKALOOSA, IA 52577

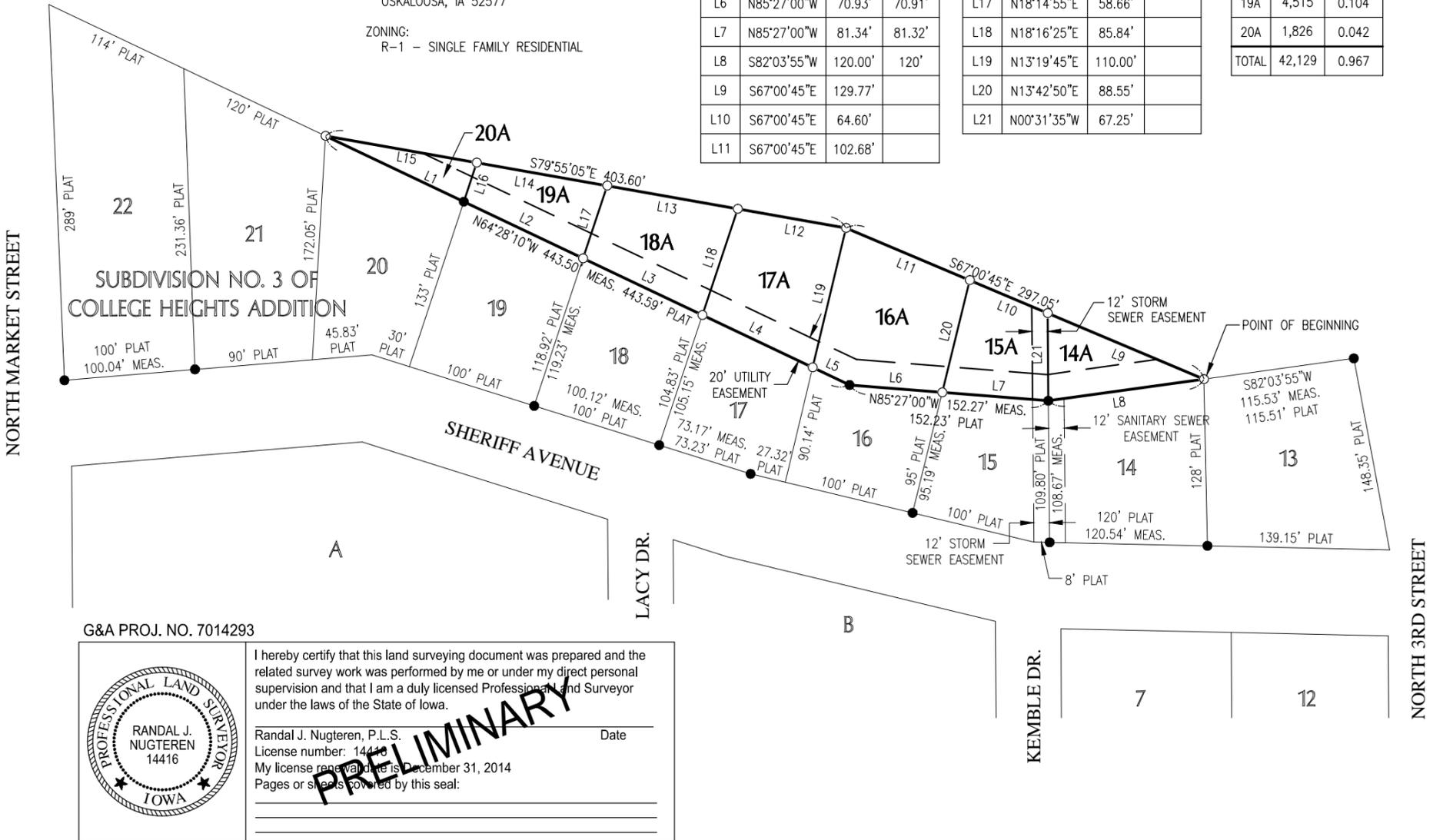
SURVEYOR:
GARDEN AND ASSOCIATES, LTD.
PO BOX 451
OSKALOOSA, IA 52577

ZONING:
R-1 - SINGLE FAMILY RESIDENTIAL

LINE	BEARING	MEAS.	PLAT
L1	N64°28'10"W	117.00'	117'
L2	N64°28'10"W	100.97'	101'
L3	N64°28'10"W	100.97'	101'
L4	N64°28'10"W	93.32'	93.35'
L5	N64°28'10"W	31.24'	31.24'
L6	N85°27'00"W	70.93'	70.91'
L7	N85°27'00"W	81.34'	81.32'
L8	S82°03'55"W	120.00'	120'
L9	S67°00'45"E	129.77'	
L10	S67°00'45"E	64.60'	
L11	S67°00'45"E	102.68'	

LINE	BEARING	MEAS.	PLAT
L12	S79°55'05"E	83.95'	
L13	S79°55'05"E	101.22'	
L14	S79°55'05"E	101.22'	
L15	S79°55'05"E	117.21'	
L16	N18°10'40"E	31.48'	
L17	N18°14'55"E	58.66'	
L18	N18°16'25"E	85.84'	
L19	N13°19'45"E	110.00'	
L20	N13°42'50"E	88.55'	
L21	N00°31'35"W	67.25'	

LOT	SQ. FT.	ACRES
14A	4,001	0.092
15A	5,547	0.127
16A	10,419	0.239
17A	8,584	0.197
18A	7,237	0.166
19A	4,515	0.104
20A	1,826	0.042
TOTAL	42,129	0.967



G&A PROJ. NO. 7014293

I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Professional Land Surveyor under the laws of the State of Iowa.

Randal J. Nugteren, P.L.S. Date _____
 License number: 14416
 My license renewal date is December 31, 2014
 Pages or sheets covered by this seal: _____

PRELIMINARY

FILED FOR RECORD _____
 at _____ o'clock _____ M.
 No. _____ FEE _____
 Auditor's Fee _____
 Recorder _____

Entered for taxation this _____
 day of _____

 County Auditor _____

STATE OF IOWA, MAHASKA COUNTY -- ss
 I hereby certify the forgoing survey and plat to be correct, to be the best of my knowledge and belief.
 Date _____

 Mahaska County, Iowa

_____ hereby certify _____ of Section _____
 Township _____ North, Range _____ West of 5th P.M. as appears on this plat, is with the free consent and in accordance with the desire of the undersigned owner _____ and proprietor _____ thereof.
 Dated _____ A.D., _____

STATE OF IOWA, MAHASKA COUNTY, ss.
 On this _____ day of _____, A.D., _____, before me a Notary Public in and for said County appeared _____
 to me personally known to be the identical person _____ whose name _____ affixed to the foregoing instrument and acknowledged the execution of the same be _____ voluntary act and deed.
 Witness my hand and seal the date above written.

Notary Public

(SEAL)

RESOLUTION NO. _____

RESOLUTION APPROVING THE FINAL PLAT FOR THE COLLEGE HEIGHTS PLAT 4 SUBDIVISION

WHEREAS, the Planning and Zoning Commission of the City of Oskaloosa, Iowa, has reviewed and recommended waiving the requirement for a preliminary plat and approval of the final plat of the College Heights Plat 4 Subdivision all in the east half of the SE ¼ of Section 12 Township 75 North, Range 16 West of the 5th P.M. in the City of Oskaloosa, Mahaska County, Iowa; and,

WHEREAS, the City Council of Oskaloosa, Iowa, has approved waiving the requirement for a preliminary plat for the stated College Heights Plat 4 Subdivision,

NOW, THEREFORE, BE IT RESOLVED by the City Council of Oskaloosa, Iowa that the final plat of the College Heights Plat 4 Subdivision, be, and the same hereby approved subject to applicable fees.

PASSED AND APPROVED this _____ day of _____, 2014.

David Krutzfeldt, Mayor

ATTEST:

Amy Miller, City Clerk



Planning & Zoning Commission

Meeting Date: November 10, 2014

Requested By: Public Works Dept.

Item Title:

Consider vacation and sale of 120'X 16.5' of the north-south alley adjacent to 211 North J Street.

Explanation:

Terryl Wolfswinkel, owner of 211 North J Street, has requested that the portion of the north-south alley adjacent to his property be vacated. Mr. Wolfswinkel owns the properties directly east (211 North J Street) and west (1112 B Avenue West) of the requested alley vacate. The proposed alley had been paved in concrete when the Chiropractic clinic was built in 2001.

The city conducted a survey of households with direct access to this alley. Among the residents that responded (3 total), 1 of them (Wolfswinkel) wanted the alley to be vacated and 2 (Fisher Quality Car Wash and Fisher Investments) do not want the alley vacated. Fisher Quality Car Wash at 1101 A Avenue West does not want the alley vacated because it serves his customers. Fisher Investments at 1107 A Avenue West does not want the alley vacated because it will restrict access to the new storefronts. Both 1101 and 1107 A Avenue West will have access to their properties along the south half of the alley from A Avenue. This alley also contains Oskaloosa water, Mid-American Energy utility infrastructure, and MCG infrastructure. Easement rights will need to be retained for access to the above mentioned utilities.

This item was originally brought before City Council on August 18, 2014. At that meeting, Fisher Quality Car Wash stated that they had plans to develop their property, which resulted in a denial of the alley vacate. However, because no site plan has been submitted by Quality Car Wash since that meeting, Terryl Wolfswinkel has re-applied for this alley vacate.

Budget Consideration:

\$100.00 for application fees, and if the alley vacate is approved, revenue of \$1,980.00 (120' X 16.5' X \$1.00/SF). Alley vacates result in revenue received by the city. The city sells commercial alleys for \$1.00 per square foot.

Attachments:

Alley Vacate Application, Location Map, Responses from owners and utility companies.

ALLEY VACATION REQUEST
City of Oskaloosa, Iowa

Policy for sale of alleys:

Policy Adopted: 2/18/2003

1. The property owner requesting the vacation of the alley will pay the \$100.00 application fee and the purchase price of one-half of the alley at the time of the request. If the alley vacation and sale is not approved, the amount of the purchase will be refunded. Other property owners adjacent to the alley that wish to purchase their half will have 30 days after the third reading of the ordinance to purchase their portion. After the 30 days it could be sold to other adjoining property owners.
2. Alleys sold within a residentially zoned area will be sold at the residential rate (\$.50/SF), and alleys located in commercially or industrially zoned areas will be sold at commercial rates (\$1.00/SF).

Date of Request: 10-15-14

Property Owner Name: Wolfswinkel Family Trust

Address: 211 North J Street
Oskaloosa IA 52577

Phone: 515-422-4703

Description of alley requested for vacation: North-South Alley
between 211 North J Street and 1112 B Avenue
West

Reason for requesting alley vacation: We own properties on either side
of alley (East/West). We have already concreted
alley in 2001 (at our expense) per city codes. Used
as egress for Oskaloosa Chiropractic (which we own)

Signature Tracy Wolfswinkel

OFFICE USE:

Application Fee Paid \$100.⁰⁰

Amount Paid For 1/2 of Alley: \$ 990.⁰⁰ (120' X 16.5' X \$ 1.⁰⁰ /SF) = \$1,980.⁰⁰

Vacation Approved _____ Denied _____ Refund Payment _____

Alley Vacate Request for 211 North J Street



316

314

314 1/2

315

312

313

314

315

313

314

911

1215

1209

1207

301

306

1109

1107

1103

1015

1009

1007

309

B Ave W

N K St

N I St

1210

215

215

1116

1112

211
N J St

1012

1010

1008

213

212

1215

1207

1201

1107

1101

1015

1011

1001

915

A Ave W (Hwy 92)

N L St

1214

1212

1206

1110

1102

111

120



Date Created: 6-20-14

 ALLEY VACATE REQUEST AREA

1109

1105

101

1015

1011

1005

1001

911

Alley looking north from A Avenue



Alley looking south from B Avenue



ALLEY VACATION RESPONSE :211 North J Street

ADDRESS	NAME	RESPONSE	COMMENTS
1112 B Avenue West	Terryl Wolfswinkel	Yes approve the proposed alley vacation	
211 North J Street	Terryl Wolfswinkel	Yes approve the proposed alley vacation	
1101 A Avenue West	Fisher Quality Car Wash LLC	No do not approve of the proposed alley vacation	We use the alley to service our business
1107 A Avenue West	Deborah Fisher	No do not approve of the proposed alley vacation	We are building a new strip mall on 1107-1109 A Ave W. This would really constrict access to our property

UTILITY COMPANY RESPONSE

MCG	Yes Major Infrastructure
WATER DEPT.	Yes Major Infrastructure
CENTURY LINK	No Major Infrastructure
MIDAMERICAN ENERGY	Yes Major Infrastructure
CITY SANITARY SEWER	No Major Infrastructure



Planning & Zoning Commission

Meeting Date: November 10, 2014

Requested By: Public Works Dept.

Item Title:

Consider a request to rezone the east portion of the property at 615 E Avenue West from (R-2) Urban Family Residential district to (LI) Limited Industrial district.

Explanation:

The Mahaska County Emergency Management Agency (contract holder) and the Oskaloosa Community School District (deed holder) have submitted a rezoning request for the property located at 615 E Avenue West. The parcel in consideration is 0.77 acres in area. Presently, the western portion of the property is zoned (LI) Limited Industrial district, while the east portion is zoned (R-2) Urban Family Residential district. The Mahaska County Emergency Management Agency wants the entire parcel to be in zoning compliance for vehicle storage purposes.

Table 17.08B, Permitted Uses by Zoning Districts, in the Oskaloosa Municipal Code indicates that both long-term and short-term vehicle storage is permitted within an LI district. Short-term and long-term vehicle storage are both not permitted within an R-2 district.

Budget Consideration:

Revenue of \$250.00 for the rezoning application fee.

Attachments:

Area Map and Rezone Application Form

REZONING APPLICATION

APPLICANT NAME: Jamey Robinson

APPLICANT ADDRESS: 214 High Ave East Oskaloosa IA 52577

OWNER NAME: Mahaska County Emergency Management Agency

PHONE NUMBER: 641-672-1209

ADDRESS OF PROPERTY: 615 E Ave West Oskaloosa IA 52577

LEGAL DESCRIPTION: (Please provide a copy of the legal description from the Mahaska County Recorder's Office.)

REQUEST REZONING FROM R2
TO LI

REASON FOR REZONING APPLICATION AND THE NATURE AND OPERATING CHARACTERISTICS OF THE PROPOSED USE:

The Mahaska County Emergency Management Commission aquired this property to centrally locate emergencyresponse equpiment. The intentions of rezoning the lot wouldallow MCEMA to park equipment onthe lot that is currently zoned as R2

NOTE: ANY GRAPHIC INFORMATION, INCLUDING SITE PLANS, ELEVATIONS, OTHER DRAWINGS, OR OTHER MATERIALS DETERMINED BY ZONING ADMINISTRATOR TO BE NECESSARY TO DESCRIBE THE PROPOSED USE TO THE PLANNING AND ZONING COMMISSION AND/OR THE CITY COUNCIL WILL BE INCLUDED WITH THIS APPLICATION.

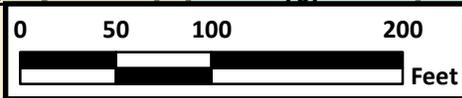
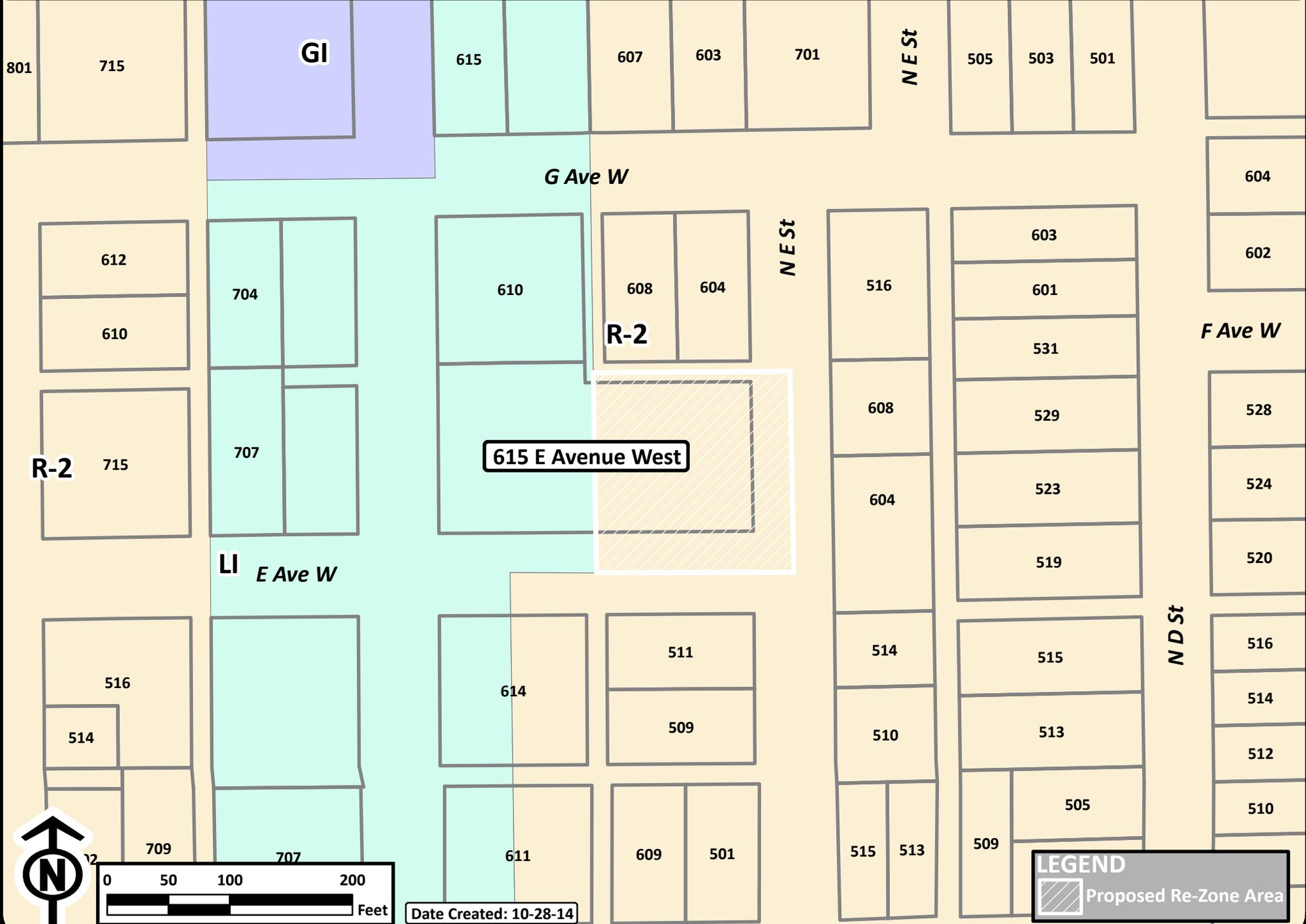
PLEASE SUBMIT THE \$250.00 APPLICATION FEE WITH THIS REQUEST.



Jamey Robinson
SIGNATURE OF OWNER

DATE: 10/07/2014

Proposed Re-Zone of 615 E Avenue West from R-2 (Urban Family Residential) to LI (Limited Industrial)



Date Created: 10-28-14

LEGEND
 Proposed Re-Zone Area



Planning & Zoning Commission

Meeting Date: November 10, 2014

Requested By: Public Works Dept.

Item Title:

Consider a site plan for the property at 702 A Avenue West for a new Taco Bell Restaurant.

Explanation:

Sundance Inc. has submitted a site plan for a new Taco Bell fast-food restaurant to be located at 702 A Avenue West. The site in consideration is 1.00 acres and the present zoning of this property is (UC) Urban Corridor district with A Avenue overlay.

The applicant has submitted the required site plan, along with elevations and a landscape plan, for review through the city staff. The site plan illustrates a 2,298 square foot building with a drive-thru window along the east side. The proposed site will have one entrance from A Avenue and another entrance from High Avenue. New 5 foot wide sidewalk will be installed along both A Avenue and High Avenue, with additional right-of-way to be dedicated to the city along A Avenue. The proposed sidewalk on A Avenue will have a 10 foot setback from the back of the curb. The site indicates a total of 27 parking spaces, which includes 2 handicap accessible spaces. The proposed site will be connecting to existing sanitary sewer and water utilities.

Staff recommends approval of the site plan as presented.

Budget Consideration: None

Attachments:

Site Plan and Application

SITE PLAN APPLICATION
City of Oskaloosa
Public Works Department
804 South D Street
Oskaloosa, IA 52577
Phone number 641-673-7472

APPLICANT NAME: Sundance, Inc. Contact: Rick Eccles

APPLICANT ADDRESS: 7915 Kensington Court, Brighton, MI 48116

PHONE NUMBER: 248-446-0100

FAX NUMBER: _____

EMAIL ADDRESS: rick.eccles@teamlyders.com

OWNER NAME: Robert D. Wersen

ADDRESS OF PROPERTY: 700 Block of A Ave West

LEGAL DESCRIPTION: Lot 1, Lot 2, the East half of Lot 3 and the vacated North-South alley lying adjacent to and East of said Lot 3, and the East 40 feet of Lot 4, all in Block 7, of West Oskaloosa, Mahaska County, Iowa.

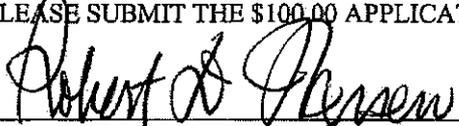
ZONING OF PROPERTY: UC: Urban Corridor, A Ave Overlay

CURRENT USE OF LAND: Vacant

INDICATE THE NATURE AND OPERATING CHARACTERISTICS FOR THE SITE PLAN CHANGE AND THE PROPOSED USE: The proposed development consists of a Taco Bell restaurant with drive-thru window, 27 parking stalls, drive lanes around the building, and access off of both A Ave West and High Ave. Landscaping will be provided throughout the site to enhance the appearance as well as provide shade. The development meets all zoning requirements.

NOTE: ANY GRAPHIC INFORMATION, INCLUDING SITE PLANS, ELEVATIONS, OTHER DRAWINGS, OR OTHER MATERIALS DETERMINED BY ZONING ADMINISTRATOR TO BE NECESSARY TO DESCRIBE THE PROPOSED USE TO THE PLANNING AND ZONING COMMISSION AND/OR THE CITY COUNCIL WILL BE INCLUDED WITH THIS APPLICATION.
PROVIDE 15 COPIES OF REQUESTED DOCUMENTS

PLEASE SUBMIT THE \$100.00 APPLICATION FEE WITH THIS REQUEST.


SIGNATURE OF OWNER

DATE: 10-13-14

** PROPERTY OWNER LETTER OF APPROVAL FOR CHANGE IN SITE REQUIRED IF APPLICANT IS NOT OWNER**



100 CAMELOT DRIVE
FOND DU LAC, WI 54935
PHONE: (920) 926-9800
FAX: (920) 926-9801

Always a Better Plan

DESIGN PROFESSIONAL
STAMP / SIGNATURE

OWNER:
SUNDANCE, INC.
7915 KENSINGTON COURT
BRIGHTON, MICHIGAN 48116

PROJECT:
TACO BELL
A AVENUE WEST
OSKALOOSA, IA 52577

PRELIMINARY SHEET DATES:
OCTOBER 10, 2014
NOVEMBER 5, 2014

JOB NUMBER:
1409780

SHEET

C1.0 CS

2014 © EXCEL ENGINEERING, INC.

PROPOSED TACO BELL RESTAURANT FOR: SUNDANCE, INC. OSKALOOSA, IOWA

PROPOSED LEGEND

- 000.00 PROPOSED SPOT ELEVATIONS (FLOW LINE OF CURB UNLESS OTHERWISE SPECIFIED)
- 000.00 TR PROPOSED SPOT ELEVATIONS (TOP OF RETAINING WALL, TOP OF SURFACE GRADE AT BOTTOM OF WALL)
- 000.00 TC PROPOSED SPOT ELEVATIONS (TOP OF CURB, BOTTOM OF CURB)
- 000.00 TW PROPOSED SPOT ELEVATIONS (TOP OF WALK, BOTTOM OF WALK)
- ♿ PROPOSED HANDICAP PARKING STALL
- ⊕ PROPOSED WATER VALVE IN BOX
- ⊕ PROPOSED ROUND CATCH BASIN
- ⊕ PROPOSED CURB INLET
- ➔ PROPOSED DRAINAGE FLOW
- ST — ⊕ PROPOSED STORM SEWER AND MANHOLE
- SA — ⊕ PROPOSED SANITARY SEWER AND MANHOLE
- W — ⊕ PROPOSED WATER LINE AND HYDRANT
- ⊕ PROPOSED CURB AND GUTTER
- 800 PROPOSED GROUND CONTOUR

CIVIL SHEET INDEX

SHEET	SHEET TITLE	CITY REVIEW	CITY RESUBMITAL	ISSUED FOR CONSTRUCTION	REVISION #1	REVISION #2	REVISION #3
C1.0 CS	CIVIL COVER AND SPECIFICATION SHEET	DATE: 10-10-14	11-05-14	-	-	-	-
C1.1 EX	EXISTING SITE AND DEMOLITION PLAN	PRELIM	PRELIM				
C1.2 SP	SITE PLAN	PRELIM	PRELIM				
C1.3 GE	GRADING AND EROSION CONTROL PLAN	PRELIM	PRELIM				
C1.4 UT	UTILITY PLAN	PRELIM	PRELIM				
C1.5 LA	LANDSCAPE PLAN	PRELIM	PRELIM				
C1.6 LT	LIGHTING PHOTOMETRIC PLAN	PRELIM	PRELIM				
C1.7 DT1	SITE DEVELOPMENT DETAILS	PRELIM	PRELIM				
C1.8 DT2	TACO BELL CORPORATE DETAILS	PRELIM	PRELIM				

PROJECT NOTES

GENERAL NOTES:

- ALL DRIVEWAYS AND CURB CUTS TO BE CONSTRUCTED ACCORDING TO LOCAL ORDINANCES. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL WORK IN ROW PERMITS.

CONTACTS

OWNER
SUNDANCE, INC.
7915 KENSINGTON COURT
BRIGHTON, MI 48116
CONTACT: RICK ECCLES
P: (248) 446-0100
Rick.eccles@teamydiers.com

CIVIL ENGINEER / ARCHITECT
EXCEL ENGINEERING
100 CAMELOT DRIVE
FOND DU LAC, WISCONSIN 54935
CIVIL CONTACT: JASON DAYE
jason.d@excelengineer.com
ARCHITECTURAL CONTACT: JONATHAN BRINKLEY
jonathan.b@excelengineer.com
P: (920) 926-9800
F: (920) 926-9801



CALL IOWA ONE CALL
1-800-292-8989
TOLL FREE
OR CALL 811

IOWA LAW
REQUIRES MINIMUM OF 2 WORK DAYS
NOTICE BEFORE YOU EXCAVATE

DIVISION 31 EARTH WORK

31 10 00 SITE CLEARING (DEMOLITION)

A. CONTRACTOR SHALL CALL IOWA ONE AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING DEMOLITION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.

B. DEMOLITION PLAN IS AN OVERVIEW OF DEMOLITION TO TAKE PLACE ON SITE. CONTRACTOR TO FIELD VERIFY EXISTING SITE CONDITIONS PRIOR TO BIDDING. CONTRACTOR SHALL REMOVE, REPLACE, OR DEMOLISH ALL ITEMS AS NEEDED DURING CONSTRUCTION.

C. CONTRACTOR TO PROTECT EXISTING IMPROVEMENTS THAT ARE SCHEDULED TO REMAIN. ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPLACED AT CONTRACTORS EXPENSE.

D. ALL CONCRETE NOTED TO BE REMOVED SHALL BE REMOVED TO THE NEAREST CURB JOINT.

31 20 00 EARTH MOVING

A. CONTRACTOR SHALL CALL IOWA ONE AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING EXCAVATION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.

B. PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT FOR ALL EXCAVATION, GRADING, FILL AND BACKFILL WORK AS REQUIRED TO COMPLETE THE GENERAL CONSTRUCTION WORK. ALL EXCAVATION AND BACKFILL FOR ELECTRICALS AND MECHANICALS ARE THE RESPONSIBILITY OF THE RESPECTIVE CONTRACTOR.

C. ALL ORGANIC TOPSOIL INSIDE THE BUILDING AREA, UNDER PAVED AREAS, AND AT SITE FILL AREAS SHALL BE REMOVED. PROOF ROLL SUBGRADES BEFORE PLACING FILL WITH HEAVY PNEUMATIC-TIRED EQUIPMENT, SUCH AS A FULLY-LOADED TANDEN AXLE DUMP TRUCK, TO DENSITY SOFT SPOTS AND AREAS OF EXCESS YIELDING. CONTRACTOR SHALL VERIFY TOPSOIL DEPTHS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REVIEW AND FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND ACCOUNT FOR EXISTING CONDITIONS PRIOR TO SUBMITTING BID FOR THE PROJECT. EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE DIRECTED IN THE PLANS OR BY LOCAL ZONING REGULATIONS.

D. PLACE AND COMPACT FILL MATERIAL IN LAYERS TO REQUIRED ELEVATIONS. UNFORMLY MOISTEN OR AERATE SUBGRADE AND EACH SUBSEQUENT FILL OR BACKFILL LAYER BEFORE COMPACTION AS RECOMMENDED TO ACHIEVE SPECIFIED DRY DENSITY. REMOVE AND REPLACE, OR SCARIFY AND AIR DRY, OTHERWISE SATISFACTORY SOIL MATERIAL THAT IS TOO WET TO COMPACT TO SPECIFIED DRY DENSITY.

E. PLACE BACKFILL AND FILL MATERIALS IN LAYERS NOT MORE THAN 4" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 4" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TAMPERS.

F. COMPACT THE SOIL TO NOT LESS THAN THE FOLLOWING PERCENTAGES OF MAXIMUM DRY DENSITY ACCORDING TO ASTM D 698. STANDARD PROCTOR TEST. FILL MAY NOT BE PLACED ON FROZEN GROUND AND NO FROZEN MATERIALS MAY BE USED FOR BACK FILL. APPLY THE MORE STRINGENT REQUIREMENTS WHEN COMPARING BETWEEN THE FOLLOWING AND THE GEOTECHNICAL REPORT.

1. UNDER INTERIOR SLAB-ON-GRADE WHERE GROUNDWATER IS MORE THAN 3 FEET BELOW THE SLAB - PLACE A DRAINAGE COURSE LAYER OF 3/4" CRUSHED GRANITE OR STONE, WITH NO MORE THAN 5% FINES, PER THICKNESS INDICATED ON FOUNDATION PLANS ON PREPARED SUBGRADE. COMPACT THE SUBGRADE AND DRAINAGE COURSE TO NOT LESS THAN 96 PERCENT.

2. UNDER INTERIOR SLAB-ON-GRADE WHERE GROUNDWATER IS WITHIN 3 FEET OF THE SLAB SURFACE, PLACE A DRAINAGE COURSE LAYER OF CLEAN 3/4" CRUSHED STONE, WITH NO MORE THAN 5% FINES, PER THICKNESS INDICATED ON FOUNDATION PLANS ON PREPARED SUBGRADE. COMPACT THE SUBGRADE AND DRAINAGE COURSE TO NOT LESS THAN 96 PERCENT.

3. UNDER EXTERIOR CONCRETE AND ASPHALT PAVEMENTS - COMPACT THE SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN 95 PERCENT.

4. UNDER WALKWAYS - CONCRETE AND ASPHALT PAVEMENTS - COMPACT THE SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN 95 PERCENT.

5. UNDER LAWN OR UNPAVED AREAS - COMPACT SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL, TO NOT LESS THAN 85 PERCENT.

G. CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO PERFORM FIELD TESTS AND INSPECTIONS. IT IS SUGGESTED THAT THE GEOTECHNICAL FIRM USED TO PERFORM THE SUBSURFACE SOIL INVESTIGATION BE ENGAGED FOR THE FIELD QUALITY CONTROL TESTS.

H. ALLOW THE TESTING AGENCY TO TEST AND INSPECT SUBGRADES AND EACH FILL OR BACKFILL LAYER. PROCEED WITH SUBSEQUENT LAYERS OF CONSTRUCTION WITH REQUIREMENTS PROVIDED IN THE SPECIFICATION. PROVIDE ONE TEST FOR EVERY 2000 SQUARE FEET OF PAVED AREA OR BUILDING SLAB, ONE TEST FOR EACH SPREAD FOOTING, AND ONE TEST FOR EVERY 50 LINEAR FEET OF WALL STRIP FOOTING.

I. WHEN THE TESTING AGENCY REPORTS THAT SUBGRADES, FILLS, OR BACKFILLS HAVE NOT ACHIEVED DEGREE OF COMPACTION SPECIFIED, SCARIFY AND MOISTEN OR AERATE, OR REMOVE AND REPLACE SOIL TO DEPTH REQUIRED. RECOMPACT AND RE-TEST UNTIL SPECIFIED COMPACTION IS OBTAINED.

J. THE BUILDING SITE SHALL BE GRADED TO PROVIDE DRAINAGE AWAY FROM THE BUILDING AS INDICATED ON THE PLANS. SITE EARTHWORK SHALL BE GRADED TO WITHIN 0.10' OF REQUIRED EARTHWORK ELEVATIONS ASSUMING POSITIVE DRAINAGE IS MAINTAINED IN ACCORDANCE WITH THE GRADING PLAN.

31 30 00 EROSION CONTROL

A. THE DESIGN ENGINEER SHALL PREPARE A SITE SPECIFIC POLLUTION PREVENTION PLAN IN ACCORDANCE WITH THE IOWA CONSTRUCTION SITE EROSION CONTROL MANUAL. THE DESIGN ENGINEER SHALL ALSO FILE A CONSTRUCTION NOTICE OF INTENT WITH THE IOWA DEPARTMENT OF NATURAL RESOURCES.

B. THE CONTRACTOR SHALL KEEP THE NOTICE OF INTENT PERMIT, APPROVED EROSION CONTROL, AND STORMWATER MANAGEMENT PLANS, AND PLAN AMENDMENTS ON THE CONSTRUCTION SITE AT ALL TIMES UNTIL PERMIT COVERAGE IS TERMINATED.

C. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL EROSION CONTROL PERMITS.

D. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING THE MONITORING, MAINTENANCE, AND REPORTING REQUIREMENTS OF THE POLLUTION PREVENTION PLAN. INSPECTORS OF IMPLEMENTED EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES MUST AT A MINIMUM BE INSPECTED EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A PRECIPITATION EVENT OF 0.5" OR MORE. A PRECIPITATION EVENT MAY BE CONSIDERED TO BE THE TOTAL AMOUNT OF PRECIPITATION RECORDED IN ANY CONTIGUOUS 24-HOUR PERIOD. THE CONTRACTOR SHALL REPAIR OR REPLACE EROSION AND SEDIMENT CONTROL AS NECESSARY WITHIN 24 HOURS OF AN INSPECTOR OR AFTER A DEPARTMENT NOTIFICATION WHERE REPAIR OR REPLACEMENT IS REQUESTED.

E. THE CONTRACTOR SHALL MAINTAIN, AT THE CONSTRUCTION SITE, WEEKLY WRITTEN REPORTS OF ALL INSPECTIONS CONDUCTED. WEEKLY INSPECTION REPORTS SHALL INCLUDE ALL OF THE FOLLOWING:

- THE DATE, TIME, AND EXACT LOCATION OF THE CONSTRUCTION SITE INSPECTION.
- THE NAME OF THE INDIVIDUAL WHO PERFORMED THE INSPECTION.
- AN ASSESSMENT OF THE CONDITION OF THE EROSION AND SEDIMENT CONTROLS.
- A DESCRIPTION OF ANY EROSION CONTROL IMPROVEMENTS AND MAINTENANCE PERFORMED.
- A DESCRIPTION OF THE PRESENT PHASE OF LAND DISTURBING CONSTRUCTION ACTIVITY AT THE CONSTRUCTION SITE.

F. EROSION AND SEDIMENT CONTROL IMPLEMENTED DURING CONSTRUCTION SHALL STRICTLY COMPLY WITH THE GUIDELINES AND REQUIREMENTS SET FORTH BY THE ENVIRONMENTAL PROTECTION DIVISION OF THE STATE OF IOWA DEPARTMENT OF NATURAL RESOURCES IN THE IOWA CONSTRUCTION SITE EROSION CONTROL MANUAL. TECHNICAL STANDARDS PUBLISHED BY THE IOWA DNR IN THE IOWA CONSTRUCTION SITE EROSION CONTROL MANUAL SHALL ALSO BE UTILIZED TO IMPLEMENT THE REQUIRED PERFORMANCE STANDARDS. THE METHOD AND TYPES OF EROSION CONTROL WILL BE DEPENDENT ON THE LOCATION AND TYPE OF WORK INVOLVED. ALL SEDIMENT CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION, AND INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL. BELOW IS A LIST OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES TO ACHIEVE THE PERFORMANCE STANDARDS REQUIRED.

1. SILT FENCE SHALL BE PLACED ON SITE AT LOCATIONS SHOWN ON THE EROSION CONTROL PLAN. SILT FENCE SHALL ALSO BE PROVIDED AROUND THE PERIMETER OF ALL SOIL STOCKPILES. FOLLOW PROCEDURES FOUND IN THE IOWA CONSTRUCTION SITE EROSION CONTROL MANUAL.

2. STORM DRAIN INLET PROTECTION SHALL BE PROVIDED FOR ALL NEW AND DOWNSTREAM STORM CATCH BASINS AND CURB INLETS PER THE EROSION CONTROL PLAN. FOLLOW PROCEDURES FOUND IN THE IOWA CONSTRUCTION SITE EROSION CONTROL MANUAL.

3. STABILIZATION CONSTRUCTION ENTRANCES SHALL BE PROVIDED AT ALL CONSTRUCTION VEHICLE INGRESS AND EGRESS POINTS. FOLLOW PROCEDURES FOUND IN THE IOWA CONSTRUCTION SITE EROSION CONTROL MANUAL.

4. DUST CONTROL MEASURES SHALL BE PROVIDED TO REDUCE OR PREVENT THE SURFACE AND AIR TRANSPORT OF DUST DURING CONSTRUCTION. CONTROL MIST, MUD, AND SOIL. ESTABLISH VEGETATION, WATER SPRAYING, SURFACE ROUGHENING, APPLYING POLYMERS, SPRAY-ON TACKIFIERS, CHLORIDES, AND BARRIERS. SOME SITES MAY REQUIRE AN APPROACH THAT UTILIZES A COMBINATION OF MEASURES FOR DUST CONTROL. FOLLOW PROCEDURES FOUND IN THE IOWA CONSTRUCTION SITE EROSION CONTROL MANUAL.

5. THE USE, STORAGE, AND DISPOSAL OF CHEMICALS, CEMENT, AND OTHER COMPOUNDS AND MATERIALS USED ON SITE SHALL BE MANAGED DURING THE CONSTRUCTION PERIOD TO PREVENT THEIR TRANSPORT BY RUNOFF INTO WATERS OF THE STATE PER CHAPTER 81 OF THE IOWA ADMINISTRATIVE CODE.

6. CONTRACTOR SHALL PROVIDE AN OPEN AGGREGATE CONCRETE TRUCK WASHOUT AREA ON SITE. CONTRACTOR TO ENSURE THAT CONCRETE WASHOUT SHALL BE CONTAINED TO THE DESIGNATED AREA AND NOT BE ALLOWED TO RUN INTO STREAMS OR INTO THE OVERLAND STORMWATER DRAINAGE SYSTEM. WASHOUT AREA SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION.

7. TEMPORARY SITE RESTORATION SHALL TAKE PLACE IN DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 14 DAYS AND REQUIRES VEGETATIVE COVER FOR LESS THAN ONE YEAR. THIS TEMPORARY SITE RESTORATION REQUIREMENT ALSO APPLIES TO SOIL STOCKPILES THAT EXIST FOR MORE THAN 7 DAYS. PERMANENT RESTORATION APPLIES TO AREAS WHERE PERENNIAL VEGETATIVE COVER IS NEEDED TO PERMANENTLY STABILIZE AREAS OF EXPOSED SOIL. PERMANENT STABILIZATION SHALL OCCUR WITHIN 3 WORKING DAYS OF FINAL GRADING. TOPSOIL, SEED, AND MULCH SHALL BE IN GENERAL CONFORMANCE WITH THE EROSION CONTROL PLAN. FOLLOW PROCEDURES FOUND IN THE IOWA CONSTRUCTION SITE EROSION CONTROL MANUAL. ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND FINAL STABILIZATION MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.

8. IF SITE DEWATERING IS REQUIRED TO REMOVE SEDIMENT FROM CONSTRUCTION SITE STORMWATER FLOW TO DISCHARGING OFF-SITE OR TO WATERS OF THE STATE, FOLLOW PROCEDURES FOUND IN THE EROSION CONTROL PLAN. FOLLOW PROCEDURES FOUND IN THE IOWA CONSTRUCTION SITE EROSION CONTROL MANUAL.

9. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH WORKING DAY. FLUSHING SHALL NOT BE ALLOWED.

C. ALL EROSION CONTROL DEVICES SHALL AT A MINIMUM BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD. MAINTENANCE SHALL BE PERFORMED PER THE EROSION CONTROL PLAN. FOLLOW PROCEDURES FOUND IN THE IOWA CONSTRUCTION SITE EROSION CONTROL MANUAL.

D. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL THE AREAS SERVED HAVE ESTABLISHED VEGETATIVE COVER.

E. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL EROSION CONTROL PERMITS.

DIVISION 32 EXTERIOR IMPROVEMENTS

32 10 00 AGGREGATE BASE & ASPHALT PAVEMENT
A. CONTRACTOR TO PROVIDE CRUSHED AGGREGATE BASE AND COMMERCIAL GRADE HOT MIX ASPHALT PAVEMENT WHERE INDICATED ON THE PLANS.

B. STANDARD ASPHALT PAVING
1.1/2" SURFACE COURSE
1.1/2" BINDER COURSE
4" OF 1 1/4" CRUSHED AGGREGATE
8" OF 1 1/4" CRUSHED AGGREGATE

HEAVY ASPHALT PAVING
1.5" SURFACE COURSE
2.1/4" BINDER COURSE
8" OF 1 1/4" CRUSHED AGGREGATE
8" OF 1 1/4" CRUSHED AGGREGATE

C. ALL AGGREGATE PLACED MUST BE COMPACTED TO 96% OF MAXIMUM DRY DENSITY. ALL ASPHALT PAVEMENT AREAS SHALL BE PAVED TO WITHIN 0.10' OF DESIGN SURFACE GRADES WITH POSITIVE DRAINAGE BEING MAINTAINED IN ACCORDANCE WITH DESIGN PLANS. A MINIMUM OF 1% SLOPE SHALL BE MAINTAINED ON ALL ASPHALT PAVEMENT AREAS.

D. CONTRACTOR TO PROVIDE 4" WIDE WHITE PAINTED STRIPING FOR PARKING STALLS, TRAFFIC LANES, AND NO PARKING AREAS. WHITE PAINT MARKINGS SHALL ALSO BE PROVIDED FOR H.C. ACCESSIBLE SYMBOLS, TRAFFIC ARROWS, AND TRAFFIC MESSAGES.

32 20 00 CONCRETE AND AGGREGATE BASE
A. CONTRACTOR TO PROVIDE CRUSHED AGGREGATE BASE AND CONCRETE WHERE INDICATED ON THE PLANS.

B. ALL AGGREGATE PLACED MUST BE COMPACTED TO A MAXIMUM DRY DENSITY OF 96%.

C. DESIGN AND CONSTRUCTION OF ALL CAST-IN-PLACE EXTERIOR CONCRETE FLAT WORK SHALL CONFORM TO ACI 308R-08.

D. EXTERIOR CONCRETE FLAT WORK CONSTRUCTION TO BE PROVIDED PER MORE STRINGENT REQUIREMENTS OF THE GEOTECHNICAL REPORT OR THIS SPECIFICATION. CONCRETE FLAT WORK CONSTRUCTION IS AS FOLLOWS:

1. SEVERAL CONCRETE - 4" OF CONCRETE OVER 4" OF 3/4" CRUSHED AGGREGATE BASE. CONTRACTION JOINTS SHALL CONSIST OF 1/8" WIDE BY 1" DEEP TOOLED JOINT WHERE INDICATED ON THE PLANS.

2. HEAVY DUTY DAMPSTER CONCRETE - 8" OF CONCRETE OVER 8" OF 3/4" CRUSHED AGGREGATE. CONCRETE SHALL BE REINFORCED WITH 4"x4" W5.8X55.5 W/W. CONTRACTION JOINTS SHALL BE SAWN 1.5" IN DEPTH AND BE SPACED A MAXIMUM OF 0' 10" ON CENTER.

3. DRIVE-THRU CONCRETE - 8" OF CONCRETE OVER 8" OF 3/4" CRUSHED AGGREGATE BASE. CONCRETE SHALL BE REINFORCED WITH 6"x6" W8.2X63.5 W/W. CONTRACTION JOINTS SHALL BE SAWN 1.5" IN DEPTH AND BE SPACED A MAXIMUM OF 0' 10" ON CENTER.

E. DESIGN MIXES SHALL BE IN ACCORDANCE WITH ASTM C94

1. STRENGTH TO BE MINIMUM OF 4,000 PSI AT 28 DAYS FOR EXTERIOR CONCRETE.

2. SLUMP SHALL NOT EXCEED 4" FOR EXTERIOR CONCRETE FLAT WORK

3. SLUMP SHALL BE 1" OR LESS FOR SLIP-FORMED CURBS AND GUTTER.

4. SLUMP SHALL BE BETWEEN 1.5" TO 3" FOR NON-SLIP-FORMED CURBS AND GUTTER.

5. ALL EXTERIOR CONCRETE SHALL BE AIR ENTRAINED WITH 4% TO 6% AIR CONTENT. NO OTHER ADMIXTURES SHALL BE USED WITHOUT APPROVAL OF EXCEL ENGINEERING, INC. CALCIUM CHLORIDE SHALL NOT BE USED.

6. MAXIMUM AGGREGATE SIZE FOR ALL EXTERIOR CONCRETE SHALL BE 0.75 INCHES.

F. ALL EXTERIOR MECHANICAL EQUIPMENT CONCRETE PADS SHALL BE SIZED AND DESIGNED BY THE EQUIPMENT SUPPLIER.

G. ALL CONCRETE FLAT WORK SURFACES AND CONCRETE CURB FLOWLINES SHALL BE CONSTRUCTED TO WITHIN 0.05' OF DESIGN SURFACE AND FLOWLINE GRADES ASSUMING POSITIVE DRAINAGE. S MAINTAINED IN ACCORDANCE WITH THE DESIGN PLANS.

H. CONCRETE FLAT WORK SHALL HAVE CONSTRUCTION JOINTS OR SAW CUT JOINTS PLACED AS INDICATED ON THE PLANS OR PER THIS SPECIFICATION. SAW CUTS SHALL BE DONE AS SOON AS POSSIBLE, BUT NO LATER THAN 24 HOURS AFTER CONCRETE IS PLACED.

I. CONCRETE CURBS AND GUTTER SHALL BE PLACED EVERY 8' OR CLOSER IF MIN. ALL EXTERIOR CONCRETE SHALL HAVE A LIGHT BROOM FINISH UNLESS NOTED OTHERWISE. A UNIFORM COAT OF A HIGH SOLIDS CURING COMPOUND MEETING ASTM C939 SHOULD BE APPLIED TO ALL EXPOSED CONCRETE SURFACES. ALL CONCRETE IS TO BE CURED FOR 7 DAYS. EXTERIOR CONCRETE SHALL BE SEPARATE FROM BUILDINGS WITH CONTINUOUS 0.8 THICK POLYETHYLENE JOINT AND/OR 2" HIGH REB EXPANSION JOINT AT DECORATIVE MASONRY UNITS.

J. ALL REINFORCING BARS SHALL BE ASTM A615 GRADE 60. THICKNESS OF CONCRETE COVER OVER REINFORCEMENT SHALL BE NOT LESS THAN 2" WHERE CONCRETE IS DEPOSITED AGAINST THE GROUND WITHOUT THE USE OF FORMS AND NOT LESS THAN 1.5" IN ALL OTHER LOCATIONS. ALL REINFORCING SHALL BE LAPPED 36 DIAMETERS FOR UP TO #8 BARS, 48 DIAMETERS FOR #7 TO #10 BARS OR AS NOTED ON THE DRAWINGS AND EXTENDED AROUND CORNERS WITH CORNER BARS. PLACING AND DETAILING OF STEEL REINFORCING AND REINFORCING SUPPORTS SHALL BE IN ACCORDANCE WITH CRSI AND ACI MANUAL AND STANDARD PRACTICES. THE REINFORCEMENT SHALL NOT BE PAINTED AND MUST BE FREE OF GREASE, OIL, OR DEEP RUST WHEN PLACED IN THE WORK. ALL WELDED WIRE FABRIC SHALL MEET THE REQUIREMENTS OF ASTM A 185. WELDED WIRE FABRIC SHALL BE PLACED 2" FROM TOP OF SLAB, UNLESS INDICATED OTHERWISE.

K. CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO SAMPLE MATERIALS, PERFORM TESTS, AND SUBMIT TEST REPORTS SUBMITTING CONCRETE PLACEMENT. CONCRETE TESTING ACCORDING TO AASHTO T 99. GAST AND AASHTO T 99. LABORATORY CURE ONE SET OF FOUR STANDARD CYLINDERS FOR EACH COMPOSITE SAMPLE FOR EACH DAY'S POUR OF EACH CONCRETE MIX EXCEEDING 50 CU. YD. PLUS ONE SET FOR EACH ADDITIONAL 50 CU. YD. OR FRACTION THEREOF. PERFORM COMPRESSIVE STRENGTH TESTS ACCORDING TO ASTM C 39. TEST TWO SPECIMENS AT 7 DAYS AND TWO SPECIMENS AT 28 DAYS. PERFORM SLUMP TESTING ACCORDING TO ASTM C 143. PROVIDE ONE TEST AT POINT OF PLACEMENT FOR EACH COMPOSITE SAMPLE, BUT NOT LESS THAN ONE TEST FOR EACH DAY'S POUR OF EACH CONCRETE MIX. PERFORM ADDITIONAL TESTS WHEN CONCRETE CONSISTENCY APPEARS TO CHANGE.

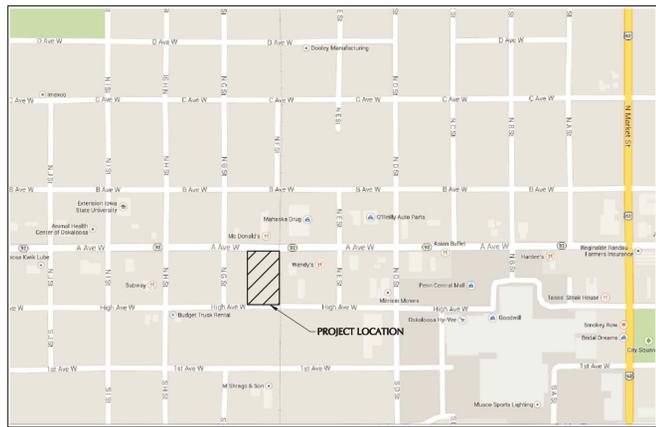
L. PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COOL OR HOT TEMPERATURES. IN HOT, DRY, AND WINDY WEATHER, APPLY AN EVAPORATIVE CURING AND PROTECTIVE COMPOUND ACCORDING TO MANUFACTURERS INSTRUCTIONS AFTER SCREEDING AND BULL FLOATING, BUT BEFORE POWER FLOATING AND TROWELLING.

M. LIMIT MAXIMUM WATER-CEMENTIOUS RATIO OF CONCRETE EXPOSED TO FREEZING, THAWING AND DEICING SALTS TO 0.45.

CONSTRUCTION SEQUENCE

PHASE	TYPE OF ACTION
1. PRE-CONSTRUCTION ACTION	1. CONTRACTOR TO CALL IOWA ONE CALL SYSTEM AT A MINIMUM OF 2 DAYS PRIOR TO CONSTRUCTION. 2. PLACE ALL SILT FENCE. 3. CONSTRUCT TRACKING STONE ENTRANCES AND ANY TEMPORARY CONSTRUCTION ROADWAYS. 4. CONSTRUCT PERMANENT STORMWATER CONVEYANCE SYSTEMS REQUIRED. 5. CONSTRUCT ANY TEMPORARY STORMWATER CONVEYANCE SYSTEMS AS NEEDED. 6. STABILIZE ALL TEMPORARY AND PERMANENT EROSION CONTROL AND STORMWATER CONVEYANCE SYSTEMS BEFORE TOPSOIL CAN BE STRIPPED.
2. CONSTRUCTION ACTION	1. SITE DEMOLITION AS REQUIRED. 2. STRIP AND RELOCATE TOPSOIL TO THE DESIGNATED TOPSOIL STOCKPILE, LOCATION BY OWNER. 3. BEGIN MASS EARTH WORK FOR THE BUILDING PAD AND PAVEMENT AREAS. 4. INSTALL ALL UTILITIES ON SITE. 5. DIG AND POUR ALL BUILDING FOOTINGS. 6. PLACE GRAVEL FOR ALL PROPOSED PAVEMENT AREAS. 7. TOPSOIL, SEED, AND MULCH ALL DISTURBED AREAS OUTSIDE THE BUILDING AND PROPOSED PAVEMENT AREAS. 8. CONSTRUCT BUILDING. 9. PAVE DRIVEWAYS AND PARKING AREAS. 10. TOPSOIL, SEED, AND MULCH ALL OTHER DISTURBED AREAS. PLACE EROSION MATTING AND RIP RAP.
3. POST CONSTRUCTION ACTION	1. CONTRACTOR TO REMOVE TEMPORARY EROSION CONTROL MEASURES UPON SITE STABILIZATION.

CONTRACTOR TO FOLLOW THE EROSION CONTROL SPECIFICATIONS FOR CONSTRUCTION EROSION CONTROL INSPECTION AND MAINTENANCE.



PROJECT LOCATION MAP

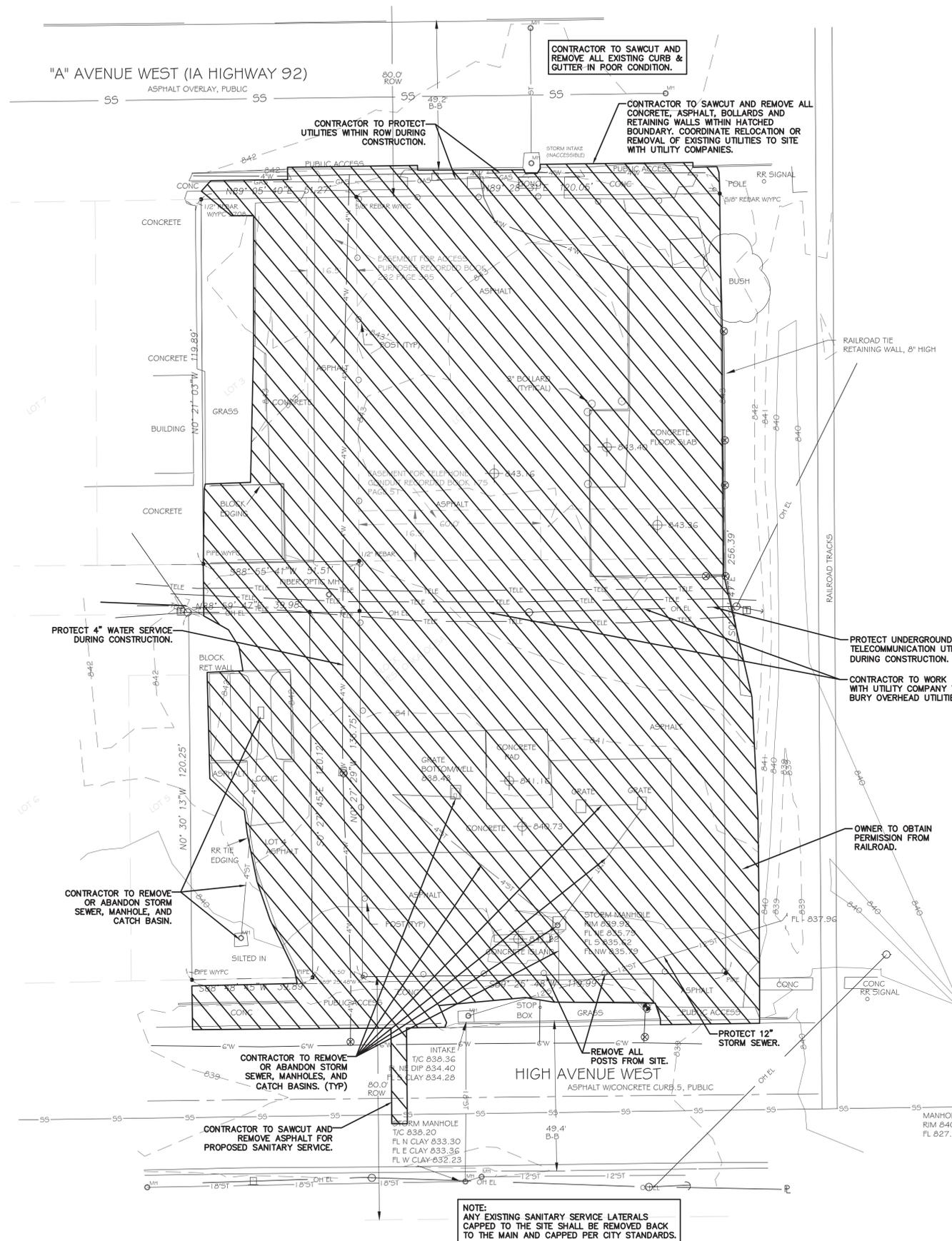
CIVIL COVER AND SPECIFICATION SHEET
PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

NOTES CORRESPONDING TO SCHEDULE B

- 12. Easements as shown on the Plat of West Oskaloosa, recorded June 24, 1853 in Book E, Page 20. No easements were found. It does not affect the subject property and it is not shown on the survey.
- 13. Easements as shown on the Plat of Block 7 of West Oskaloosa, recorded February 26, 1873 in Book 1, Page 117. No easements were found. It does not affect the subject property and it is not shown on the survey.
- 14. Terms and conditions of Easement and Agreement, dated January 13, 1981, recorded March 18, 1981 in Book 232, Page 385. It does affect the subject property and is shown on the survey.
- 15. Terms and conditions of Easement, dated November 23, 1964, recorded November 23, 1964 in Book 155, Page 111. NE-ly power line does not exist. It does not affect the subject property and is not shown on the survey.
- 16. Terms and conditions of Right of Way Permit, dated March 14, 1972, recorded March 20, 1972 in Book 175, Page 51. It does affect the subject property and is shown on the survey.
- 17. Terms and conditions of Entrance Permit, dated July 28, 1972, recorded November 15, 1972 in Book 198, Page 111. It does affect the subject property and is shown on the survey.
- 18. Terms and conditions of Right of Way Permit, dated March 14, 1972, recorded March 20, 1972 in Book 175, Page 52. It does affect the subject property and is shown on the survey.
- 19. Terms and conditions of Right of Way Permit, dated March 14, 1972, recorded March 20, 1972 in Book 175, Page 53. It does affect the subject property and is shown on the survey. Same easement as Item 18 above.
- 20. Terms and conditions of Easement for Access, dated February 1, 2002, recorded February 1, 2002 in Book 478, Page 25. It does not affect the subject property and it is not shown on the survey.
- 21. Plat of Survey, recorded January 23, 2008, in Book 4, Page 229. It does affect the subject property and is blanket in nature.

MISCELLANEOUS NOTES

- All measurements in feet and decimals thereof.
- The basis of bearings for this survey is Grid South Iowa State Plane Coordinate System NAD 83 Datum. The south right of way line of "A" Avenue West Street bears N89°28'31"E.
- There is no observable evidence of any cemeteries on the subject property.
- There are no ponds, lakes, springs or rivers located on or running through the subject property except as shown on the survey.
- "A" Avenue West and High Avenue West are public streets and provides access to the subject property.
- At time of survey, there was no observable evidence of earth moving equipment, building construction or building addition.
- There was no observable evidence of recent street or sidewalk construction or repairs. No changes in the street right-of-way lines either completed or proposed are available from the controlling jurisdiction.
- Owner and Address of subject property is:
Robert D. Wersen (as to Lot 3 and vacated alley)
Robert D. Wersen and Sharman S. Wersen (as to Lots 1 and 2 and East 40 feet of Lot 4)
700 Block, "A" Avenue West Oskaloosa, Iowa 52577.
- There was no observable evidence of the site being used as a solid waste dump, sump, or sanitary landfill.
- Subject Property is undeveloped with no buildings.
- The south right-of-way line of "A" Avenue West is contiguous with the property line of the subject property. The north right-of-way line of High Avenue West is contiguous with the property line of the subject property.
- Benchmark: Northeast Bolt of Fire Hydrant at southeast corner of site - 841.28 msl
- North-South water line in former alley appears to have no easement.
- Telephone conduit, telephone line and power line appear to have no easement. Conduit easements as described in Items 16, 18 and 19 of Schedule B do not fall on existing conduit lines.



LEGEND OF SYMBOLS & ABBREVIATIONS

○ Deciduous Tree w/size	⊗ Gas Meter
○ Power Pole	⊗ Sanitary Clean Out
□ Sign	⊗ Water Valve
⊗ Electric Transformer	⊗ Fire Hydrant
⊗ Telephone Manhole	⊗ Manhole
⊗ Telephone Pedestal	⊗ Found 1" Pipe w/cap #12972
⊗ Electric Meter	⊗ Set 1/2" rebar w/ypc #9647
○ Light Pole	⊗ Benchmark
	⊗ Indicates Handicapped Parking
N. North	ft. Feet
S. South	Vol. Volume
E. East	Pg. Page
W. West	() Recorded as
° Degrees	L/S Landscaped
' Feet or Minutes	BH Building Height
" Inches or Seconds	ROW Right of Way
Sq. Square	CL Centerline
UG EL Underground Electric Line	
RCP Reinforced Concrete Pipe	
YPC Yellow Plastic Cap	
B-B Back to Back	
SS Sanitary Sewer	
TEL Telephone	
ST Storm Sewer	
TELE Underground Telephone	

UTILITY NOTES

Iowa Code 480, underground facilities information, requires verbal notice to Iowa one-call, 1-800-292-8989, not less than 48 hours before excavation, excluding weekends and legal holidays.

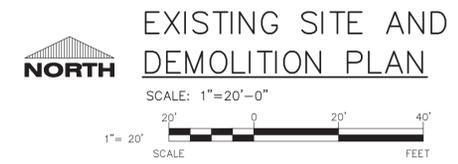
The locations of underground utilities as shown hereon are based on the above ground structures, utility company locations or public records and may vary from the actual location. Additional buried utilities and structures may be encountered and should be considered and verification made from various utilities and government agencies prior to any excavation.

FLOOD NOTE

By graphic plotting only, this property is located outside of Zone "A" of the Flood Insurance Rate Map, Community Panel No. 19123C0250C, which bears an effective date of June 16, 2011 and is NOT in a special flood hazard area.

Stephen Michael Brain, LS
Registered Land Surveyor No. 9647
In the State of Iowa
License Renewal Date is December 31, 2014

Survey Prepared By:
Brain Engineering Inc
1540 Midland Ct., N.E.
Cedar Rapids, IA 52402
319-294-9424
mike@brain-eng.com



NOTE:
ANY EXISTING SANITARY SERVICE LATERALS CAPPED TO THE SITE SHALL BE REMOVED BACK TO THE MAIN AND CAPPED PER CITY STANDARDS.

PRELIMINARY DRAWING - NOT FOR CONSTRUCTION



100 CAMELOT DRIVE
FOND DU LAC, WI 54935
PHONE: (920) 926-9800
FAX: (920) 926-9801

Always a Better Plan

DESIGN PROFESSIONAL
STAMP / SIGNATURE

OWNER:
SUNDANCE, INC.
7915 KENSINGTON COURT
BRIGHTON, MICHIGAN 48116

PROJECT:
TACO BELL
A AVENUE WEST
OSKALOOSA, IA 52577

PRELIMINARY SHEET DATES:
OCTOBER 10, 2014
NOVEMBER 5, 2014

JOB NUMBER:
1409780

SHEET

C1.1 EX

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SUNDANCE, INC.
7915 KENSINGTON COURT
BRIGHTON, MICHIGAN 48116

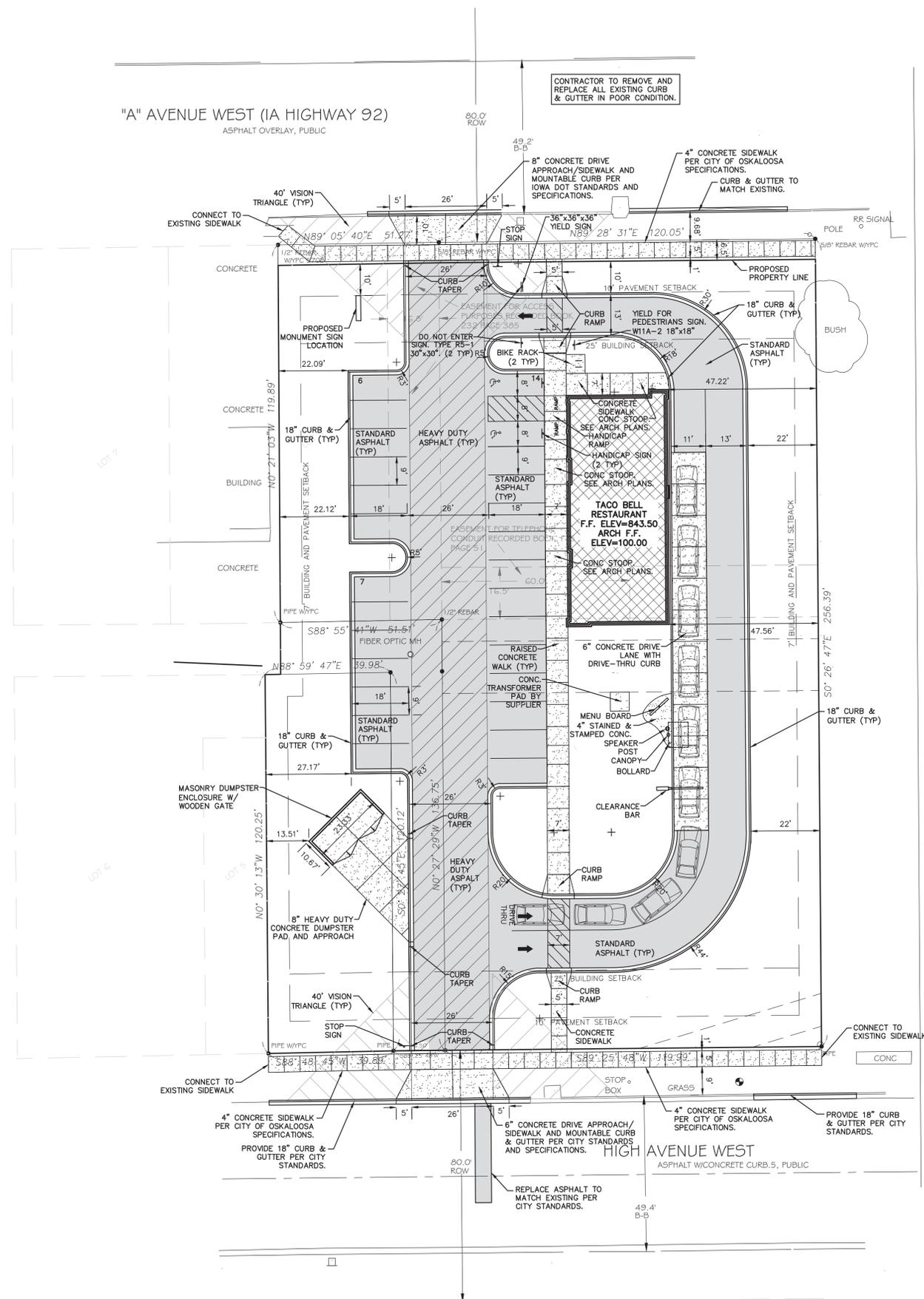
PROJECT:
TACO BELL
A AVENUE WEST
OSKALOOSA, IA 52577

PRELIMINARY SHEET DATES:

AUGUST 5, 2014
AUGUST 21, 2014
AUGUST 27, 2014
OCTOBER 3, 2014
OCTOBER 10, 2014
NOVEMBER 5, 2014

JOB NUMBER:
1409780
SHEET

C1.2 SP



SITE INFORMATION:

LEGAL DESCRIPTION: Lot 1, Lot 2, the East half of Lot 3 and the vacated North-South alley lying adjacent to and East of said Lot 3, and the East 40 feet of Lot 4, all in Block 7, of West Oskaloosa, Mahaska County, Iowa.

PROPERTY AREA: AREA = 43,450 S.F. (1.00 ACRES).

EXISTING ZONING: UC: URBAN CORRIDOR - A AVE OVERLAY

PROPOSED ZONING: UC: URBAN CORRIDOR - A AVE OVERLAY

PROPOSED USE: FAST FOOD RESTAURANT

AREA OF SITE DISTURBANCE: 50,050 S.F. (1.15 ACRES)

SETBACKS: BUILDING: FRONT = 25'
SIDE = 7'
REAR = 25'

PAVEMENT: FRONT = 10'
SIDE = 7'
REAR = 10'

PROPOSED BUILDING HEIGHT: 22'-2" (MAX. HEIGHT ALLOWED: 45')

PARKING REQUIRED: 1 SPACE PER 50 S.F. CUSTOMER SERVICE AREA
727/50= 15 SPACES REQ.

PARKING PROVIDED: 27 SPACES (2 H.C. ACCESSIBLE)

BUILDING OCCUPANCY CLASSIFICATION = A2

CLASS OF BUILDING CONSTRUCTION = VB

MAXIMUM BUILDING FLOOR AREA = 50%

MAXIMUM IMPERVIOUS SURFACE AREA = 70%

EXISTING SITE DATA

	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	1.00	43,450	
BUILDING FLOOR AREA	0.0	0	0%
PAVEMENT (ASP. & CONC.)	0.91	39,774	91.0%
TOTAL IMPERVIOUS	0.91	39,774	91.0%
LANDSCAPE/OPEN SPACE	0.09	3,676	9.0%

PROPOSED SITE DATA

	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	1.00	43,450	
BUILDING FLOOR AREA	0.05	2,298	5.0%
PAVEMENT (ASP. & CONC.)	0.48	20,718	48.0%
TOTAL IMPERVIOUS	0.53	23,016	53.0%
LANDSCAPE/OPEN SPACE	0.47	20,434	47.0%



PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

OWNER:
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7915 KENSINGTON COURT
BRIGHTON, MICHIGAN 48116

PROJECT:
TACO BELL RESTAURANT
A AVENUE WEST
OSKALOOSA, IA 52577

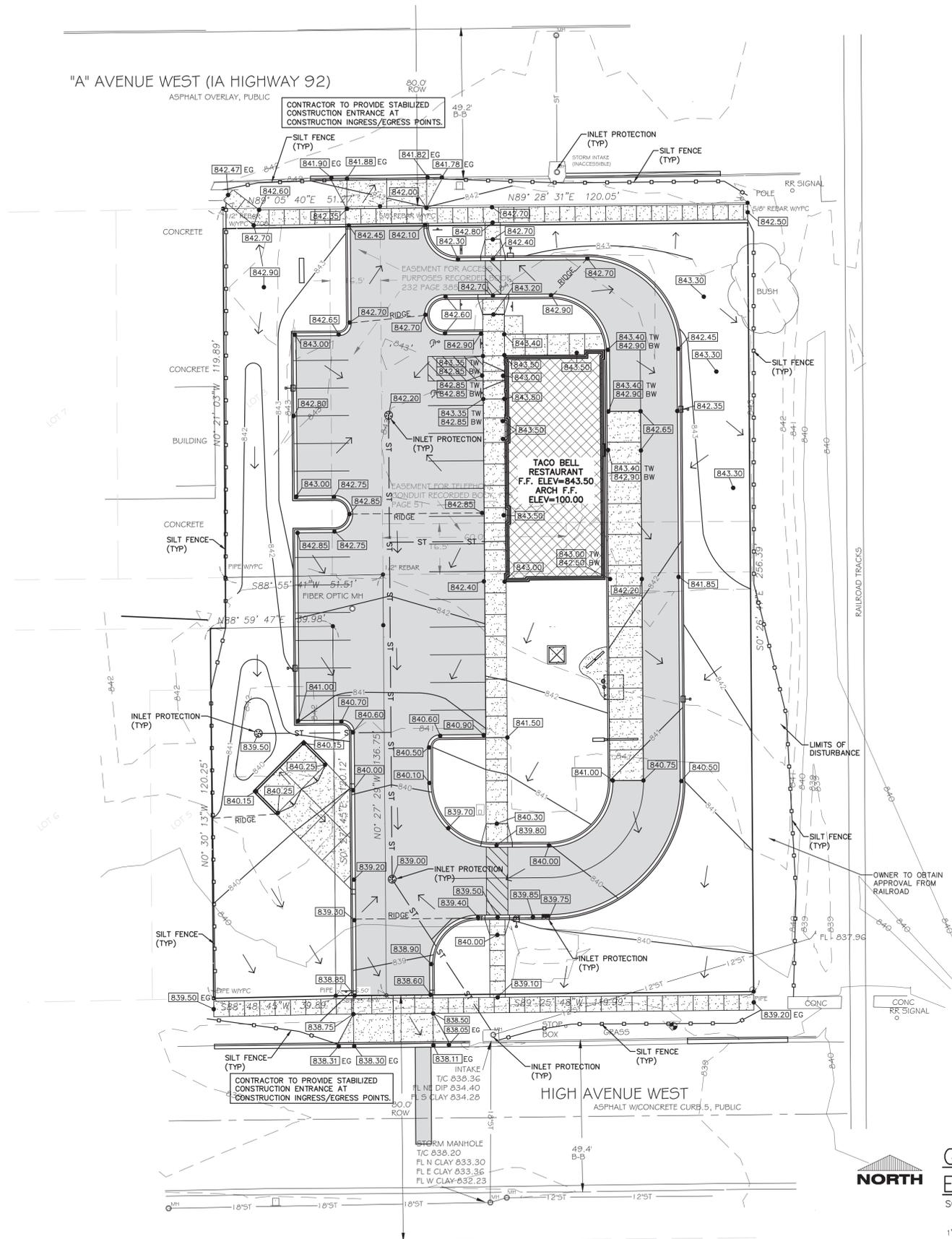
PRELIMINARY SHEET DATES:

AUGUST 21, 2014
OCTOBER 3, 2014
OCTOBER 10, 2014
NOVEMBER 5, 2014

JOB NUMBER:
1409780
SHEET

C1.3 GE

"A" AVENUE WEST (IA HIGHWAY 92)
ASPHALT OVERLAY, PUBLIC



**GRADING AND
EROSION CONTROL PLAN**

SCALE: 1"=20'-0"
1" = 20'
SCALE FEET

PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

OWNER:
SUNDANCE, INC.
7915 KENSINGTON COURT
BRIGHTON, MICHIGAN 48116

PROJECT:
TACO BELL
A AVENUE WEST
OSKALOOSA, IA 52577

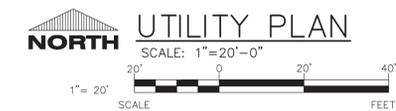
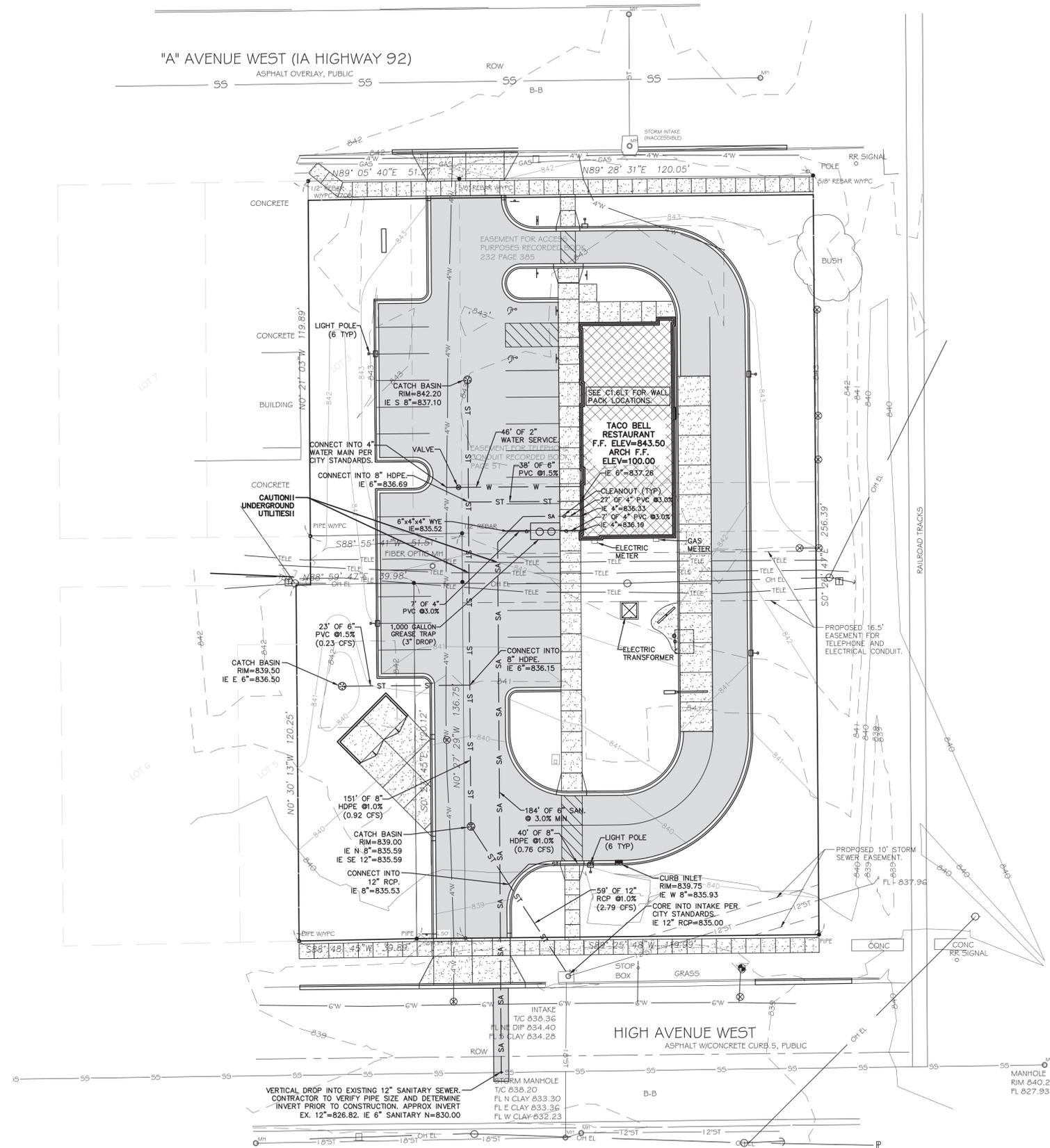
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NOVEMBER 5, 2014

JOB NUMBER:
1409780

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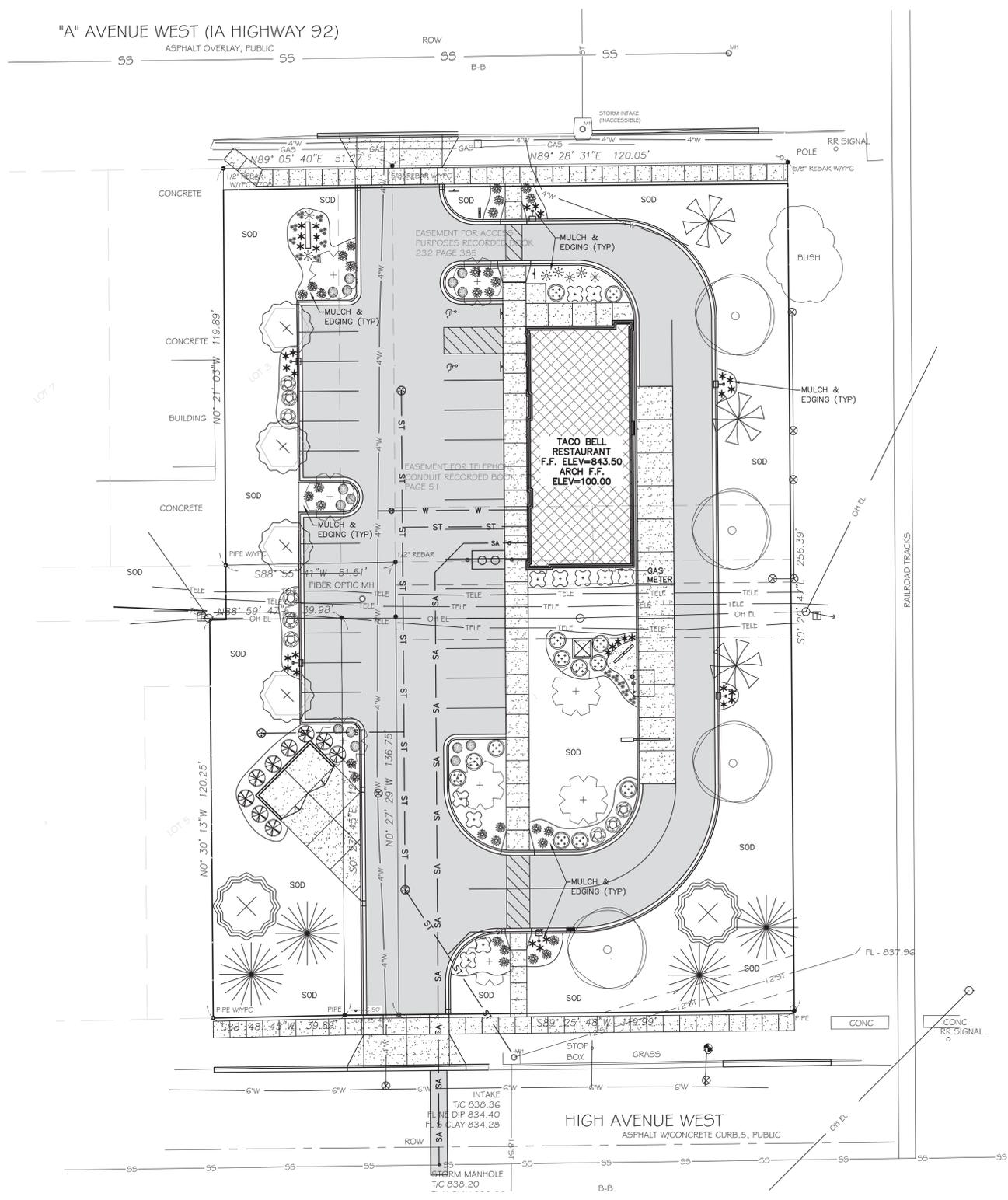
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PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

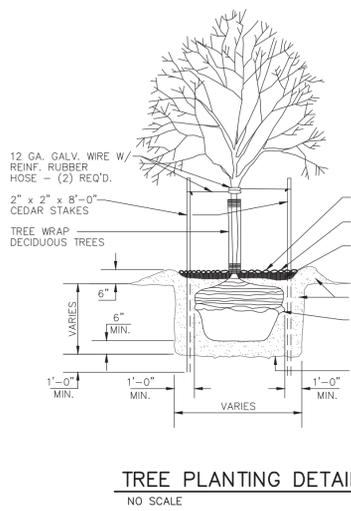
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"A" AVENUE WEST (IA HIGHWAY 92)
ASPHALT OVERLAY, PUBLIC

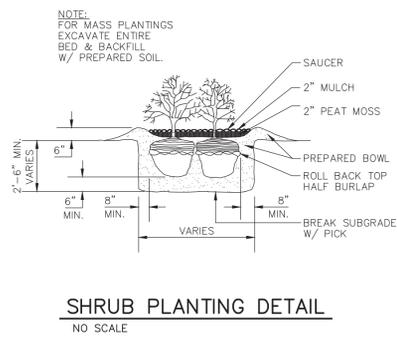


LANDSCAPING NOTES				
SYMBOL	COMMON NAME	BOTANICAL NAME	PLANTED SIZE	MATURE SIZE
DECIDUOUS TREES				
(Symbol)	Columnar Norway Maple	Acer plantanoides 'Columnare'	2.5"	15'-20'
(Symbol)	Cleveland Pear	Pyrus calleryana 'Cleveland'	2.5"	15'
(Symbol)	Armstrong Red Maple	Acer rubrum 'Armstrong'	3"	20'-25'
(Symbol)	Redmond Linden	Tilia americana	2.5"	25'-30'
EVERGREEN TREES				
(Symbol)	Austrian Pine	Pinus nigra	5'	20'-40'
(Symbol)	Colorado Blue Spruce	Picea pungens	5'	25'
DECIDUOUS SHRUBS				
(Symbol)	Gro-Low Fragrant Sumac	Rhus aromatica 'Gro-Low'	24"	6'-8'
(Symbol)	Golfinger Potentilla	Potentilla fruticosa	18"	36"
(Symbol)	Arrowwood Viburnum	Viburnum dentatum	30"-36"	6'-8'
(Symbol)	Knock Out Rose Shrub	Rosa radrazz	24"	3'-4'
EVERGREEN SHRUBS				
(Symbol)	Techny Arborvitae	Thuja occidentalis	42"-48"	4'-6'
(Symbol)	Golden Charm Cypress	Chamaecyparis pisifera 'Golden Charm'	24"	4'-8'
PERENNIALS				
(Symbol)	Karl Foerster Feather Reedgrass	Calamagrostis x acutiflora 'Karl Foerster'	1 gal pot	12"-24"
(Symbol)	Landscaper to provide variety of Grass species for diversity and disease resistance		1 gal pot	12"-24"
(Symbol)	Daylilies 'Stella de Oro'	Hemerocallis 'Stella de Oro'	1 gal pot	12"-24"
(Symbol)	Landscaper to provide variety of Daylily species for diversity and disease resistance		1 gal pot	12"-24"
(Symbol)	Allium Summer Beauty	Allium 'Summer Beauty'	4.5"	12"-24"

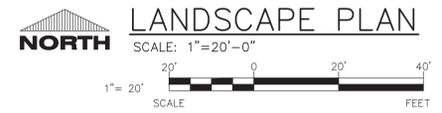
LANDSCAPING CALCULATIONS		
	REQ. PLANTS	PLANTS PROVIDED
A AVE OVERLAY REQUIREMENTS	50 POINTS REQUIRED	20 PTS: LESS THAN 40% PARKING IN STREETYARD 15 PTS: 53% IMPERVIOUS SURFACE 20 PTS: LESS THAN 50% PERMITTED SIGN AREA 55 POINTS TOTAL



TREE PLANTING DETAIL
NO SCALE



SHRUB PLANTING DETAIL
NO SCALE



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FOND DU LAC, WI 54935
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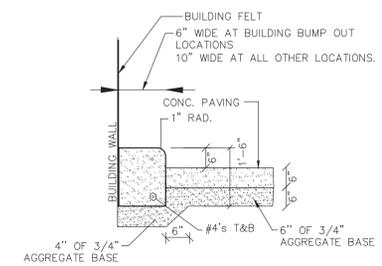
PROJECT:
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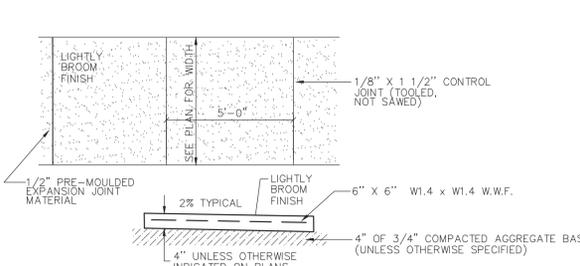
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C1.5 LA

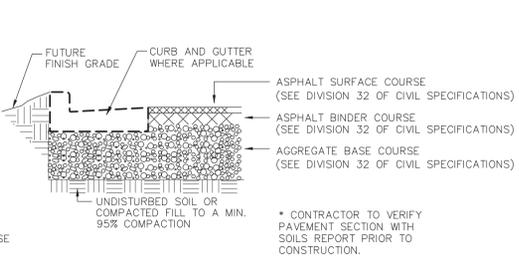
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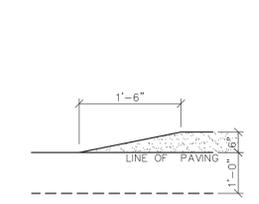
**DRIVE-THRU CURB/
CONCRETE PAVING DETAIL**
NO SCALE



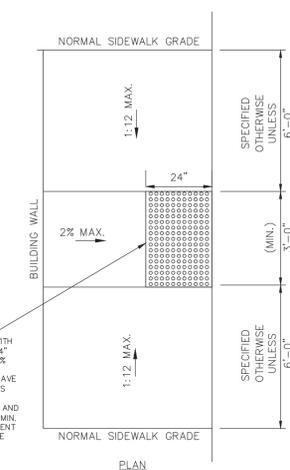
CONCRETE SIDEWALK
NO SCALE



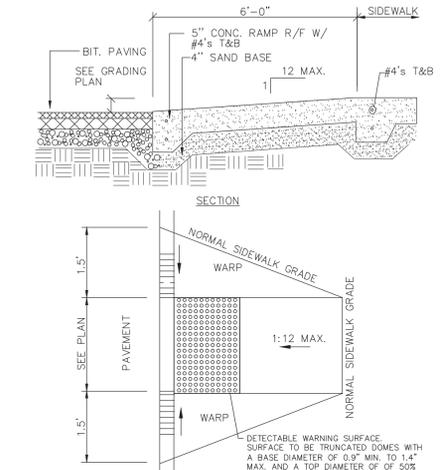
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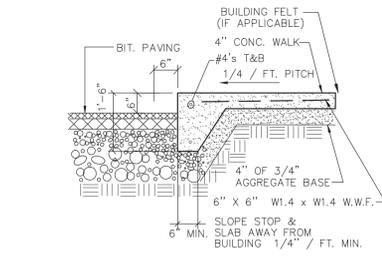
TAPERED CURB DETAIL
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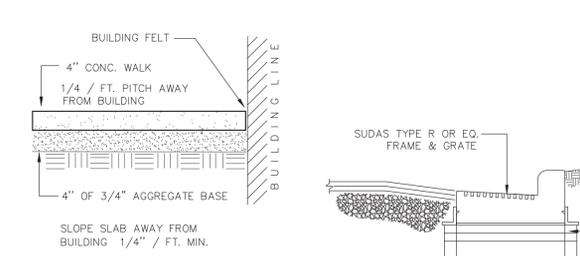
HANDICAP RAMP DETAIL
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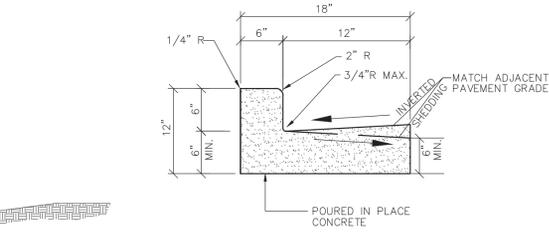
CURB RAMP DETAIL
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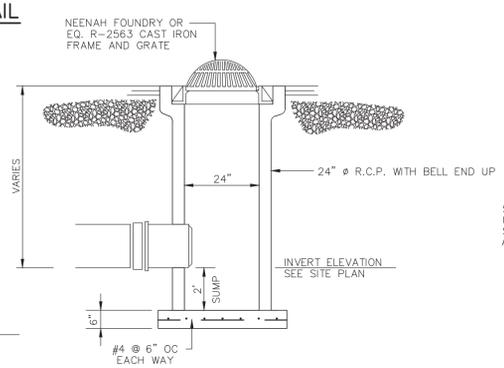
RAISED WALK DETAIL
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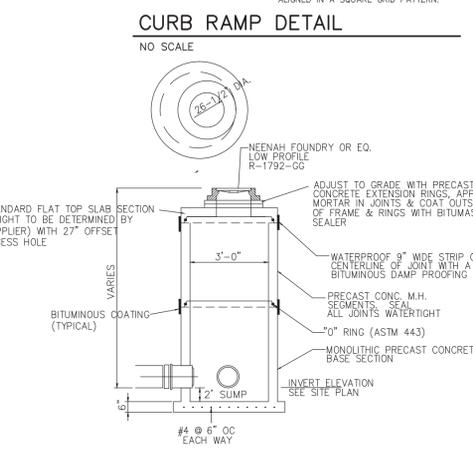
JOINT @ VERT. WALL DETAIL.
NO SCALE



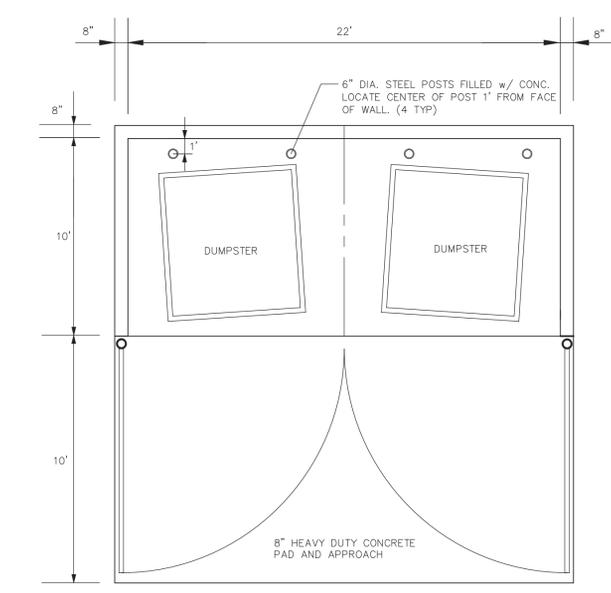
18" CONCRETE CURB & GUTTER DETAIL
NO SCALE



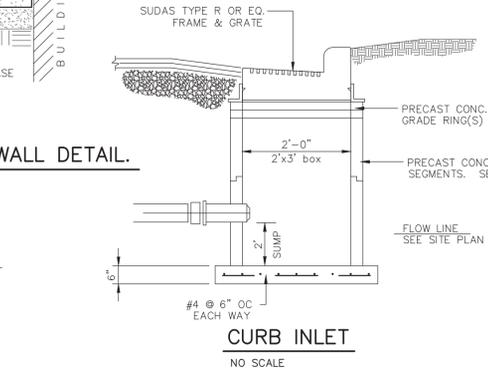
FIELD CATCH BASIN DETAIL
NO SCALE



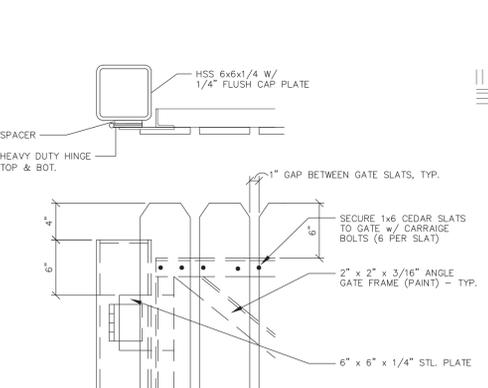
CATCH BASIN DETAIL
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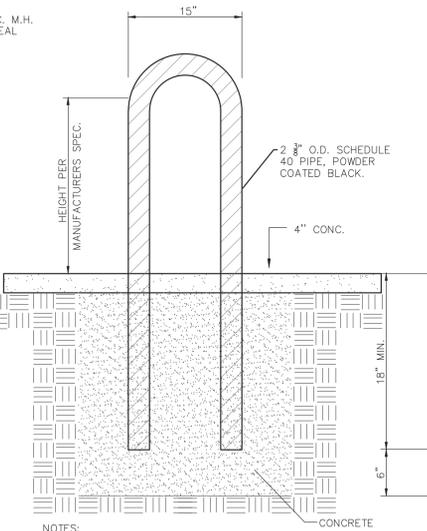
DUMPSTER DETAIL
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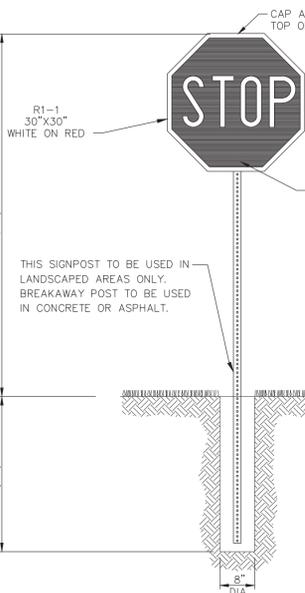
CURB INLET
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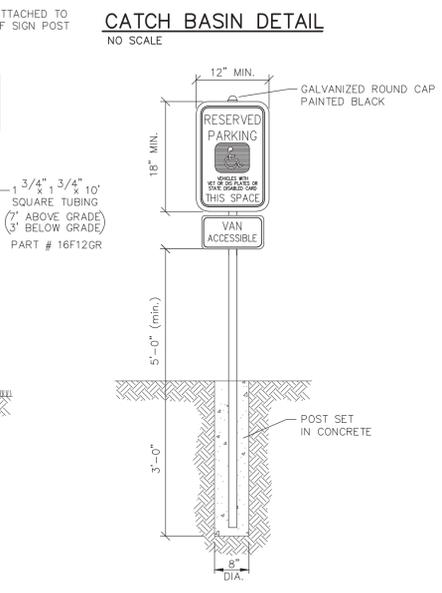
GATE DETAIL
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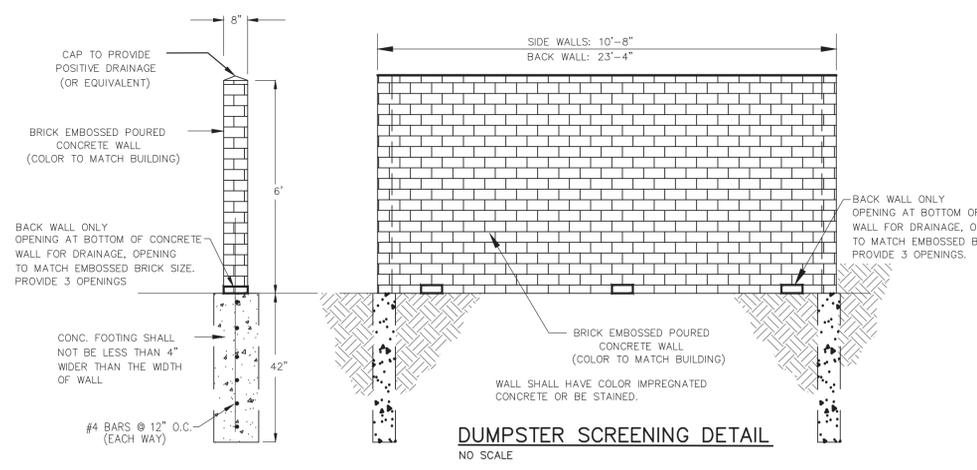
SINGLE LOOP BIKE RACK
NO SCALE



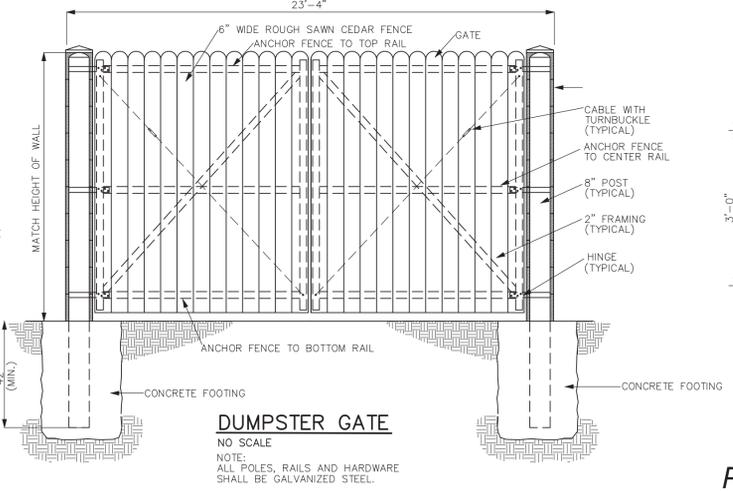
STOP SIGN DETAIL
NO SCALE



HANDICAP SIGNAGE DETAIL
NO SCALE

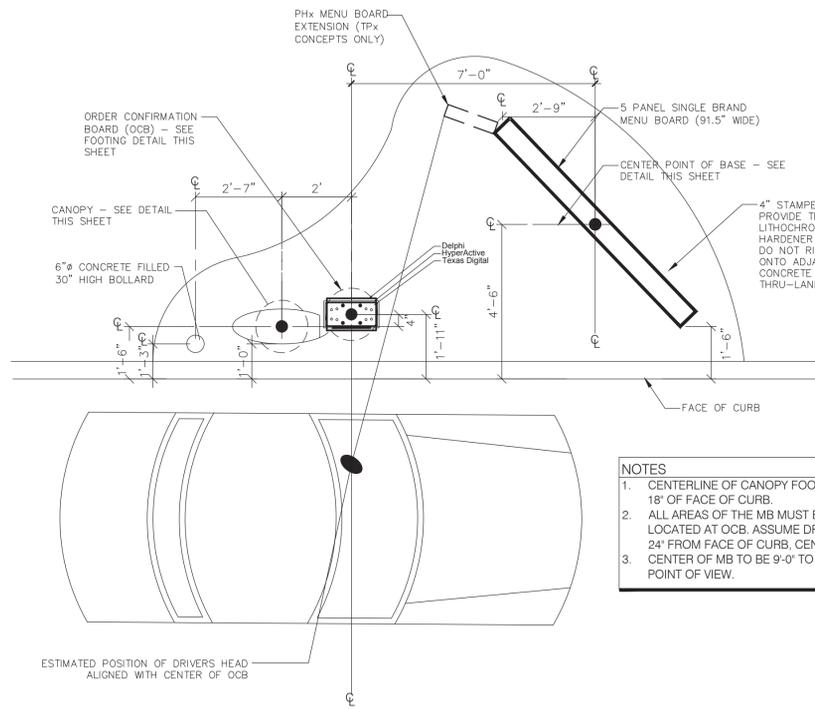


DUMPSTER SCREENING DETAIL
NO SCALE



DUMPSTER GATE
NO SCALE

SITE DEVELOPMENT CONTROL DETAILS
PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

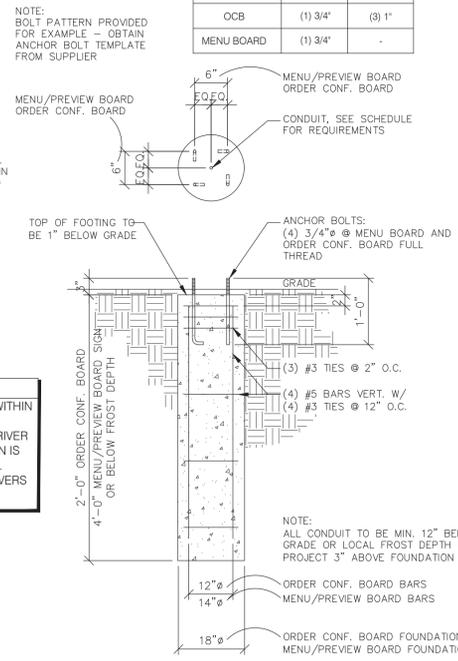


MENU BOARD DETAIL
NO SCALE

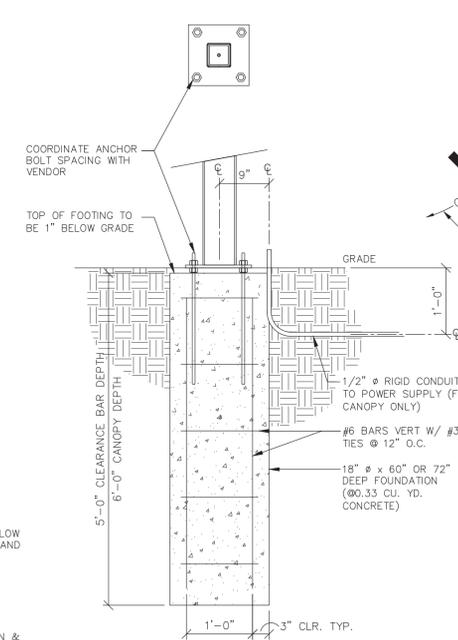
- NOTES**
- CENTERLINE OF CANOPY FOOTING MUST BE WITHIN 18" OF FACE OF CURB.
 - ALL AREAS OF THE MB MUST BE VISIBLE TO DRIVER LOCATED AT OCB. ASSUME DRIVERS LOCATION IS 24" FROM FACE OF CURB, CENTERED ON OCB.
 - CENTER OF MB TO BE 9'-0" TO 12'-0" FROM DRIVERS POINT OF VIEW.

CONDUIT SCHEDULE

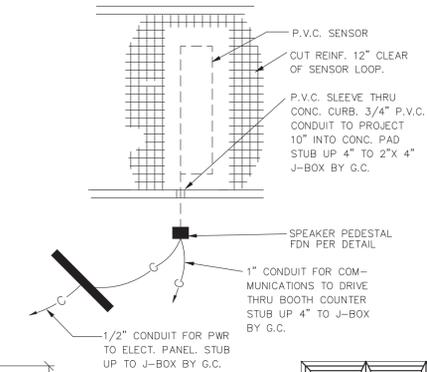
DEVICE	POWER	DATA
OCB	(1) 3/4"	(3) 1"
MENU BOARD	(1) 3/4"	-



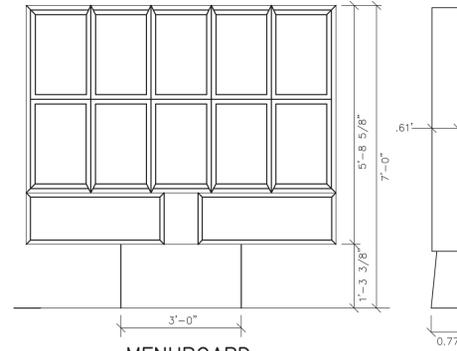
MENU BOARD/OCB FOOTING
NO SCALE



CANOPY/CLEARANCE BAR FOOTING
NO SCALE



SENSOR LOOP
NO SCALE



MENUMBOARD
NO SCALE

- NOTES:**
- MENU BOARD AS MANUFACTURED BY: EVERBRITE (1-608-429-2121)
 - SIGN AREA = 43.84 sq. ft.

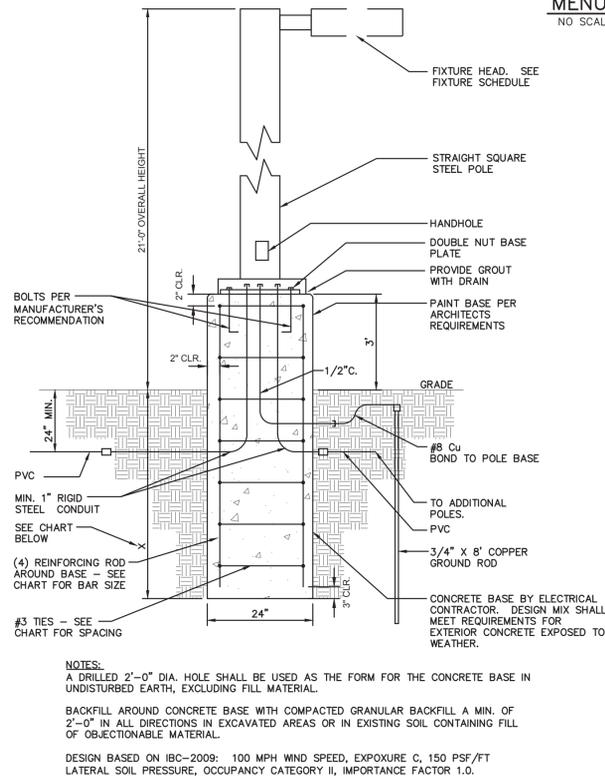


MONUMENT SIGN
NO SCALE

- NOTES:**
- ALL SIGNS ARE FORMED WITH PAN AND EMBOSSED FACES, AND IS TO BE INTERNALLY ILLUMINATED.
 - ALL ELECTRICAL SIGNAGE IS U.L. APPROVED
 - SEE ARCH. PLANS FOR BUILDING MOUNTED SIGNS LOCATION AND SIZE.

LOGO SIGN SIZE

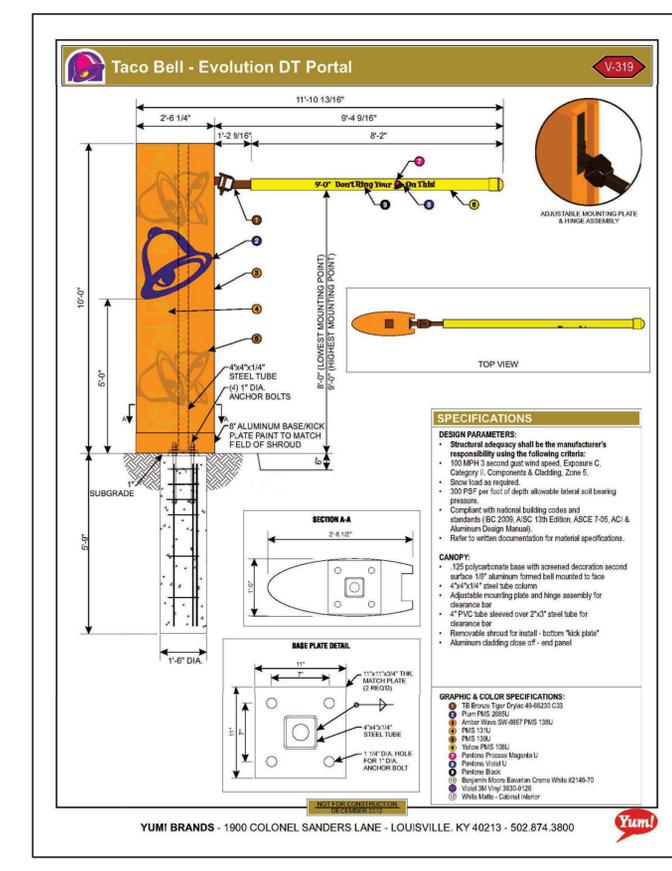
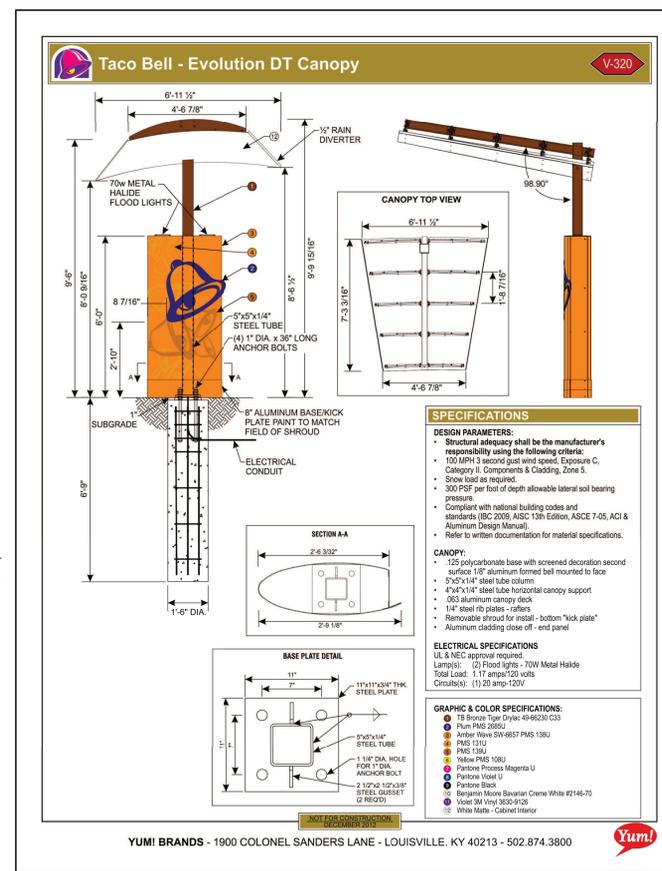
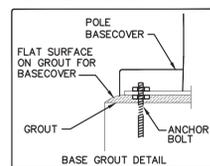
LOGO SIGN SIZE	48.2 SQ. FT.
A	8'-9 31/32"
B	6'-10"
C	1'-6 1/4"
D	5 23/64"
E	9 3/32"
F	11"
AMPS	8
CIRCUIT	(1) 20 AMP
DEPTH	10"
CRATED WEIGHT	350 LBS.



LIGHTPOLE DETAIL
NO SCALE

POLE HEIGHT

POLE HEIGHT	X	REBAR SIZE	#3 TIE SPACING
10'-0" - 20'-0"	73" (INCHES)	#5	10"
21'-0" - 35'-0"	103" (INCHES)	#5	10"
36'-0" - 45'-0"	120" (INCHES)	#6	12"
46'-0" TO 50'-0"	130" (INCHES)	#6	12"



TACO BELL CORPORATE DETAILS
PRELIMINARY DRAWING - NOT FOR CONSTRUCTION



100 CAMELOT DRIVE
FOND DU LAC, WI 54935
PHONE: (920) 926-9800
FAX: (920) 926-9801

Always a Better Plan

DESIGN PROFESSIONAL
STAMP / SIGNATURE

OWNER:
SUNDANCE, INC.
7915 KENSINGTON COURT
BRIGHTON, MICHIGAN 48116

PROJECT:
TACO BELL
A AVENUE WEST
OSKALOOSA, IA 52577

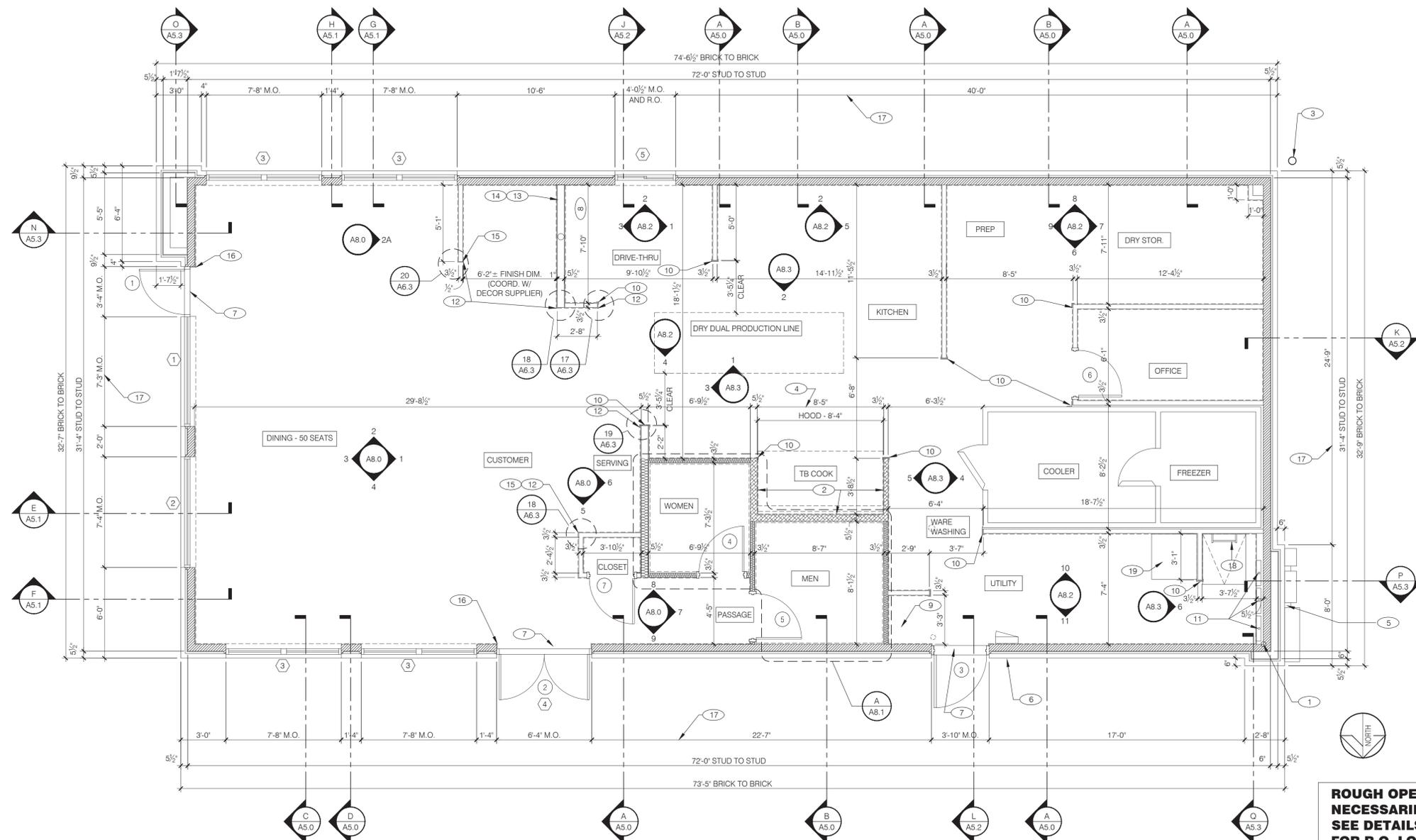
PRELIMINARY SHEET DATES:
OCTOBER 10, 2014
NOVEMBER 5, 2014

JOB NUMBER:
1409780

SHEET

C1.8 DT2

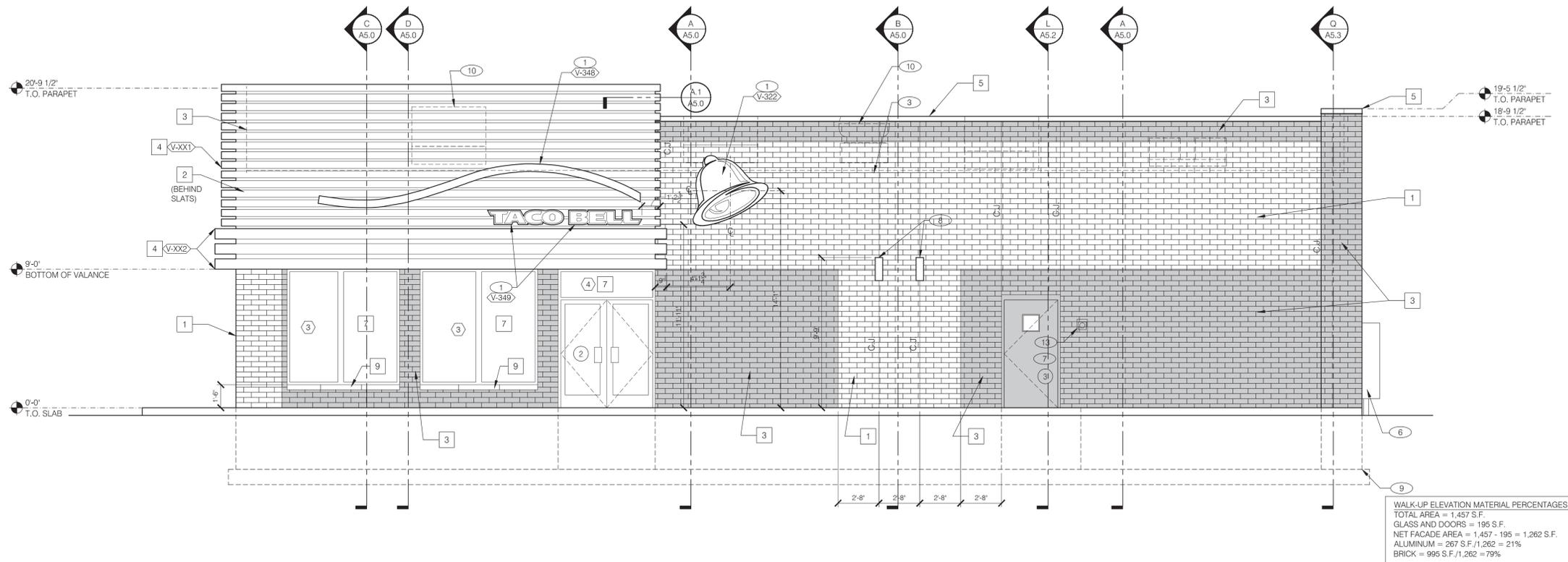
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ROUGH OPENINGS ARE NOT NECESSARILY TO STUD. SEE DETAILS ON SHEET A6.1 FOR R.O. LOCATIONS.

FLOOR PLAN 1/4"=1'-0" **A**

<p>WALL LEGEND E</p> <p>TYPICAL EXTERIOR WALL: 4" STONE, OR BRICK, VENEER WITH AIRSPACE OVER 15# BLDG. PAPER, OR "TYVEK", VAPOR BARRIER ON 1/2" EXTERIOR GRADE APA RATED SHEATHING ON 2x6 WD STUDS AT 16" O.C. WITH R-21 KRAFT-FACED FIBERGLASS BATT INSULATION U.O.N. (USE FOIL FACED FIBERGLASS BATT INSULATION WHERE EXPOSED TO THE INTERIOR OF THE BLDG.) INTERIOR SURFACES: 1/2" CDX PLYWOOD @ B.O.H. & OFFICE 1/2" GWB @ DINING ROOM EXCEPT SHEARWALLS & U.O.N. 1/2" MOISTURE RESISTANT GWB @ RESTROOM WALLS</p> <p>EXTERIOR SHEAR WALL: 4" STONE, OR BRICK, VENEER WITH AIRSPACE OVER 15# BLDG. PAPER, OR "TYVEK", VAPOR BARRIER ON 1/2" EXTERIOR GRADE APA RATED SHEATHING ON 2x6 WD STUDS AT 16" O.C. WITH R-21 KRAFT-FACED FIBERGLASS BATT INSULATION U.O.N. (USE FOIL FACED FIBERGLASS BATT INSULATION WHERE EXPOSED TO THE INTERIOR OF THE BLDG.) PROVIDE 1/2" APA RATED SHEATHING ON INTERIOR FACE OVER ENTIRE LENGTH OF SHEAR WALL SURFACE. NAIL PER SHEAR WALL REQUIREMENTS AS INDICATED FOR SHEAR WALLS (SEE STRUCTURAL DRAWINGS). U.O.N. THIS NOTE DOES NOT APPLY TO GYP. BD. AND OTHER FINISHES SHALL BE APPLIED OVER STRUCTURAL PLYWD. WHERE OCCURS.</p>	<p>TYPICAL INTERIOR WALL: 2x4 WD STUDS AT 16" O.C. (2x6 OR 2x8 WHERE NOTED). FRONT OF HOUSE: W/ 1/2" GYP. BD. SUBSTRATE U.O.N. USE MOISTURE RESISTANT GYP. BD. BEHIND ALL CERAMIC WALL TILE. U.O.N. BACK OF HOUSE: W/ 1/2" CDX PLYWOOD SHEATHING.</p> <p>INTERIOR SOUND-RATED WALL: CONSTRUCT TYPICAL INTERIOR WALL W/ 3-1/2" UNFACED FIBERGLASS BATT INSULATION.</p> <p>HOODWALL: METAL STUDS W/ 20 GAGE STAINLESS STL. PANEL OVER 1/2" CEMENT BOARD - SEE SCOPE OF WORK. PANEL TO COVER ENTIRE WALL FROM 18" ABOVE TOP OF HOOD DOWN TO TOP OF BASE TILE. NO EXPOSED SCREWS/ATTACHMENTS. REFER TO DETAIL 2/M2.0.</p> <p>DASHED LINE INDICATES SUBSTRATE LOCATION. ALL WALLS SHALL BE AS INDICATED EXCEPT FROM TOP OF SLAB TO 12" ABOVE SLAB SHALL BE 1/2" CEMENT BOARD, U.O.N. THIS NOTE DOES NOT APPLY TO EXTERIOR FACE OF EXTERIOR WALLS, AND PLYWOOD SHEAR CONDITIONS.</p>	<p>FLOOR PLAN NOTES D</p> <p>DIMENSIONS: A. ALL DIMENSIONS ARE TO FACE OF STUD U.O.N. B. DIMENSIONS NOTED AS "CLEAR" OR "HOLD" ARE MIN. REQ'D. NET CLEARANCE FROM FACE OF WALL / WAINSCOT FINISH. VERIFY FINAL EQUIPMENT SIZES W/ VENDOR PRIOR TO INT. WALL FRAMING.</p> <p>WINDOWS / DOORS: A. SEE SHT. A1.1 FOR WINDOW TYPES AND DOOR SCHEDULE. B. ALL DOOR AND WINDOW OPENING DIMENSIONS ARE TO ROUGH OPENING.</p> <p>FINISH SUBSTRATES: A. PROVIDE 1/2" THICK CEMENTITIOUS BD. FROM FLOOR SLAB TO 12" A.F.F. MIN. IN LIEU OF GYP. BD. AT ALL WALLS EXCEPT SHEARWALL SURFACES, U.O.N. B. ALL JOINTS, GAPS OR SPACES LEADING TO ALL HOLLOW OR INACCESSIBLE SPACES SHALL BE SEALED WITH NSF INTERNATIONAL APPROVED SEALANTS. C. ALL BACK OF HOUSE AND OFFICE WALLS SHALL HAVE 1/2" CDX PLYWOOD SUBSTRATE, U.O.N.</p> <p>DECOR: A. SEE A2.0 FOR SEATING PLAN AND DETAILS. B. SEE A7.0 FOR FLOOR FINISHES. C. SEE A8.0 - A8.3 FOR WALL FINISHES. D. SEE A7.1 FOR CEILING FINISHES.</p> <p>GENERAL: A. PROVIDE THREE FIRE EXTINGUISHERS - (2) 10 lb. BC and (1) 10 lb. ABC - TO COMPLY WITH LOCAL FIRE CODE. LOCATE PER DIRECTION OF FIRE MARSHALL OR LOCAL AUTHORIZING AGENT. B. DRAWINGS ARE BASED UPON WOOD FRAMING. UTILIZATION OF METAL STUDS ON NON-BEARING INTERIOR PARTITIONS, BULKHEADS AND SOFFITS IS ACCEPTABLE. C. ALL PENETRATIONS THROUGH BRICK SHALL BE SEALED.</p>	<p>KEY NOTES B</p> <p>1 STARTING POINT. ALL SUB-TRADES SHALL USE THIS POINT AS A BEGINNING LAY-OUT (INSIDE FACE OF EXT. WALL STUDS.)</p> <p>2 METAL STUDS REQUIRED, ALL 3 WALLS OF HOOD ALCOVE. USE INTERIOR SOUND - RATED INSULATION @ WALLS ADJACENT TO RESTROOMS. REFER TO HOOD WALL DESCRIPTION, THIS SHEET.</p> <p>3 PIPE BOLLARD. REFER TO CIVIL DWGS.</p> <p>4 HOOD WALL. SEE WALL LEGEND E ON THIS SHEET.</p> <p>5 ELECTRICAL MAIN SWITCH BOARD. REFER TO ELECT. DWGS.</p> <p>6 CO2 FILL BOX LOCATION.</p> <p>7 METAL THRESHOLD.</p> <p>8 KEEP CLEAR FOR UTILITIES & SYRUP LINES.</p> <p>9 MOP SINK - SEE DETAIL 13/S4.0.</p> <p>10 S.S. CORNER GUARD / WALL CAP. TYP. ALL CORNERS IN BACK-OF-HOUSE FROM REAR WALL TO THE KITCHEN SIDE OF THE SERVICE COUNTER. SEE DETAIL 19/A6.3.</p> <p>11 ELECT. PANELS RECESSED IN 2x6 WALL. REFER TO ELECT. DWGS.</p> <p>12 SCHLUTER STRIP.</p> <p>13 4" Ø PVC CHASE IN WALL (ABOVE). SEE DETAIL 8/A6.2.</p> <p>14 6"x6" HORIZONTAL OPENING FOR SYRUP TUBES. COORDINATE WALL PENETRATION WITH COUNTER INSTALLER. SEAL CHASE TO COUNTER. SEE 7/A6.2.</p> <p>15 START OF CHAIR RAIL.</p> <p>16 CONTINUE CHAIR RAIL INTO JAMB - TYPICAL.</p> <p>17 DIMENSIONS IN THIS STRING ARE TO FINISH SURFACES.</p> <p>18 ROOF LADDER - SEE DETAIL 16/A6.0.</p> <p>19 6" THICK CONCRETE PAD FOR WATER HEATER, VERIFY SIZE WITH MODEL.</p>
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WALK-UP (WEST) ELEVATION 1/4"=1'-0" **A**

BUILDING SIGNAGE REGULATIONS
 PERMITTED SIGNS BY MAXIMUM PERMITTED AREA AND DISTRICT
 THIS MAXIMUM PERMITTED AREA FOR ALL SIGNS ON A PREMISES EXCLUDING INCIDENTAL SIGNS, BUILDING MARKER SIGNS, AND FLAGS SHALL NOT EXCEED THE LESSER OF THE FOLLOWING:

Table 17.30C

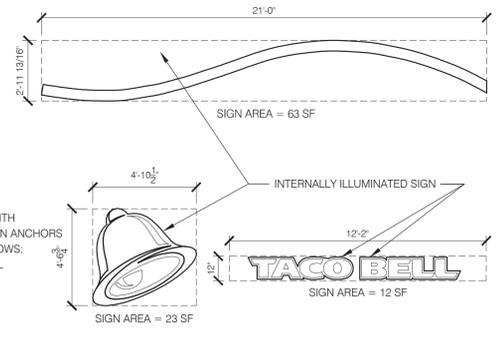
ZONING DISTRICTS	UC, CC, AV
SQUARE FEET OF SIGNAGE PER LINEAR FOOT OF FRONTAGE	1.5
MAX TOTAL SQUARE FEET	500

PERMITTED SIGNS BY NUMBERS, DIMENSIONS, AND LOCATION
 EACH INDIVIDUAL SIGN SHALL COMPLY WITH THE REGULATIONS FOR MAXIMUM QUANTITY, MAXIMUM SIZE, MINIMUM SETBACKS, AND HEIGHT LIMITS SHOWN IN THIS TABLE.

Table 17.30D

ZONING DISTRICTS	UC, CC, AV
ATTACHED SIGNS	
MAXIMUM SIZE* (SQ. FT.)	NA
% OF STREET FACADE	20%

SIGNAGE ATTACHMENT
 SECURE SIGNAGE TO BRICK WITH 3/16" X 2 1/2" CEMENT TAPCON ANCHORS WITH FLAT WASHERS AS FOLLOWS:
 USE 5 ANCHORS FOR THE BELL
 USE 2 ANCHORS PER LETTER



BUILDING SIGN REGULATIONS **G**

SYMBOL	AREA	MANUFACTURER	COLOR	NOTES	QUANTITY* (MIN.)
1	4" BRICK VENEER - MAIN WALL	GLEN-GERY	S21-22 BURNT ALMOND SMOOTH (UTILITY) (MATCH SHERWIN WILLIAMS SW6122)	TYPICAL MORTAR NOTE	1,564 S.F.*
2	GLAZED CONCRETE BLOCK - PURPLE ACCENT	TRENWYTH ASTRA GLAZE	LAVENDER (MATCH SHERWIN WILLIAMS SW6831)	TYPICAL MORTAR NOTE	625 S.F.* AND 18 CORNERS
3	4" BRICK VENEER - BROWN ACCENT	GLEN-GERY	S76 TUSCAN SERIES DARK BROWN (UTILITY) (MATCHES SHERWIN WILLIAMS SW2823)	TYPICAL MORTAR NOTE	1,402 S.F.*
4	SLAT WALL AND VALANCE BY VENDOR	SHERWIN WILLIAMS	SW 7034 "STATUS BRONZE"		
5	PRE-FINISHED METAL PARAPET CAP	DURA-LAST	"CHARCOAL GRAY"	SEE DETAIL #2/A6.0	
6	CALCIUM SILICATE MASONRY UNIT (CSMU)	ARRISCRAFT	CITADEL BUILDING STONE ALGONQUIN 09 4 - UNIT	TYPICAL MORTAR NOTE	330 S.F.*
7	CLEAR INSULATING GLASS IN DARK BRONZE ANODIZED ALUMINUM FRAMES.				
8	STEEL PIPE BOLLARD WITH PLASTIC SLEEVE	IDEAL SHIELD	D.O.T. YELLOW	SEE CIVIL DRAWINGS	
9	STONE SILL TRIM CALCIUM SILICATE MASONRY UNIT (CSMU)	ARRISCRAFT	C406 R		50 L.F.*
	TYPICAL MORTAR NOTE: 3/8" WIDE	DAVIS COLORS TRUE TONE	MC-54, SAND, DARKEST 6 LBS. PER 70 LBS.		

* QUANTITIES DO NOT INCLUDE ADJUSTMENTS FOR CORNERS, REQUIRED CUTS, OR SCAP.

NI-52 EXTERIOR FINISH SCHEDULE **H**

- KEY:
- 1) DOOR NUMBERS - SEE SHEET # A1.1.
 - 1) WINDOW NUMBERS - SEE SHEET # A1.1.

GENERAL NOTES:
 1) ALL ROOF TOP MECHANICAL EQUIPMENT IS SHIELDED FROM VIEW BY THE PARAPET WALLS.
 2) ALL LIGHTING SHALL BE DIRECTED DOWNWARD.
 3) C.J. = CONTROL JOINT/EXPANSION JOINT - SEE DETAIL #13/A6.1.

SEALERS (REFER TO SPECS):
 A) SEALANT AT ALL WALL AND ROOF PENETRATIONS.
 B) SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD AND JAMB. DO NOT SEAL SILL @ WINDOWS.
 C) APPLY NEOPRENE GASKET (CONT.) BETWEEN BUILDING & CANOPY/TRELLIS.

CRITICAL DIMENSIONS:
 REQUIRED CLEAR OPENING WIDTH TO ENSURE COORDINATION WITH STANDARD SIGNAGE/ BUILDING ELEMENTS DIMENSIONS.

GENERAL NOTES **F**

V-XXX	QTY	ITEM DESCRIPTION	ELEC
V-350	1	TACO BELL DRIVE THRU CANOPY	X
V-348	1	TACO BELL "BUILDING ACCENT" (SWOOP)	X
V-XX1	1	SLAT WALL SYSTEM - SUPPLIED BY OWNER AND INSTALLED BY G.C.	
V-XX2	2	ALUMINUM VALANCE SYSTEM - SUPPLIED BY OWNER AND INSTALLED BY G.C.	

CANOPY AND BLDG. ACCENT SCHED. N.T.S. **E**

- 1) BUILDING SIGNAGE.
- 2) DRIVE THRU WINDOW. SEE SHEET A1.1.
- 3) ROOF BEYOND.
- 4) LAMB'S TONGUE ROOF OVERFLOW.
- 5) STEEL BOLLARD WITH PLASTIC SLEEVE - SEE CIVIL DRAWINGS.
- 6) ELECTRICAL SWITCH GEAR - PAINT TO MATCH BRICK.
- 7) HOLLOW METAL DOOR - PAINT TO MATCH BRICK.
- 8) LIGHT SCONCE. ALIGN BOTTOM OF FIXTURE'S MOUNTING BRACKET WITH CHANGE IN BRICK THICKNESS (CENTER OF BRACKET AT 9'-2" +/-).

V-XXX	QTY	ITEM DESCRIPTION	ELEC
V-349	2	TACO BELL LETTERS 12" HIGH, WHITE, FLAT FACED	X
V-322	2	TACO BELL "BELL" SIGN 4'-10 1/2"W X 4'-6 1/4"H	X

SIGN SCHEDULE N.T.S. **C**

- 9) FOOTINGS - SEE STRUCTURAL DRAWINGS.
- 10) ROOF TOP EQUIPMENT BEYOND.
- 11) GAS SERVICE.
- 12) CONTROL/EXPANSION JOINT.
- 13) CO2 FILLER VALVE & COVER. SEE DETAIL 19/A6.2 SIM.
- 14) INSTALL ADDRESS ON FRONT OF THE BUILDING. USE 9" BLOCK NUMBERS, 1 1/2" WIDE, IN A CONTRASTING COLOR. ADDRESS SHALL BE VISIBLE FROM THE STREET.

KEY NOTES **D**

PRELIMINARY DRAWING - NOT FOR CONSTRUCTION



100 CAMBLOT DRIVE
 FOND DU LAC, WI 54935
 PHONE: (920) 926-9800
 FAX: (920) 926-9801

Always a Better Plan

DESIGN PROFESSIONAL
 STAMP / SIGNATURE

OWNER:
 SUNDANCE, INC.
 7915 KENSINGTON COURT
 BRIGHTON, MICHIGAN 48116

PROJECT:
 TACO BELL
 A AVENUE WEST
 OSKALOOSA, IA 52577

PRELIMINARY SHEET DATES:

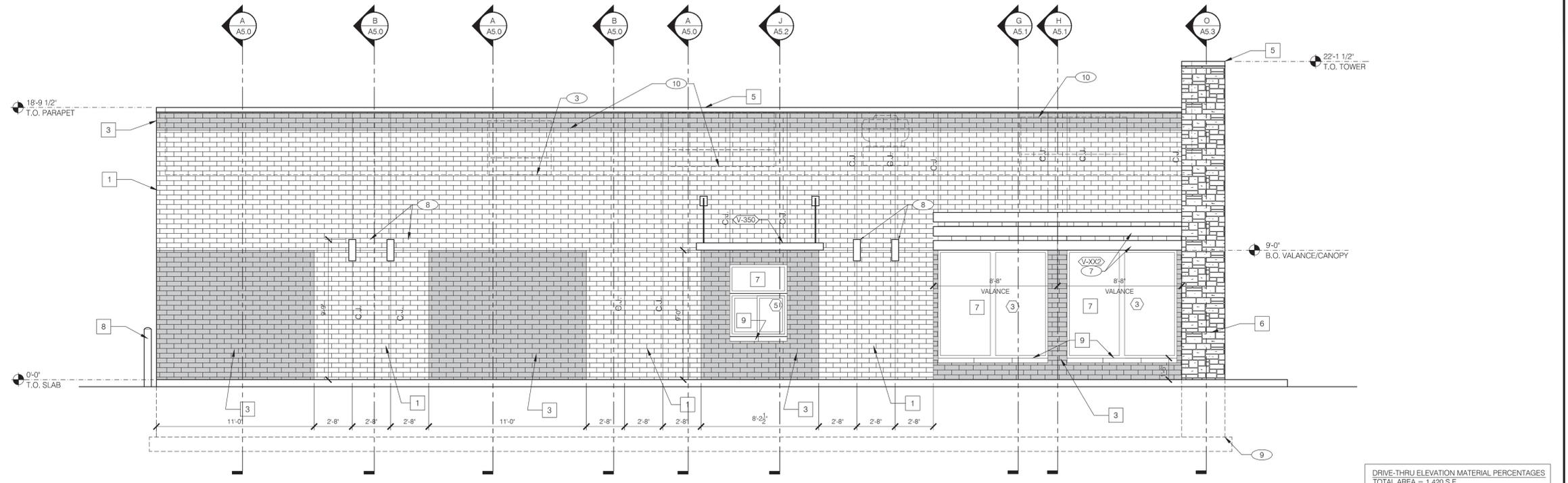
- OCTOBER 10, 2014
- OCTOBER 14, 2014
- NOVEMBER 5, 2014

JOB NUMBER:
 1409780

SHEET

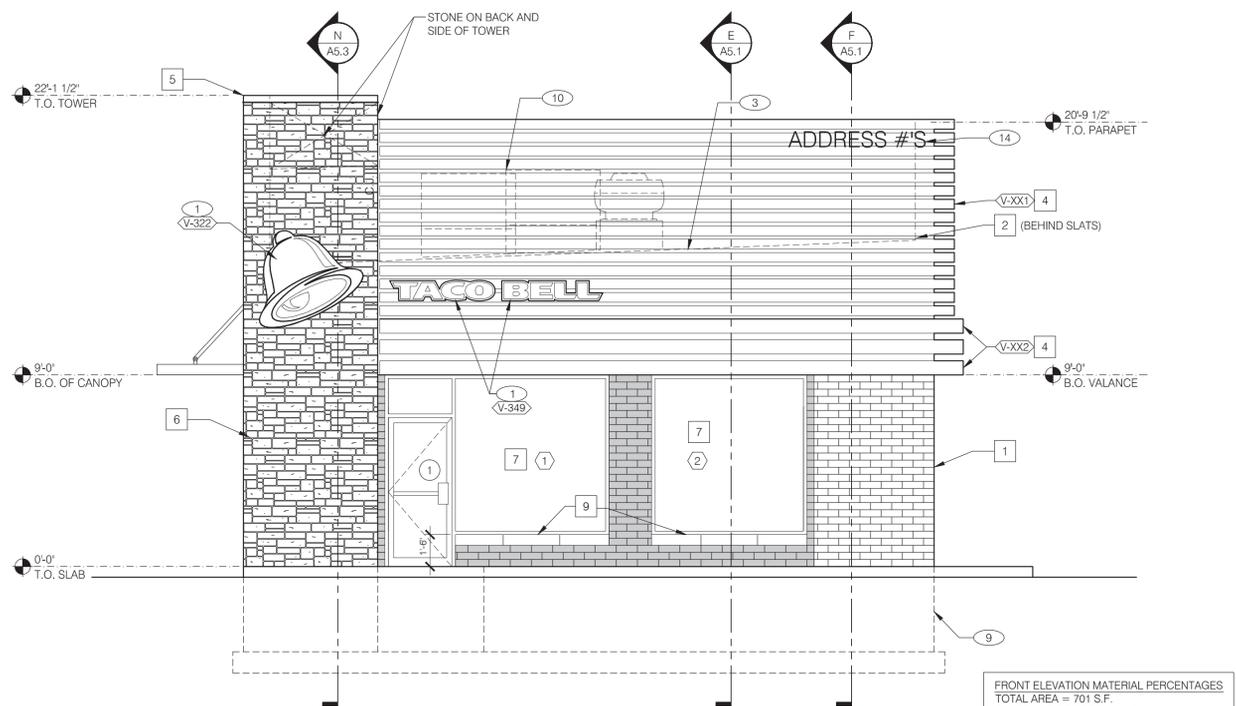
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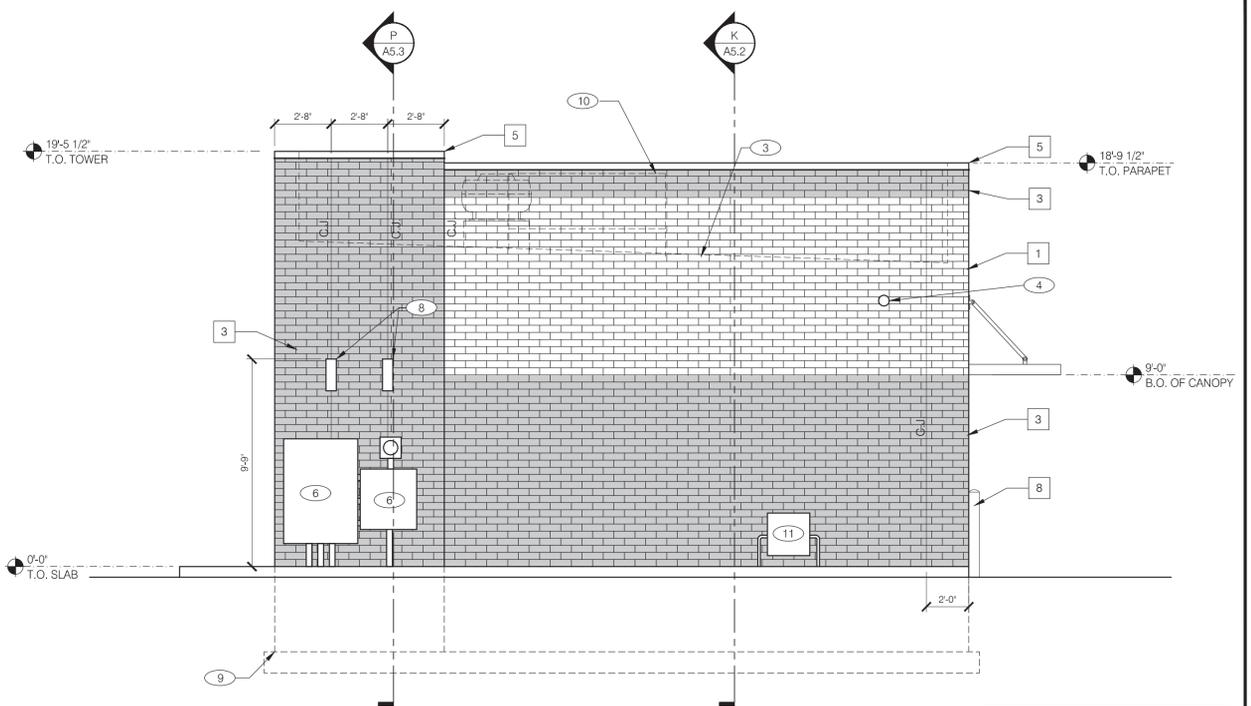
DRIVE-THRU ELEVATION MATERIAL PERCENTAGES
 TOTAL AREA = 1,420 S.F.
 GLASS = 135 S.F.
 NET FACADE AREA = 1,420 - 135 = 1,285 S.F.
 ALUMINUM = 46 S.F./1,285 = 4%
 BRICK AND STONE = 1,239 S.F./1,285 = 96%

DRIVE-THRU (EAST) ELEVATION 1/4" = 1'-0" **A**



FRONT ELEVATION MATERIAL PERCENTAGES
 TOTAL AREA = 701 S.F.
 GLASS AND DOORS = 140 S.F.
 NET FACADE AREA = 701 - 140 = 561 S.F.
 ALUMINUM = 241 S.F./561 = 43%
 BRICK AND STONE = 320 S.F./561 = 57%

FRONT (NORTH) ELEVATION 1/4" = 1'-0" **C**



REAR ELEVATION MATERIAL PERCENTAGES
 TOTAL AREA = 625 S.F.
 ALUMINUM = 11 S.F./625 = 2%
 BRICK = 614 S.F./625 = 98%

REAR (SOUTH) ELEVATION 1/4" = 1'-0" **B**

PRELIMINARY DRAWING - NOT FOR CONSTRUCTION



100 CAMBLOT DRIVE
 FOND DU LAC, WI 54935
 PHONE: (920) 926-9800
 FAX: (920) 926-9801

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OWNER:
 SUNDANCE, INC.
 7915 KENSINGTON COURT
 BRIGHTON, MICHIGAN 48116

PROJECT:
 TACO BELL
 A AVENUE WEST
 OSKALOOSA, IA 52577

PRELIMINARY SHEET DATES:
 OCTOBER 10, 2014
 OCTOBER 14, 2014
 NOVEMBER 5, 2014

JOB NUMBER:
 1409780

SHEET

A4.1

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Planning & Zoning Commission

Meeting Date: November 10, 2014

Requested By: Public Works Dept.

Item Title:

Consider a site plan for the property at 814 North H Street for a three unit apartment complex.

Explanation:

Anthony Vermeer has submitted a site plan for a three unit apartment complex to be located at 814 North H Street. The site in consideration is 0.32 acres and the present zoning of this property is (R-2) Urban Family Residential district.

The applicant has submitted the required site plan for review through the city staff. The site plan illustrates a 3,045 square foot building with 3 separate dwelling units. The proposed site will have one entrance/exit from North H Street. The site indicates a total of 7 parking spaces, which includes 1 handicap accessible space. The proposed site will be connecting to existing sanitary sewer and water utilities.

Staff recommends approval of the site plan as presented.

Budget Consideration: None

Attachments:

Site Plan and Application

SITE PLAN APPLICATION
City of Oskaloosa
Public Works Department
804 South D Street
Oskaloosa, IA 52577
Phone number 641-673-7472

APPLICANT NAME: Anthony Vermeer

APPLICANT ADDRESS: 1608 Fifield Road, Pella, Iowa 50219

PHONE NUMBER: (641)628-4590

FAX NUMBER: (641)628-0064

EMAIL ADDRESS: kmrls@kdsi.net

OWNER NAME: Same as applicant

ADDRESS OF PROPERTY: 814 North "H" Street, Oskaloosa, Iowa

LEGAL DESCRIPTION: Lots 4 & 5 of Terrill's Subdivision to the City of Oskaloosa, Iowa

ZONING OF PROPERTY: R-2 Urban Family Housing

CURRENT USE OF LAND: Single family residential.

INDICATE THE NATURE AND OPERATING CHARACTERISTICS FOR THE SITE PLAN CHANGE AND THE PROPOSED USE: Change from single family use to multi-family.

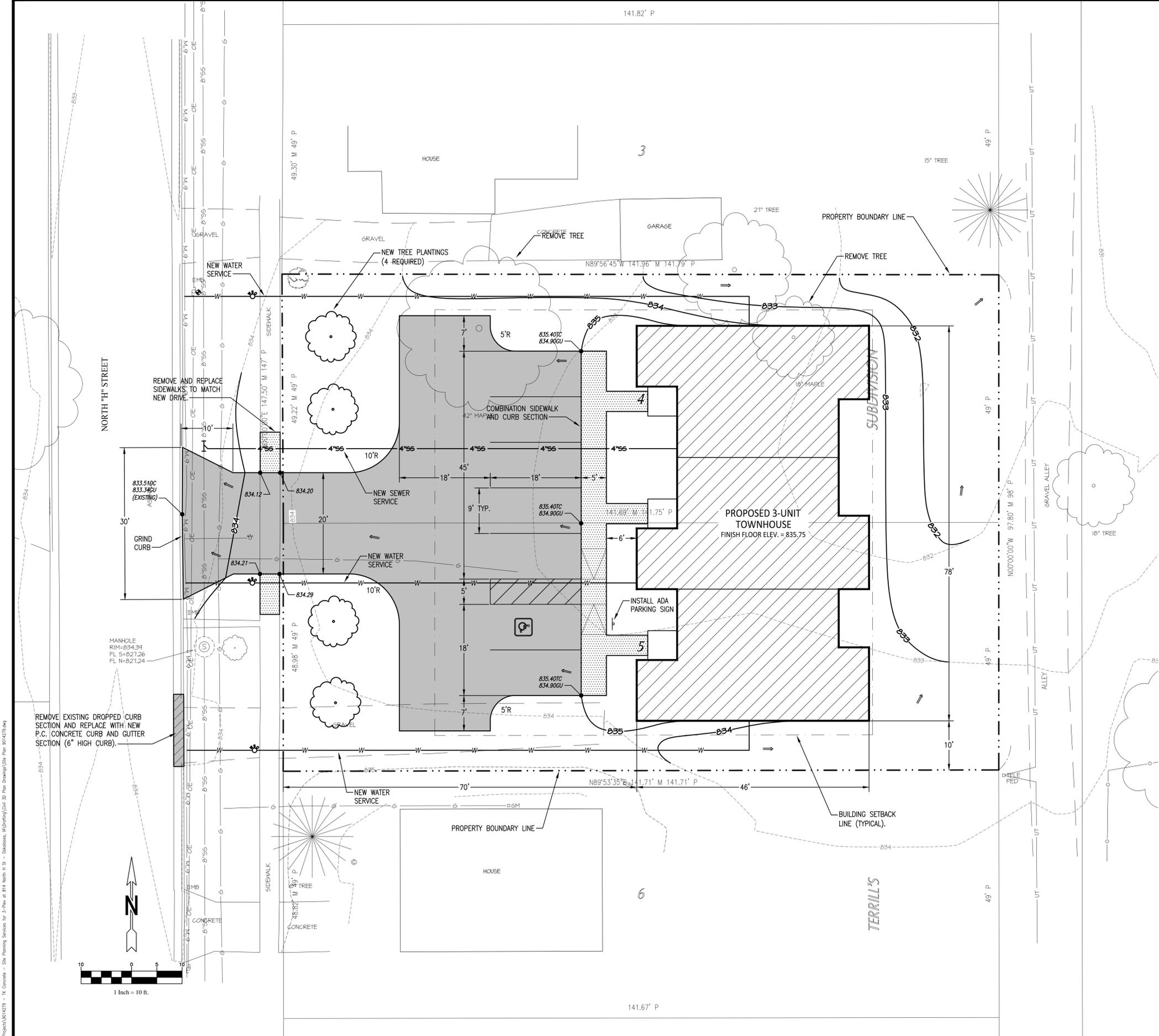
NOTE: ANY GRAPHIC INFORMATION, INCLUDING SITE PLANS, ELEVATIONS, OTHER DRAWINGS, OR OTHER MATERIALS DETERMINED BY ZONING ADMINISTRATOR TO BE NECESSARY TO DESCRIBE THE PROPOSED USE TO THE PLANNING AND ZONING COMMISSION AND/OR THE CITY COUNCIL WILL BE INCLUDED WITH THIS APPLICATION. *PROVIDE 15 COPIES OF REQUESTED DOCUMENTS*

PLEASE SUBMIT THE \$100.00 APPLICATION FEE WITH THIS REQUEST.

Anthony J. Vermeer
SIGNATURE OF OWNER

DATE: 11-4-14

**** PROPERTY OWNER LETTER OF APPROVAL FOR CHANGE IN SITE REQUIRED IF APPLICANT IS NOT OWNER****



MISCELLANEOUS INFORMATION

OWNER AND APPLICANT:
 ANTHONY VERMEER
 c/o TK CONCRETE, INC.
 1608 FIFIELD ROAD
 PELLA, IOWA 50219

ENGINEER & SURVEYOR:
 GARDEN & ASSOCIATES, LTD.
 1701 3RD AVE. EAST - SUITE 1
 P.O. BOX 451
 OSKALOOSA, IOWA 52577

ZONING: R-2 URBAN FAMILY RESIDENTIAL

PROPOSED USE: MULT-FAMILY HOUSING

AREA OF DEVELOPMENT: 0.32 ACRES

PROPOSED BUILDING AREA:
 3 UNITS AT 1,015 SF EACH = 3,045 SQUARE FEET (SINGLE STORY)

PARKING REQUIRED:
 TWO SPACES PER 2 BEDROOM UNIT.
 3 UNITS TIMES 2 SPACES PER UNIT = 6 SPACES.

PARKING PROVIDED:
 6 REGULAR SPACES AND 1 HANDICAP ACCESSIBLE SPACE = 7 TOTAL SPACES

BUILDING SETBACK REQUIREMENTS:
 FRONT YARD 30 FEET
 INTERIOR SIDE YARD 7 FEET
 REAR YARD 25 FEET

GREEN SPACE CALCULATION:
 GREEN AREA = 0.16 ACRES
 TOTAL AREA = 0.32 ACRES
 GREEN AREA = 50%

BENCH MARK:
 804 SPIKE IN POWER POLE AT NORTHWEST CORNER OF PROPERTY. ELEVATION = 834.37.

LEGAL DESCRIPTION:
 LOTS 4 & 5 OF TERRILL'S SUBDIVISION TO THE CITY OF OSKALOOSA, IOWA.

SIGNAGE:
 NO SIGNAGE PROPOSED

GARBAGE COLLECTION:
 INDIVIDUAL CURB SIDE PICKUP.

EXTERIOR SITE LIGHTING:
 NONE OTHER THAN LIGHTED ENTRYWAYS.

PAVING LEGEND

- = 6" THICK P.C.C. PAVEMENT
- = 4" THICK P.C.C. SIDEWALK

GARDEN & ASSOCIATES, LTD.
ENGINEERS & SURVEYORS
 500 E. Taylor, Suite C
 P.O. Box 631
 Creston, Iowa 50801
 641.782.4005 Phone
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3 UNIT TOWNHOUSE
814 NORTH "H" STREET
OSKALOOSA, IOWA
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SHEET TITLE
 SITE PLAN

SCALE:
 1" = 10'

FIELD BOOK:
 --

DRAWN BY:
 TH/BN

APPROVED:
 --

REVISIONS:

DATE:
 11-06-2014

PROJECT NO.:
 9014279

SHEET NO.:
 1 OF 1

C:\Projects\9014279 - TK Concrete - Site Planning Services for 3-Units at 814 North H St - Oskaloosa, IA\Drawings\Site Plan 9014279.dwg

Chapter 17.24 -- EXCEPTIONS AND SUPPLEMENTAL SITE DEVELOPMENT REGULATIONS

Sections:

17.24.010 - Purpose.

The supplemental site development regulations establish basic requirements for developable lots, including frontage requirements, recognize the existence of special conditions that cannot comply literally with the site development regulations set out for each zoning district. Therefore, these regulations qualify or modify the district regulations of this title and provide for specific areas of exception.

(Ord. 1086 §17.701, 2000)

Exceptions for single-family and two-family dwellings.

17.24.020 - Exceptions for existing single-family and two-family dwellings. Use of existing lots of record.

In any zoning district where they are otherwise permitted, a single-family or two-family dwelling may be located or reconstructed on any a lot or plot of official record as of the effective date of the ordinance codified in this title irrespective of its area or width which, at the time of passage of this Ordinance, is non-conforming development in terms of lot area, width, yards, lot coverage, or other characteristics of the structure or its location on the lot; provided, however, that the following shall apply:

- A. The sum of the side yard widths of any such lot or plot shall not be less than thirty percent of the width of the lot, but in no case less than ten percent of the width of the lot for any one side yard.
- B. The depth of the rear yard of any such lot need not exceed twenty percent of the depth of the lot, but in no case less than twenty feet.
- C. Notwithstanding the setback requirements set forth above, a nonconforming single-family dwelling or two-family dwelling on such a lot can be used, maintained and reconstructed, provided however that if the dwelling is destroyed by any means to an extent of 60 percent or more of its replacement cost at the time of destruction, it shall not be reconstructed unless such reconstruction work shall be consistent with applicable codes at the time of new construction, an approved building permit is obtained within six months of such happening and diligently pursued to completion. Such reconstruction shall also comply with the restrictions on nonconforming development set forth in section 17.32.030. This exception shall not apply in cases where the owner of a non-conforming lot also owns two or more abutting vacant lots of record. Such lot shall also meet all of the following requirements:
 - a. Option 1: The dwelling shall remain within the original building footprint without an increase in the gross floor area;
 - a. Option 2: The dwelling should meet the requirements set forth in Table 17.08C except the minimum lot area.
 - b. The dwelling shall have a minimum width facing the street of the smaller of twenty-four feet or the width of the dwelling prior to such destruction;

- c. The dwelling shall have a minimum depth perpendicular to the street of the smaller of 20 feet or the depth of the dwelling prior to such destruction.
- d. A minimum of fifteen percent of the facade of the building facing the street shall consist of windows, doors and other building openings;
- e. Any foundation skirting material shall have the appearance of masonry or poured concrete typical of site-built homes. Installation of the skirting must be installed within thirty days following the installation of the home, or the first day of May if the ground is frozen at the time the home is placed;

(Ord. 1086 §17.702, 2000)

Chapter 17.32 – NONCONFORMING DEVELOPMENT

Sections:

17.32.010 - Purpose.

Within the various districts established by this title or amendments that may later be adopted, there exist structures and uses of land and structures which were lawful prior to the adoption of the ordinance codified in this title but which would be prohibited, regulated, or restricted under the provisions of this title. It is the intent of this title to permit these nonconformities to continue until they are removed, but not to encourage their survival. Such uses are declared by this title to be incompatible with permitted uses in the districts involved.

(Ord. 1086 §17.1101, 2000)

17.32.020 - Regulations additive.

Regulations for nonconforming uses are in addition to regulations for nonconforming structures. In the event of a conflict, the most restrictive regulation shall apply.

(Ord. 1086 §17.1102, 2000)

17.32.030 - Residential districts.

- A. Nonconforming Use of Land. The lawful use of land upon which no building or structure is erected or constructed which becomes nonconforming under the terms of this title as adopted or amended may be continued so long as it remains otherwise lawful, subject to the following provisions:
1. No such nonconforming use shall be enlarged or increased nor extended to occupy a greater area of land than was occupied at the effective date of adoption or amendment of the ordinance codified in this title.
 2. No such nonconforming use shall be moved in whole or in part to any other portion of the lot or parcel which was not occupied by such use at the effective date of adoption or amendment of the ordinance codified in this title.
 3. If any such nonconforming use of land ceases for any reason for a period of more than six months, any subsequent use of such land shall conform to the district regulations for the district in which such land is located.
- B. Nonconforming Use of Structures. If a lawful use of a structure, or of a structure and land in combination, exists at the effective date of adoption or amendment of the ordinance codified in this title, that would not be allowed in the district under the terms of this title, the use may be continued so long as it remains otherwise lawful, subject to the following provisions:
1. No existing structure devoted entirely or in part to a use not permitted by this title in the district in which it is located, except when required by law, shall be enlarged, extended, reconstructed, moved, or structurally altered, unless the use is changed to a use permitted in the district in which such structure is located.
 2. Any nonconforming use may be extended throughout any parts of a building which were manifestly arranged or designed for such use at the time of adoption or amendment of the ordinance codified in this title. No such use shall be extended to occupy any land outside such building.
 3. If no structural alterations are made, a nonconforming use of a similar nature within the same or a more restricted classification. Whenever a nonconforming use has been changed to a more restricted use or to a conforming use, such use shall not thereafter be changed to a less restrictive use.

4. In the event that a nonconforming use of a structure, or structure and land in combination, is discontinued or abandoned for a period of two years, the use of the same shall thereafter conform to the uses permitted in the district in which it is located. Where nonconforming use status applies to a structure and land in combination, removal or destruction of the structure shall eliminate the nonconforming status of the land.
 5. Any structure devoted to a use made nonconforming by this title that is destroyed by any means to an extent of sixty percent or more of its replacement cost at the time of destruction, exclusive of the foundations, shall not be reconstructed and used as before such happening. If the structure be less than sixty percent destroyed above the foundation, it may be reconstructed and used as before, provided it be done within six months of such happening, and be built of like or similar materials.
- C. Nonconforming Structures. Where a structure exists at the effective date of adoption or amendment of the ordinance codified in this title that could not be built under the terms of this title by reason of restrictions on area, lot coverage, height, yards, or other characteristics of the structure or its location on the lot, such structure may be continued so long as it remains otherwise lawful, subject to the following provisions:
1. No such structure may be enlarged or altered in a way which increases its nonconformity.
 2. Should such structure be destroyed by any means to an extent of sixty percent or more of its replacement cost at time of destruction, it shall not be reconstructed except in conformity with the provisions of this title. Any single-family or two-family dwelling which was a conforming structure at the time of passage of this Ordinance may be structurally altered, and if destroyed may be reconstructed and used as before, provided the work shall be consistent with applicable codes at the time of new construction, an approved building permit is obtained within six months of such happening and diligently pursued to completion. Such reconstruction shall also comply with the restrictions set forth in section 17.24.020.

(Ord. 1086 §17.1103, 2000)

17.32.040 - Nonresidential districts.

- A. Nonconforming Use of Land. The regulations described in Section 17.32.030 shall also apply to this section with the following exception:
1. A structure devoted to a nonconforming use in a non-residential zoning district may be structurally altered or enlarged if the addition satisfies the following conditions:
 - a. The enlargement or addition, when considered independently of the existing building, complies with all applicable setback, height, off-street parking, and landscaping requirements.
 - b. The building, after the addition, conforms to height, off-street parking, and building and impervious surface coverages applicable to its zoning district.
 - c. The construction is limited to buildings on land owned of record by the owner of the nonconforming use prior to the effective date of the ordinance codified in this title.
 2. A lawful nonconforming use may be changed only to a use type permitted in a zoning district that is equal to or less intensive than that normally required for the previous use.

(Ord. 1086 §17.1104, 2000)

17.32.050 - Repair of nonconforming structures.

- A. Nothing in this title shall be deemed to prevent the restoring to a safe condition of any building or part thereof declared to be unsafe by any official charged with protecting the public safety, upon order of such official.

- B. A lawful nonconforming building damaged by fire, explosion, storm or other calamity, except flood damages, may be repaired and reconstructed provided there is no increase in the degree of nonconformity. Repair and reconstruction within the designated floodplain shall be in conformance with Floodplain development regulations.

(Ord. 1086 §17.1105, 2000)

17.32.060 - Recognition of nonconformances.

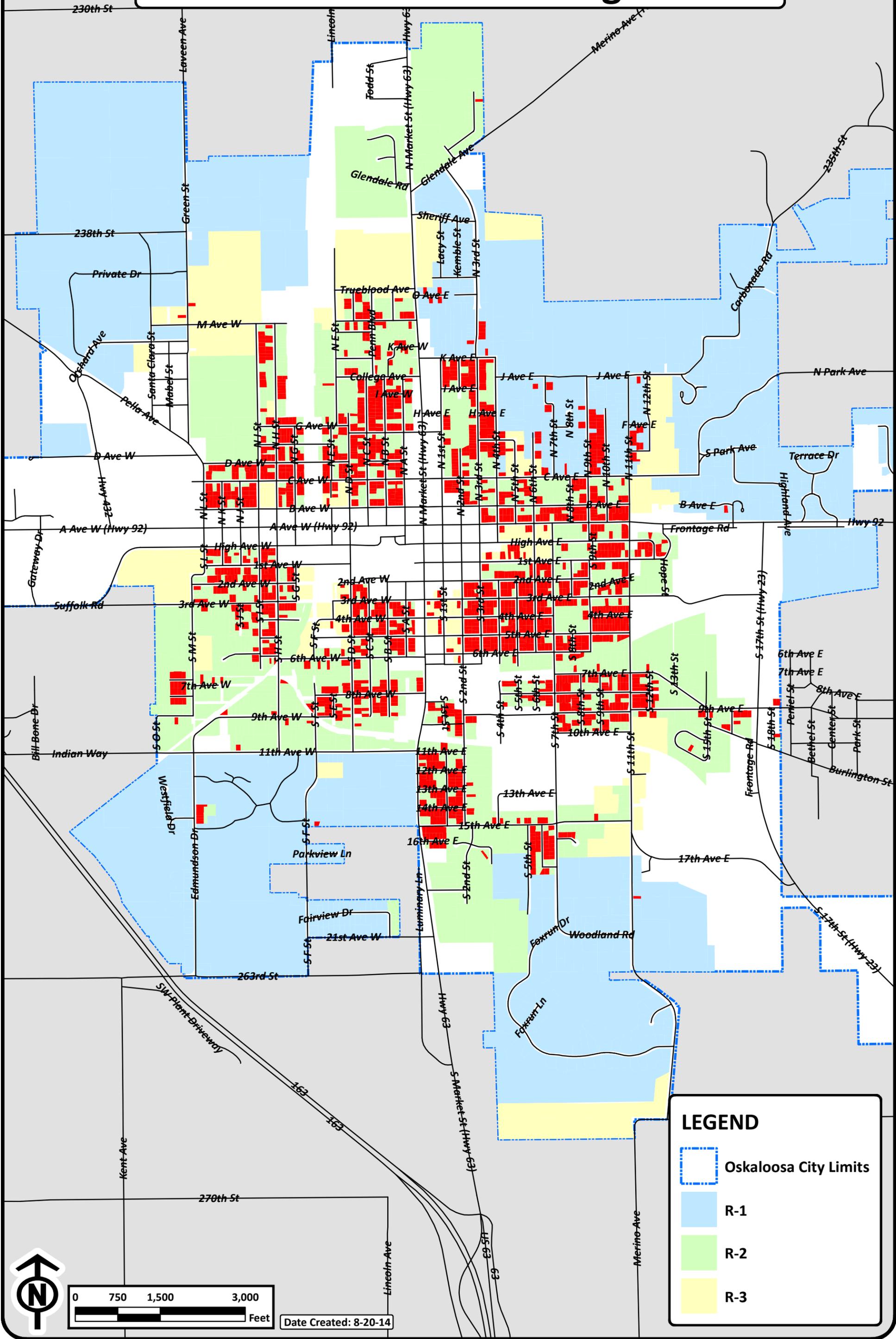
- A. Unauthorized Nonconformances. Any use of land or structure which was not an authorized nonconformity under any previous zoning ordinance or similar regulations shall not be authorized to continue its nonconforming status pursuant to this title.
- B. Nonconforming Uses and Conditional Use Permits. A lawful pre-existing use which would require a conditional use permit in its zoning district shall be presumed to have the appropriate permit and shall be considered a conforming use. The use shall be subject to the regulations governing lapses or revocation of permits, set forth in Chapter 17.34.

(Ord. 1086 §17.1106, 2000)

17.32.070 Discontinuance-Conformance required.

- A. In the event that a nonconforming use of any building or premises is discontinued or its normal operation stopped for a period of one year, the use of the same shall thereafter conform to the regulations of the district in which it is located.

Oskaloosa Non-Conforming Lot Sizes



LEGEND

- Oskaloosa City Limits
- R-1
- R-2
- R-3

0 750 1,500 3,000 Feet

Date Created: 8-20-14

	ZONING		
	R-1 (Single Family)	R-2 (Urban Family)	R-3 (Multiple Family)
Minimum Lot Area Per City Code (1 Family)	8400 SF	8400 SF	7200 SF
Approx. Total Number of Non-Conforming Lots:	1,000	2,950	400
LOT SIZE	PERCENTAGE OF NON-CONFORMING LOTS		
< 8400 SF	8%	56%	N/A
< 7200 SF	1.5%	24%	16%
< 7000 SF		20%	15%
< 6800 SF		18%	14%
< 6600 SF		16%	13%
< 6400 SF		13%	12%
< 6200 SF		11%	11%
< 6000 SF	0.5%	9%	10%
< 5800 SF		8%	9%
< 5600 SF		7%	8%
< 5500 SF		7%	8%
< 5400 SF		6%	8%
< 5000 SF		5%	7%

Planning and Zoning Workshop

The City of Oskaloosa is offering a Planning and Zoning Workshop to elected and appointed officials. City Council, Planning and Zoning, and Board of Adjustment are encouraged to attend. The workshop is free for all elected, and appointed officials.

The Planning and Zoning workshop is designed as a “basic training” for local elected and appointed officials on the land use issues facing them today. Using case scenarios in a highly-interactive format, it will provide participants with an overview of the roles and responsibilities of the planning commission, the board of adjustment, and the elected council and board of supervisors. It also will highlight legal issues frequently faced by local officials, such as variances, special uses, nonconforming uses, spot zoning, hearing procedures, and conflicts of interest.

The Workshop will take place Thursday November 13th at 6:00 pm in the Oskaloosa Public Library Third Floor Rooms A&B.

A meal will be provided for elected and appointed officials.

Please RSVP with Dylan Mulfinger by email dylan.mulfinger@oskaloosaiowa.org or by calling City Hall at 641-673-9431.

